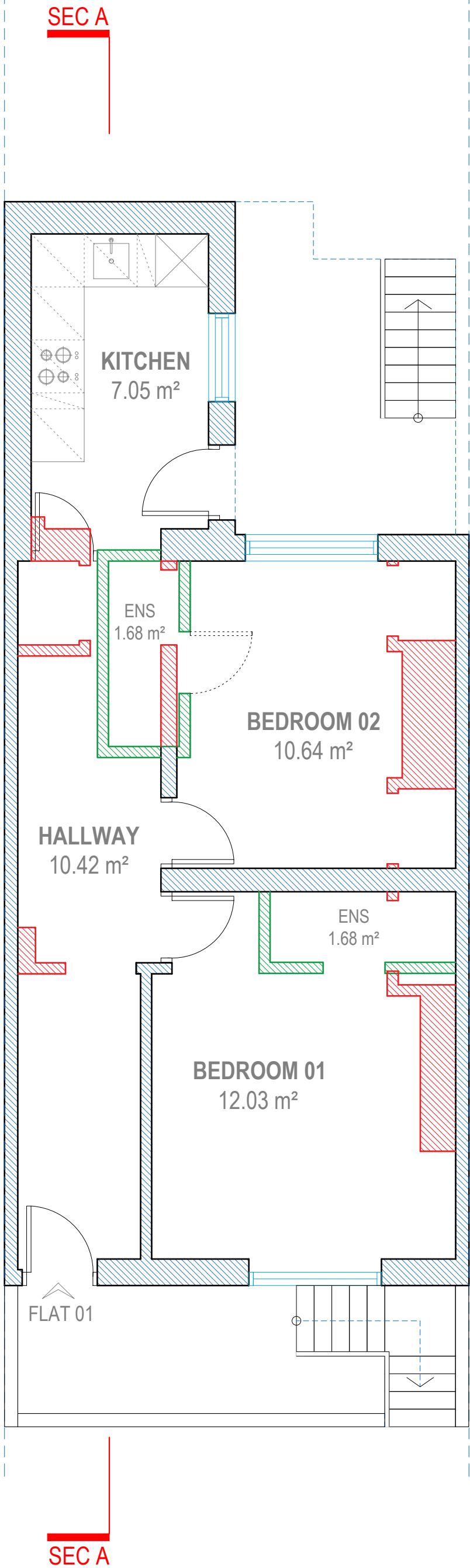


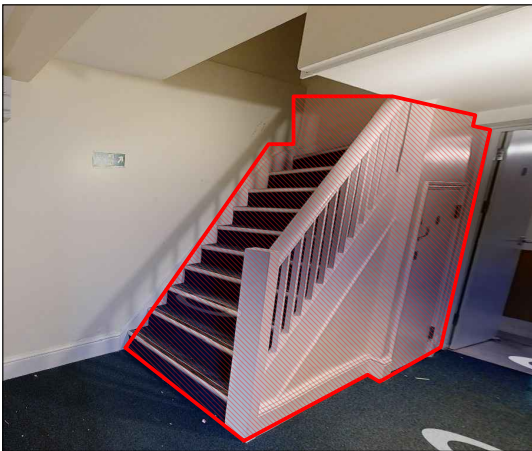
BASEMENT FLOOR



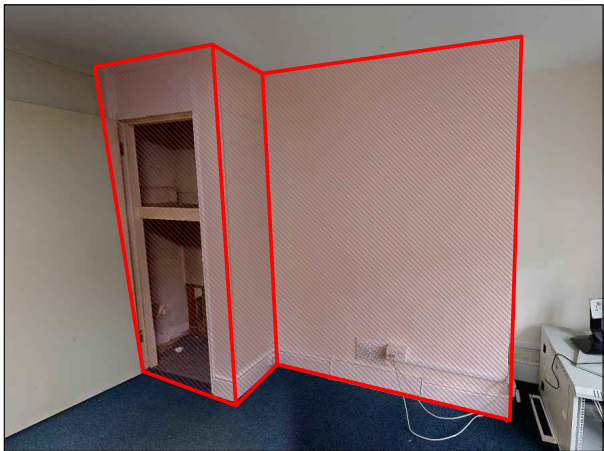
BASEMENT FLOOR
(Partition Changes)

