



DESIGN AND ACCESS STATEMENT

GROUND FLOOR FLAR, 37 COMPAYNE GARDENS, LONDON, NW6 3DD



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Introduction:

The following report has been prepared by ACH Architects in support of the application for Planning Permission for the proposed rear extension at 37 Compayne Gardens.

The property is situated within the South Hampstead Conservation Area, a residential neighbourhood characterized by its well-preserved Victorian houses.



Relevant planning history:

There is no planning history associated with the ground floor flat

Drawings:

- Site Location Plan 1: 2500
- Floor and Roof Plans 1:100: Existing, demolition and proposed
- Floor and Roof Plans 1:50: Existing, demolition and proposed
- Elevation and Section 1:50: Existing, demolition and proposed

Property Description:

37 Compayne Gardens is a Victorian three-storey, semi-detached, building divided into three separate flats. The following proposal encompasses the ground floor flat including its rear extension and access to the garden. The property is not listed but is located within the South Hampstead Conservation Area and is identified in the South Hampstead Conservation Area Statement as making a positive contribution to its character and appearance. This generously proportioned flat features original spaces and an existing extension composed of the kitchen, storage, and a conservatory.

Our proposal consists of a comprehensive design that considers the heritage value of the building, preserving its most valuable aspects while adapting the existing home to accommodate a growing family.

Existing Front Facade:

The front facade of 37 Compayne Gardens embodies classic Victorian elegance with red brickwork complemented by white-painted windows. A central front door, accessible to all residents, serves as the welcoming focal point of the property. The facade has original single-glazed, white-painted sash windows, featuring square panel details on some upper sections that enhance the property's charm. A lateral bay window mirrors this characteristic design, adding to the overall aesthetic coherence. On the first floor some windows have been replaced with matching ones, albeit with different materials and dimensions. Given the historic and aesthetic significance of the front facade, our proposal does not include any interventions, ensuring that its original charm and integrity are preserved.



Existing Rear Elevation:

The Rear façade of 37 Compayne Gardens presents "London stock" bricks accented with contrasting red brick banding, adding visual interest to the property. The original wooden, white-painted windows have been preserved or thoughtfully replaced with matching ones. A side bay window adds character and maintains a design relationship with the front facade. Previous alterations include a ground-floor extension, which is notable for its sub-standard construction quality.





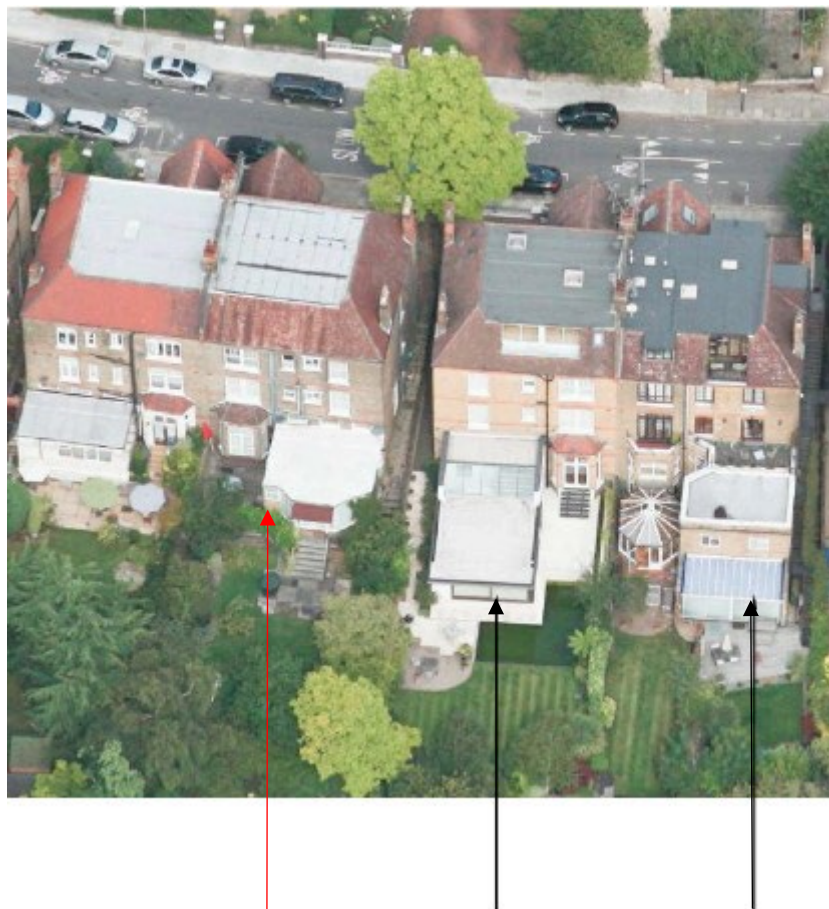
Proposal Overview - the proposal comprises four interventions:

1. Demolition and replacement of the existing non-original rear extension
2. Construction of an outbuilding at the end of the rear garden
3. Reconfiguration and replacement of windows in the side elevation
4. Relocation of a small tree

1. Proposed Rear Extension:

Our proposal aims to preserve the original architectural values of the property while demolishing the existing non-original addition to introduce a new structure that enhances spatial quality and high construction standards. A brick volume with high glass sliding windows will be added to the rear elevation, housing new areas such as a study or temporary bedroom, kitchen, and dining room. The new structure will maintain the current ceiling level while lowering the floor level to seamlessly connect with the garden, via sliding glass doors. A portion of the current decking area outside the bay window will be retained at its existing level, while converting the remaining section (outside the current extension) to garden level to connect it with the proposed extension. This approach ensures that the new user's needs are met while respecting the property's historic integrity.

The proposed extension sympathetically will match the depth of the extension of the neighbouring property number 35. The roof level and width of the proposed extension will match the existing extension and the bay windows to the right will be preserved. The glazing at the rear elevation will be like other recently constructed rear extensions on properties along Compayne Gardens. Finally, the proposed bricks will match those around the area to preserve its cohesiveness and character.



37 COMPAYNE GARDENS – EXISTING EXTENSION 35 COMPAYNE GARDENS 33 COMPAYNE GARDENS

2. Proposed Outbuilding:

A small independent structure of limited dimensions will be added to the end of the garden with ancillary gym space, storage area for gardening tools and WC. To harmonise with the natural landscape the structure will be set at ground level with a height lower than the volume attached to the property and using timber as finish material to blend the design seamlessly into the landscape. Two glazed elements - a glass sliding door and a fixed panel window - will provide panoramic views of the surroundings, framing the landscape and house rear elevation. This separate structure allows for extra space without excessively enlarging the main extension and creates a new point for contemplation and garden experience. The outbuilding use is incidental to the main property.

3. Proposed reconfiguration and replacement of windows:

The proposed glazing's to the east side elevation have specific sizes and characteristics to preserve the amenity of the neighbouring property as per pre-application guidance.

4. Proposed Tree Relocation:

A small Category C tree near the property will be removed to free up space for the future extension. Find attached the Arboricultural Report that confirms this, including a tree survey and tree protection details.

We consider that our proposal ensures a harmonious blend of modern enhancements with the preservation of the property's historic charm, meeting the client's needs while respecting the conservation area's requirements.