
HERITAGE STATEMENT

THE ROEBUCK

15 Pond St, London NW3 2PN

EXTERNAL & INTERNAL REFURBISHMENT OF PUBLIC HOUSE



Prepared for: Young & Co's Brewery PLC
Copper House, 5 Garratt Lane, Wandsworth
London. SW18 4AQ

Prepared by: Catherine Banfield
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Interior Design
CATHERINE BANFIELD
CATHERINE BANFIELD

Mobile: 07985 211210
E-mail: catherine@thebanfields.com

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1. INTRODUCTION

- 1.1. The Roebuck public house is owned and operated by Young & Co's Brewery plc.
- 1.2. The building occupies a site on Pond Street, near to the Royal Free Hospital and Hampstead Hill School. It is situated within the London Borough of Camden.
- 1.3. The Roebuck is a Grade II listed building and sits within the Hampstead conservation area.
- 1.4. The building consists of three main storeys, plus a basement level. The basement is a mixture of trade space/bar, customer WC's and storage rooms/cellar spaces. The ground floor is occupied with trade areas/bar and customer WC's. The first floor is a mix of catering kitchen, and staff accommodation. The second floor is occupied with staff accommodation. The first and second floors also include the building above the coaching arch to the left of the site.
- 1.5. This Heritage statement has been written to support a Full Planning & Listed Building Application to assess and justify the impact of the internal and external refurbishment on the character of this Grade II Listed Building.
- 1.6. This statement should be read in conjunction with the submitted details and drawings.

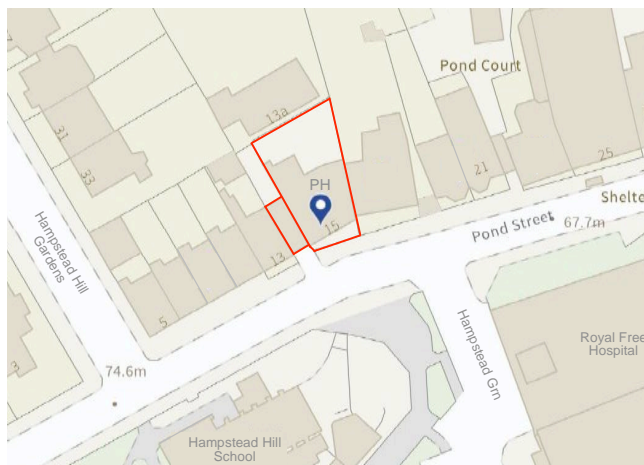


Fig 1 - Map showing the application site outlined in red

2. LISTING INFORMATION

- 2.1. The site falls within the Hampstead Conservation Area and is Grade II Listed.
- 2.2. The Listing entry for the Mitre reads as follows: *Public house & hotel. Late 1860s. Stucco with channelled stucco ground floor. 3 storeys and cellars. Symmetrical facade of 5 windows plus 1-window extension over left hand carriage entrance. Public house openings round-arched with keystones and linked by impost bands; doorways, in outer bays, with fanlights and panelled doors. Upper floor sashes in round-arched openings with architraved heads, 1st floor with keystones, linked by impost bands;*

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pilasters articulate bays, 1st floor with rusticated bands supporting an entablature with projecting modillion cornice, 2nd floor plain pilasters with enriched heads supporting entablature (inscribed Roebuck Hotel) and dentil and modillion pediment having a painted sculpture roebuck in the tympanum. Extension has architraved tripartite sashes; 1st floor with console bracketed cornice, 2nd floor with mask keystone. Entablature with dentil and modillion cornice. INTERIOR: now converted to a single bar, retains massively overscaled cornices with modillion decoration.

2.3. The site was added to the statutory list on 14th May 1974.

2.4. The Official List Entry largely covers the impressive front elevation of the public house, including the coaching arch to the left of the property.



Fig 2 - Front Elevation

2.5. Although the interiors only get a small mentioned in the Official List Entry, the pub does retain over scaled cornices and modillion decoration, including glass sign written panels (Trade Area 1). These are to be retained as existing

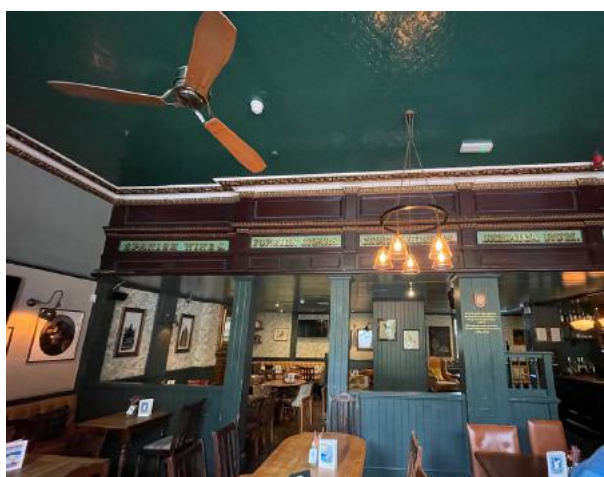


Fig 3 & Fig 4 - Trade Area 1 over scaled cornice & modillion decoration

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3. CURRENT & PROPOSED USE

3.1. The Roebuck is a public house, owned and operated by Young & Co's Brewery PLC.

3.2. There is no proposed change to this use.

4. SCHEDULE OF ALTERATIONS:

4.1. Full planning & Listed Building Consent is being sought for the following elements: Complete exterior redecoration, inclusive of new wall lights to replace existing and new railings to low front wall. The existing wall lights are modern aluminium uptown lights, these are to be replaced with antique brass lanterns that are more in keeping with the style of the building. The proposed black iron railings to the tops of the existing low front garden wall are to tie in with the style of neighbouring properties. Thus enhancing the buildings appearance within the street scene. This will also have the added benefit of containing the use of the front garden to pub customers.