- WALLS AS EXISTING
- WALLS TO DEMOLISH
- WALLS PROPOSED

SCHEDULE OF WORKS		
BASEMENT FLOOR		
SECTION	WORKS UNDERTAKEN	COMMENTARY ON HERITAGE SIGNIFICANCE
CEILING	NO CHANGE	
WALLS	DEMOLITIONS OF STORAGES AND PARTITIONS (AS INDICATED)	
FLOOR	NO CHANGE	
DOORS	NEW DOOR ACCESS BESIDE BEDROOM 01	
WINDOWS	NO CHANGE	
STAIRCASE	REMOVAL OF BASEMENT TO GROUND FLOOR STAIRS	
JOINERY (SKIRTING BOARDS ETC.)	NO CHANGE	
PLUMBING / HEATING	NEW PLUMBING PIPES ON NEW FIXTURES	
ELECTRICS	NO CHANGE	
OTHER FEATURES:		
NEW ELECTRIC POINTS OR LIGHTING	NEW LIGHT FOR ENSUITES	
HOLES FOR NEW PLUMBING	FOR PLUMBING LINE TO THE NEW FIXTURES ON ENSUITES	
NEW PARTITIONS ADDED	NEW PARTITIONS FOR ENSUITES	
NEW KITCHEN	NEW COUNTERTOP, RE-USE SINK	
NEW ENSUITES	NEW ENSUITE FIXTURES AND PLUMBING	
FIRE AND BUILDING CONTROL WORKS	FIRE RATED SPOT LIGHTS	



STAIRCASE DEMOLITION



PARTITION DEMOLITION ON BEDROOM 01



DOOR ACCESS BLOCK OFF ON BEDROOM 01



PARTITION DEMOLITION ON BEDROOM 02



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TITLE: PROPOSED DRAWINGS FLOOR PLANS

