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## DESIGN & ACCESS STATEMENT

# THE ROEBUCK

15 Pond St, London NW3 2PN

EXTERNAL & INTERNAL REFURBISHMENT OF PUBLIC HOUSE



Prepared for: Young & Co's Brewery PLC  
Copper House, 5 Garratt Lane, Wandsworth  
London. SW18 4AQ

Prepared by: Catherine Banfield  
Date: 26.08.24. Revision: 0  
Ref: CB2406260824DA

Interior Design  
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### 1. INTRODUCTION

- 1.1. The Roebuck public house is owned and operated by Young & Co's Brewery plc.
- 1.2. The building occupies a site on Pond Street, near to the Royal Free Hospital and Hampstead Hill School. It is situated within the London Borough of Camden.
- 1.3. The Roebuck is a Grade II listed building and sits within the Hampstead conservation area.
- 1.4. The building consists of three main storeys, plus a basement level. The basement is a mixture of trade space/bar, customer WC's and storage rooms/cellar spaces. The ground floor is occupied with trade areas/bar and customer WC's. The first floor is a mix of catering kitchen, and staff accommodation. The second floor is occupied with staff accommodation. The first and second floors also include the building above the coaching arch to the left of the site.
- 1.5. This Design & Access statement has been written to support a Full Planning & Listed Building Application to assess and justify the impact of the external refurbishment on the character of this Grade II Listed Building.
- 1.6. This statement should be read in conjunction with the submitted details and drawings.

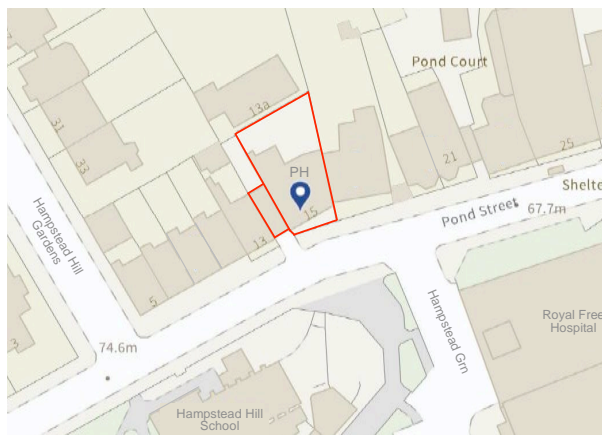


Fig 1 - Map showing the application site outlined in red

### 2. CURRENT & PROPOSED USE

- 2.1. The Roebuck is a public house, owned and operated by Young & Co's Brewery PLC
- 2.2. There is no proposed change of use

### 3. AMOUNT

- 3.1. The proposed works do not alter the footprint of the site and there is no increase or decrease in areas.

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## 4. LAYOUT

- 4.1. The proposed works do not alter the overall layout of the site. The widening of the inner lobby entrance doors and the rear fire exit gate from the garden into the yard will allow to eliminate pinch points on the escape route and will be more in keeping with the widths of the existing external doors and gates.

## 5. SCALE

- 5.1. The proposed works do not affect or include any changes to the scale of the site.

## 6. LANDSCAPING

- 6.1. There are no landscaping works. The decking to the rear terrace would be overlaid onto the existing patios.

## 7. APPEARANCE:

- 7.1. Complete exterior redecoration, inclusive of new wall lights to replace existing and new railings to low front wall. The existing wall lights are modern aluminium up/down lights, these are to be replaced with antique brass lanterns that are more in keeping with the style of the building. The proposed black iron railings to the tops of the existing low front garden wall are to tie in with the style of neighbouring properties. Thus enhancing the buildings appearance within the street scene. This will also have the added benefit of containing the use of the front garden to pub customers.



Fig 1 - Shopfront/  
Garden

Fig 2 & 3 - Neighbouring  
railings





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- 7.2. New millboard decking to the rear garden, laid over the existing stepped patio, to give a level finish, which will give better access to all the clientele.



Fig 4 & 5 - Rear Garden

- 7.3. Enlargement of the exit gate from the garden to the rear yard, which includes adjustments to bin store.



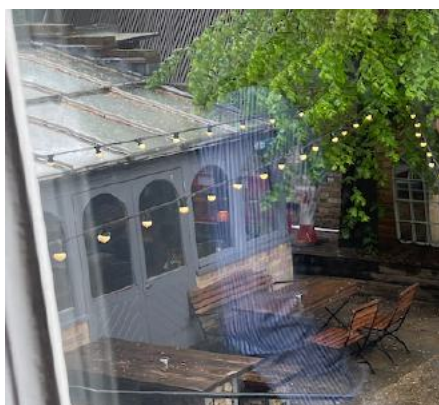
Fig 6 - Rear Garden/Exit Gate



Fig 7 - Bin Store/Yard



Fig 8 - Bin Store



- 7.4. Alteration to finish of existing roof to rear single storey building (Trade Area 4), The intention is to reglaze the central section of the existing glass roof and finish either side of the central glazed section in a tiled slate finish, to tie in with other roof finishes on the existing building.

Fig 9 - Existing fully glazed roof to rear extension (Trade Area 4)

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## **8. ACCESS**

- 8.1. There are no proposed changes to pedestrian access into the building. The decking to the rear will enhance access to all areas of the garden for all clientele. The widening of the escape gate to the rear garden will enhance the exit route.

## **9. FLOOD RISK**

- 9.1. According to the Government's Flood Risk Map the site sits within a Flood Zone 1, which means it has a low probability of flooding. None of the works affect the current footprint of the building, or the water management so will have no adverse affect.

## **10. CONCLUSION**

- 10.1. We believe the proposed external redecoration/refurbishment works, the addition of new black cast iron railings and the change in wall light style to the front will enhance the appearance of this beautiful listed building, which is currently looking a little tired. In turn this will enhance the general street scene it sits within.
- 10.2. The introduction of a single level millboard decking laid over the existing stepped patio to the rear garden will mean access to the whole garden for all patrons, including those with mobility challenges.
- 10.3. The proposals have been carefully designed to respect the sites historic features and Grade II listing and works to the external elevations have been carefully designed to respect the surrounding street scene and the Hampstead Conservation Area.
- 10.4. It is our belief that the proposed works are in keeping with the nature of the listing and offer no detriment to the site, surrounding area or the historical features of the existing building.

Prepared on behalf of Young's by Catherine Banfield