Fig 5 - Existing modern wall lights to be replaced



Fig 6 - Existing property to left



Fig 7 - Existing property to right

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- 4.2. New millboard decking to the rear garden, laid over the existing stepped patio, to give a level finish, which will give better access to all the clientele.



Fig 8 & 9 - Existing rear garden

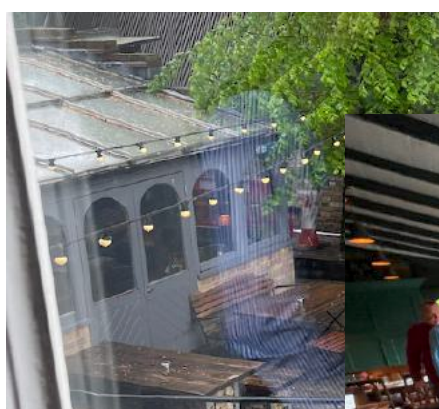
- 4.3. Enlargement of the exit gate from the garden to the rear yard, which includes adjustments to bin store.



Fig 10 - Fire exit door/gate from garden



Fig 11 & 12 - Bin Store in Yard



- 4.4. Alteration to finishes of existing roof to rear single storey building (Trade Area 4), The existing glazed conservatory style roof has been under boarded internally. The intention is to remove the central section of ceiling boarding so that the glass roof above is visible and reglaze that section of roof. The roof finish either side of the central glazed section is to be tiled in



Fig 13 & 14 - Trade Area 4 roof

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slate to match the finish on the other roof and insulated and re-boarded underneath.

- 4.5. Complete refurbishment of the customer WC's throughout, with new floor & wall tiling, new sanitary ware and vanity units.



Fig 15 - Gents WC



Fig 16 - Ladies WC

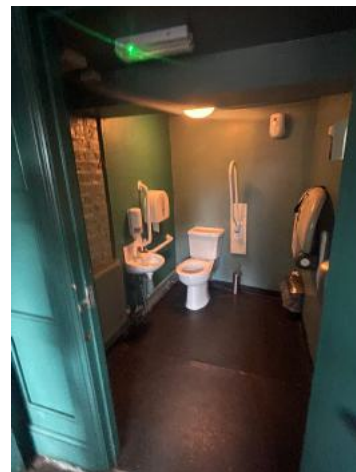


Fig 17 - Dis WC

- 4.6. New timber stained wall panelling to replace the existing painted MDF wall panelling in Trade Area 4 (Ground Floor) & Trade Area 5 (Basement), to give a higher quality of finish.



Fig 18 - Trade Area 4 painted MDF wall panelling



Fig 19 - Trade Area 5 painted MDF wall panelling

- 4.7. New upper backfitting to existing basement bar and strip paint from existing timber bar front and allow stain finish, to enhance the appearance and to give a higher quality of finish more in keeping with the rest of the pub.



Fig 20 - Trade Area 5 bar and backfitting

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4.8. Replace existing vinyl covered ply treads and risers to stairs from basement to ground floor with new timber stained treads and risers, to match ground floor bar area timber floor. New brass nosings. To enhance the appearance and to be more in keeping with the quality of finishes in the rest of the trade areas

Fig 21 & 22 - Stairs up from Basement

- 4.9. New section of upper backfitting to coffee area of ground floor bar to enhance appearance and bring the design more in line with the main adjacent backfitting



Fig 25 - Ground Floor Bar Servery

Fig 23 & 24 - Trade Area 2 Upper Backfitting to Bar

- 4.10. Alteration to entrance lobby inner door and window, to widen the inner lobby door opening to match that of the existing external doors, to create a better escape route for patrons (Note bench seating will be moved)

Fig 26 - Entrance Lobby



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5. SCALE

- 5.1. There are no change to the scale of the building or the rooms within.

6. JUSTIFICATION & SUMMARY

- 6.1. We believe the proposed external redecoration/refurbishment works, the addition of new black cast iron railings and the change in wall light style to the front will enhance the appearance of this beautiful listed building, which is currently looking a little tired. In turn this will enhance the general street scene it sits within.
- 6.2. The internal redecoration and the refurbishment will not only enhance the appearance of the pub generally but will ensure its continued use for patrons for the foreseeable future.
- 6.3. The introduction of a single level millboard decking laid over the existing stepped patio to the rear garden will mean access to the whole garden for all patrons, including those with mobility challenges.
- 6.4. The proposals have been carefully designed to respect the sites historic features and Grade II listing and works to the external elevations have been carefully designed to respect the surrounding street scene and the Hampstead Conservation Area.
- 6.5. It is our belief that the proposed works are in keeping with the nature of the listing and offer no detriment to the site, surrounding area or the historical features of the existing building.

Prepared on behalf of Young's by Catherine Banfield