PROJECT No 2290 DATE: 22-08-2024

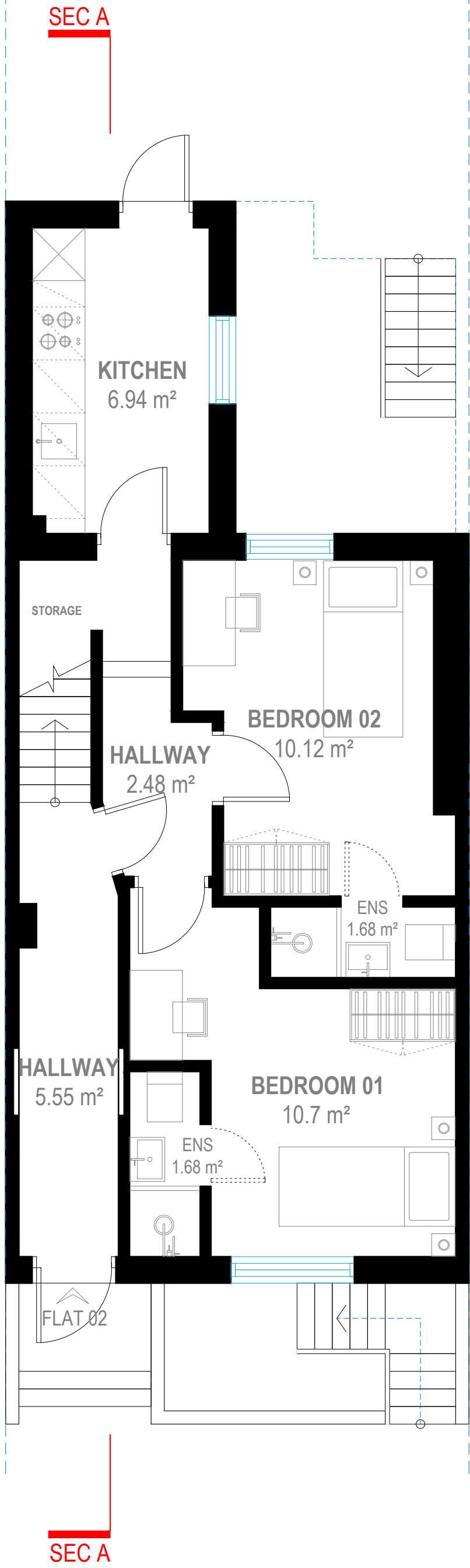
SHEET No P 01

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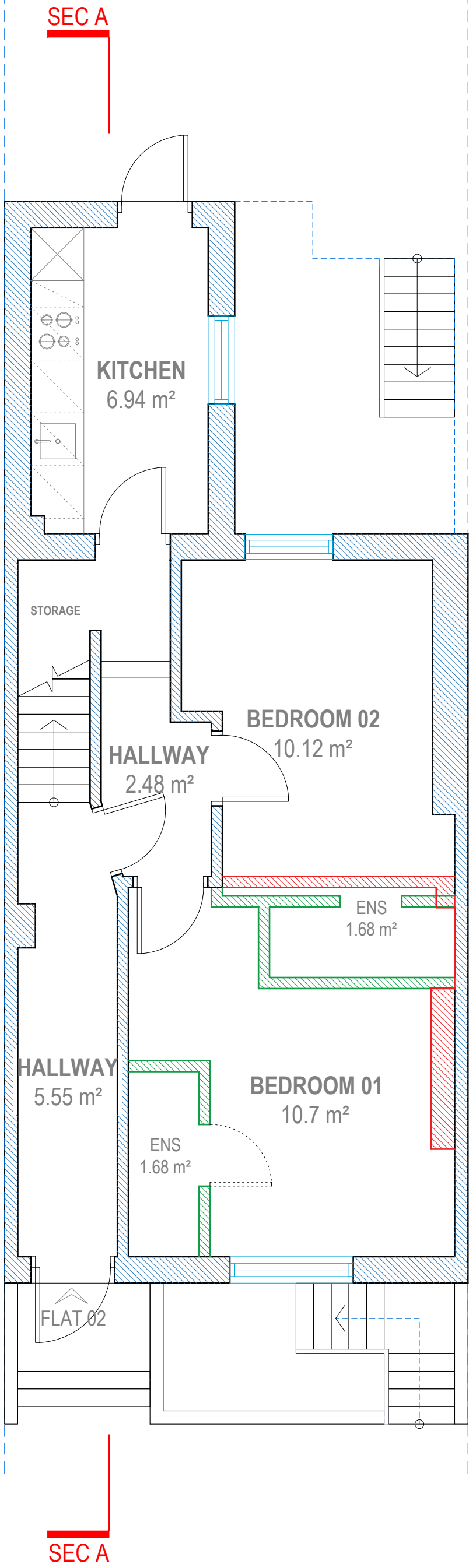
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DRAWN BY MCDC

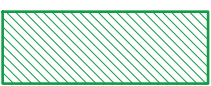
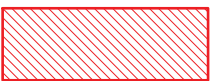
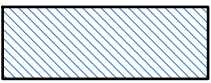
EDITED BY



GROUND FLOOR



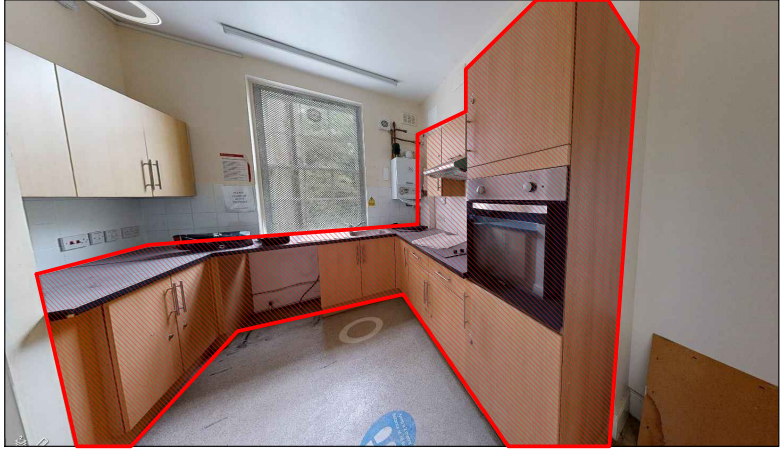
GROUND FLOOR
(Partition Changes)

- 
- WALLS AS EXISTING
WALLS TO DEMOLISH
WALLS PROPOSED

SCHEDULE OF WORKS		
GROUND FLOOR		
SECTION	WORKS UNDERTAKEN	COMMENTARY ON HERITAGE SIGNIFICANCE
CEILING	NO CHANGE	
WALLS	DEMOLITIONS OF STORAGES AND PARTITIONS (AS INDICATED)	
FLOOR	NO CHANGE	
DOORS	NO CHANGE	
WINDOWS	NO CHANGE	
STAIRCASE	NEW STORAGE UNDERNEATH	
JOINERY (SKIRTING BOARDS ETC.)	NO CHANGE	
PLUMBING / HEATING	NEW PLUMBING PIPES ON NEW FIXTURES	
ELECTRICS	NO CHANGE	
OTHER FEATURES:		
NEW ELECTRIC POINTS OR LIGHTING	NEW LIGHT FOR ENSUITES	
HOLES FOR NEW PLUMBING	FOR PLUMBING LINE TO THE NEW FIXTURES ON ENSUITES	
NEW PARTITIONS ADDED	NEW PARTITIONS FOR ENSUITES	
NEW KITCHEN	NEW COUNTERTOP, RE-USE SINK	
NEW ENSUITES	NEW ENSUITE FIXTURES AND PLUMBING	
FIRE AND BUILDING CONTROL WORKS	FIRE RATED SPOT LIGHTS	



NEW KITCHEN AREA



EXISTING KITCHEN DEMOLITION



PARTITION DEMOLITION ON BEDROOM 02



PARTITION DEMOLITION ON BEDROOM 01



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PROJECT No 2290 DATE: 22-08-2024

SHEET No P 02

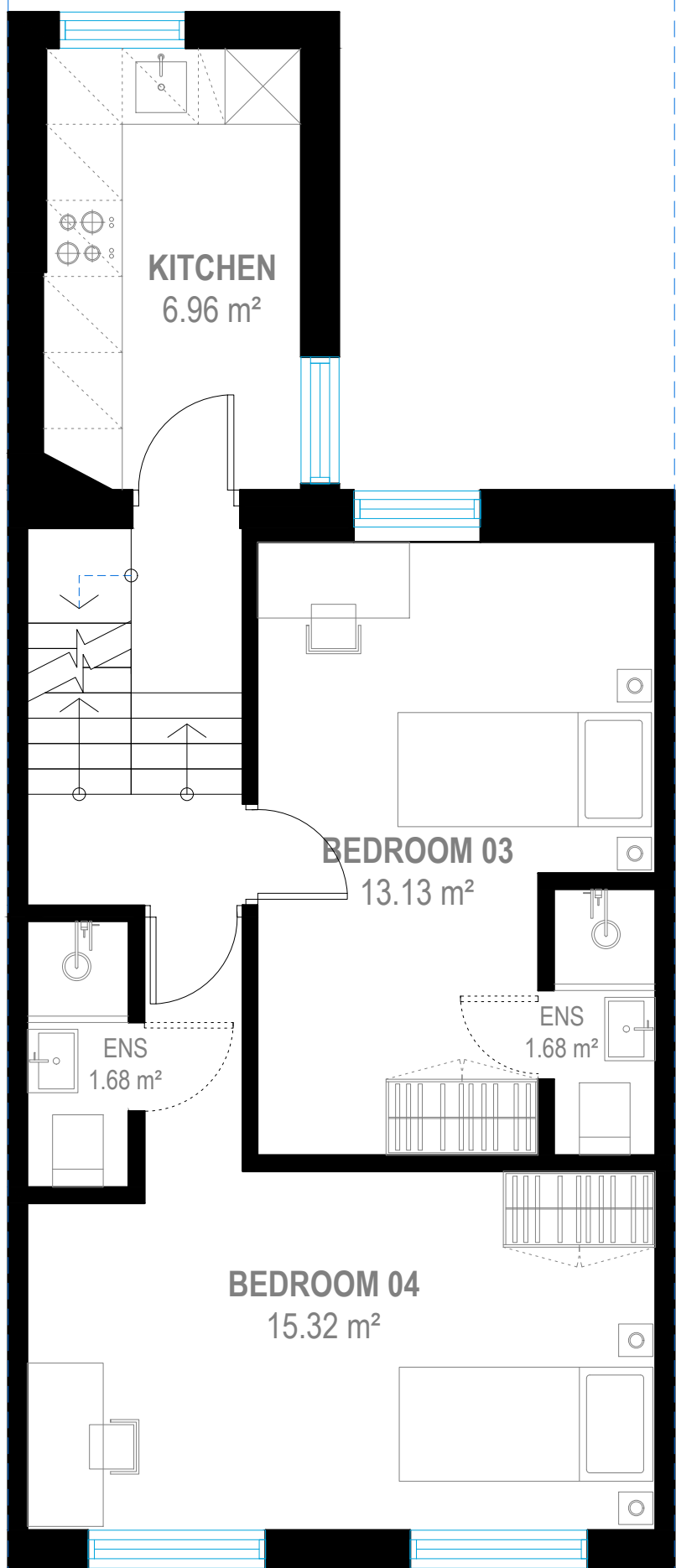
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NOTES:

DRAWN BY MCDC

EDITED BY

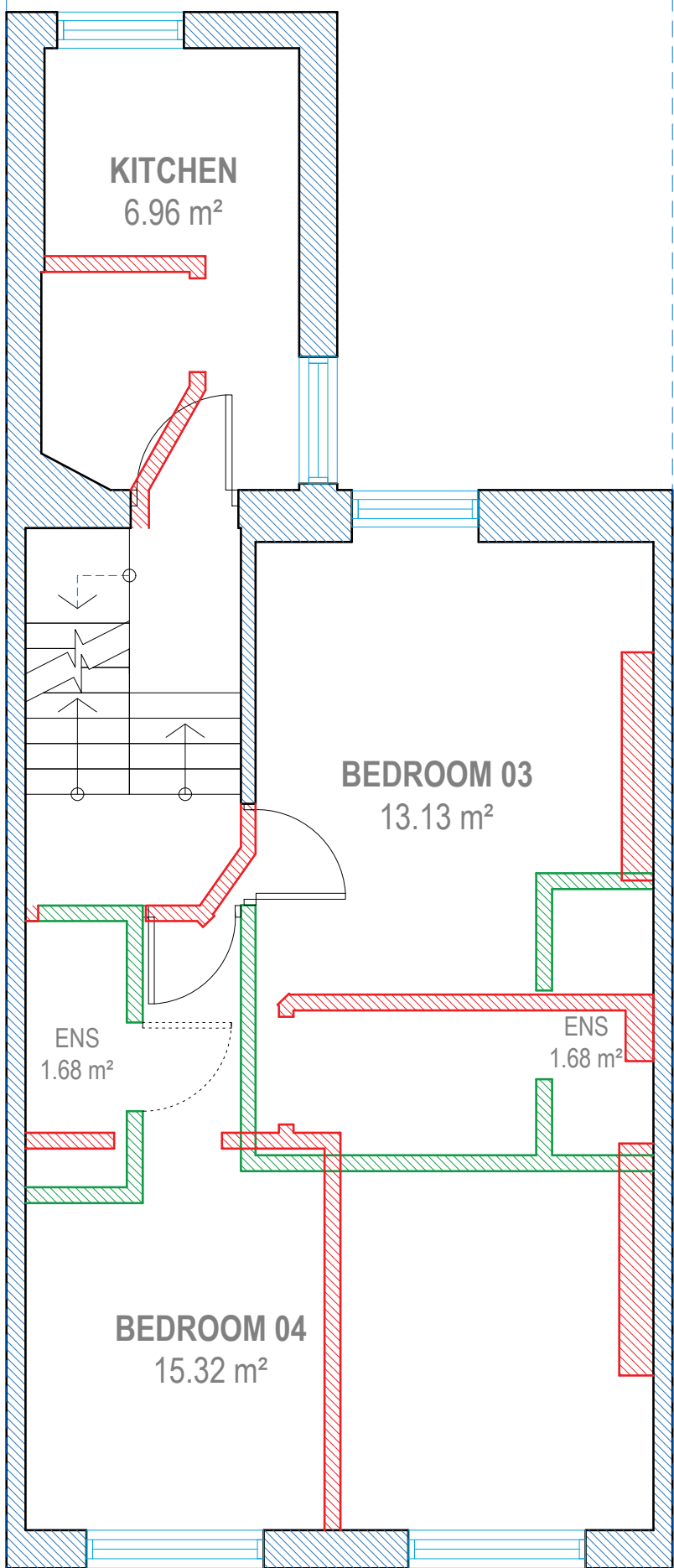
SEC A



SEC A

FIRST FLOOR

SEC A



SEC A

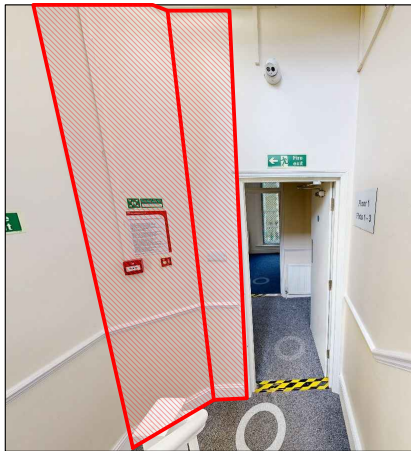
FIRST FLOOR
(Partition Changes)

- WALLS AS EXISTING
- WALLS TO DEMOLISH
- WALLS PROPOSED

SCHEDULE OF WORKS FIRST FLOOR		
SECTION	WORKS UNDERTAKEN	COMMENTARY ON HERITAGE SIGNIFICANCE
CEILING	NO CHANGE	
WALLS	DEMOLITIONS OF STORAGES AND PARTITIONS (AS INDICATED)	
FLOOR	NO CHANGE	
DOORS	NO CHANGE	
WINDOWS	NO CHANGE	
STAIRCASE	NO CHANGE	
PLUMBING FIXTURES	REMOVAL OF ALL EXISTING SINKS IN ROOMS	
PLUMBING / HEATING	NEW PLUMBING PIPES ON NEW FIXTURES	
ELECTRICS	NO CHANGE	
OTHER FEATURES:		
NEW ELECTRIC POINTS OR LIGHTING	NEW LIGHT FOR ENSUITES	
HOLES FOR NEW PLUMBING	FOR PLUMBING LINE TO THE NEW FIXTURES ON ENSUITES	
NEW PARTITIONS ADDED	NEW PARTITIONS FOR ENSUITES	
NEW KITCHEN	NEW COUNTERTOP, NEW FIXTURES & SINK	
NEW ENSUITES	NEW ENSUITE FIXTURES AND PLUMBING	
FIRE AND BUILDING CONTROL WORKS	FIRE RATED SPOT LIGHTS	



NEW KITCHEN AREA & WALL DEMOLITION



EXISTING HALLWAY PARTITION DEMOLITION



EXISTING PARTITIONS DEMOLITION



PARTITION DEMOLITION ON BEDROOM 04 & REMOVAL OF EXISTING SINK



PARTITION DEMOLITION ON BEDROOM 03 & REMOVAL OF EXISTING SINK



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TITLE: PROPOSED DRAWINGS FLOOR PLANS

PROJECT No 2290 DATE: 22-08-2024

SHEET No P 03

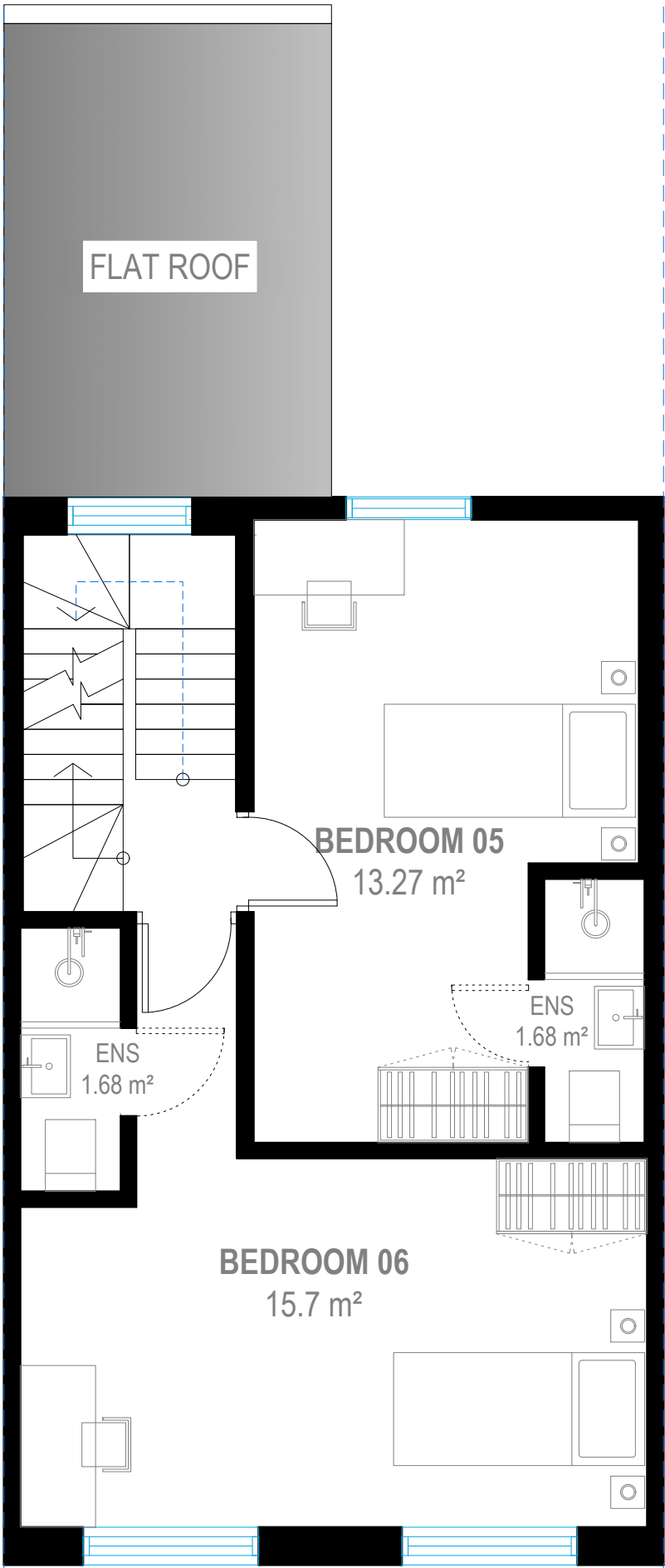
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NOTES:

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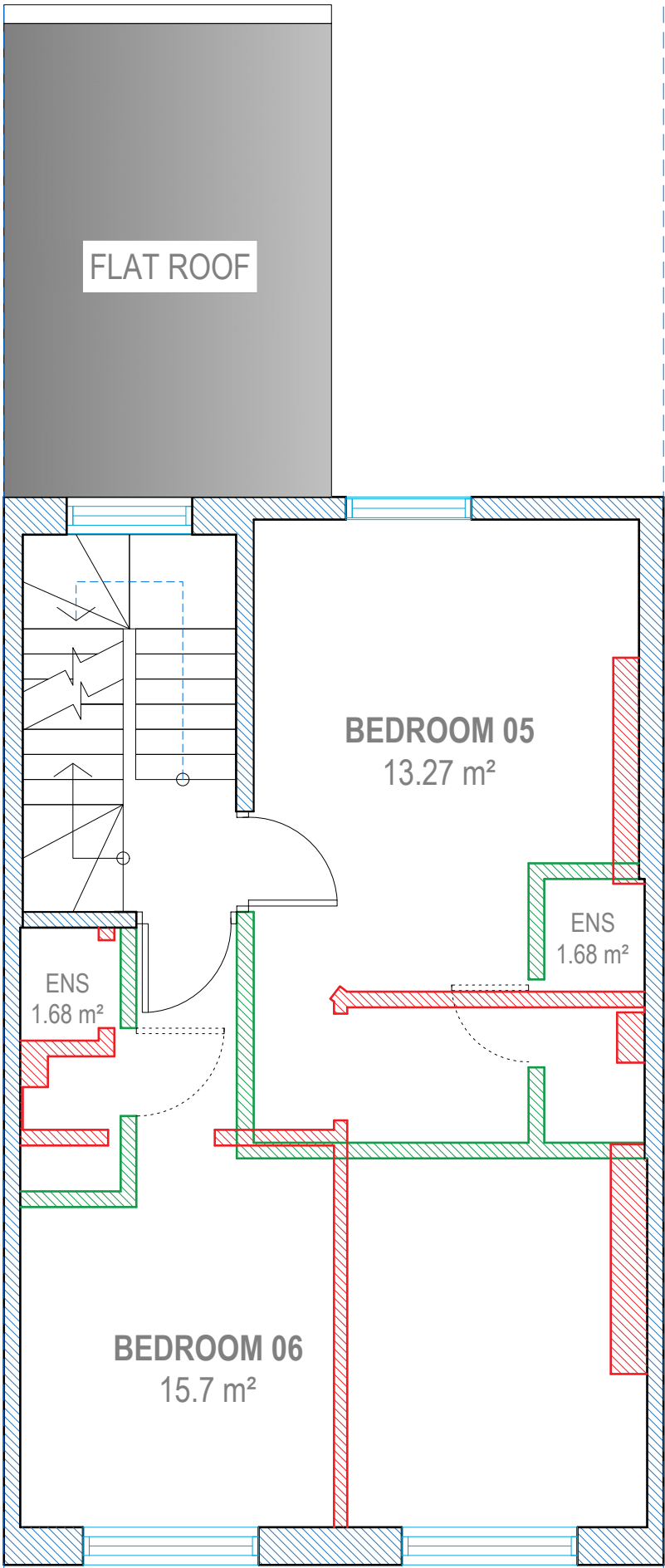
SEC A



SEC A

SECOND FLOOR

SEC A

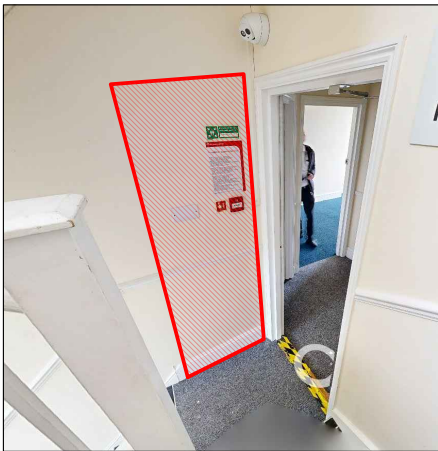


SEC A

SECOND FLOOR
(Partition Changes)

- WALLS AS EXISTING
- WALLS TO DEMOLISH
- WALLS PROPOSED

SCHEDULE OF WORKS		
SECOND FLOOR		
SECTION	WORKS UNDERTAKEN	COMMENTARY ON HERITAGE SIGNIFICANCE
CEILING	NO CHANGE	
WALLS	DEMOLITIONS OF STORAGES AND PARTITIONS (AS INDICATED)	
FLOOR	NO CHANGE	
DOORS	NEW DOOR FOR BEDROOM 05	
WINDOWS	NO CHANGE	
STAIRCASE	NO CHANGE	
PLUMBING FIXTURES	REMOVAL OF ALL EXISTING SINKS IN ROOMS	
PLUMBING / HEATING	NEW PLUMBING PIPES ON NEW FIXTURES	
ELECTRICS	NO CHANGE	
OTHER FEATURES:		
NEW ELECTRIC POINTS OR LIGHTING	NEW LIGHT FOR ENSUITES	
HOLES FOR NEW PLUMBING	FOR PLUMBING LINE TO THE NEW FIXTURES ON ENSUITES	
NEW PARTITIONS ADDED	NEW PARTITIONS FOR ENSUITES	
NEW ENSUITES	NEW ENSUITE FIXTURES AND PLUMBING	
FIRE AND BUILDING CONTROL WORKS	FIRE RATED SPOT LIGHTS	



NEW DOOR ACCESS WALL DEMOLITION



EXISTING PARTITION DEMOLITION



PARTITION DEMOLITION ON BEDROOM 05
& REMOVAL OF EXISTING SINK



PARTITION DEMOLITION ON BEDROOM 06
& REMOVAL OF EXISTING SINK



PARTITION DEMOLITION ON BEDROOM 06
& REMOVAL OF EXISTING SINK



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TITLE: PROPOSED DRAWINGS FLOOR PLANS

PROJECT No 2290 DATE: 22-08-2024

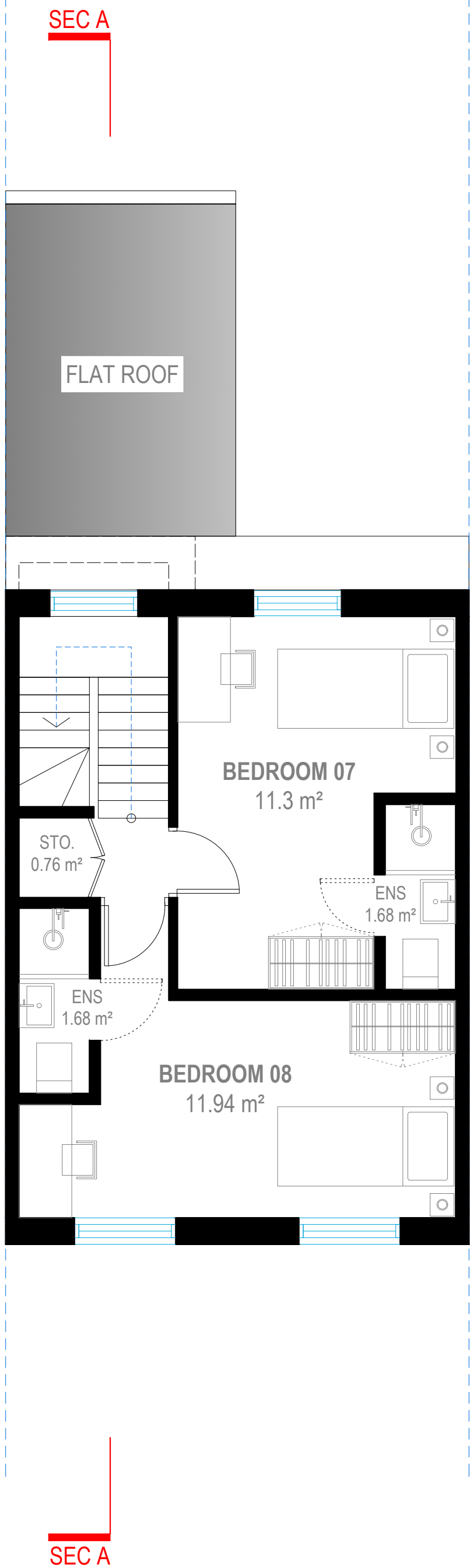
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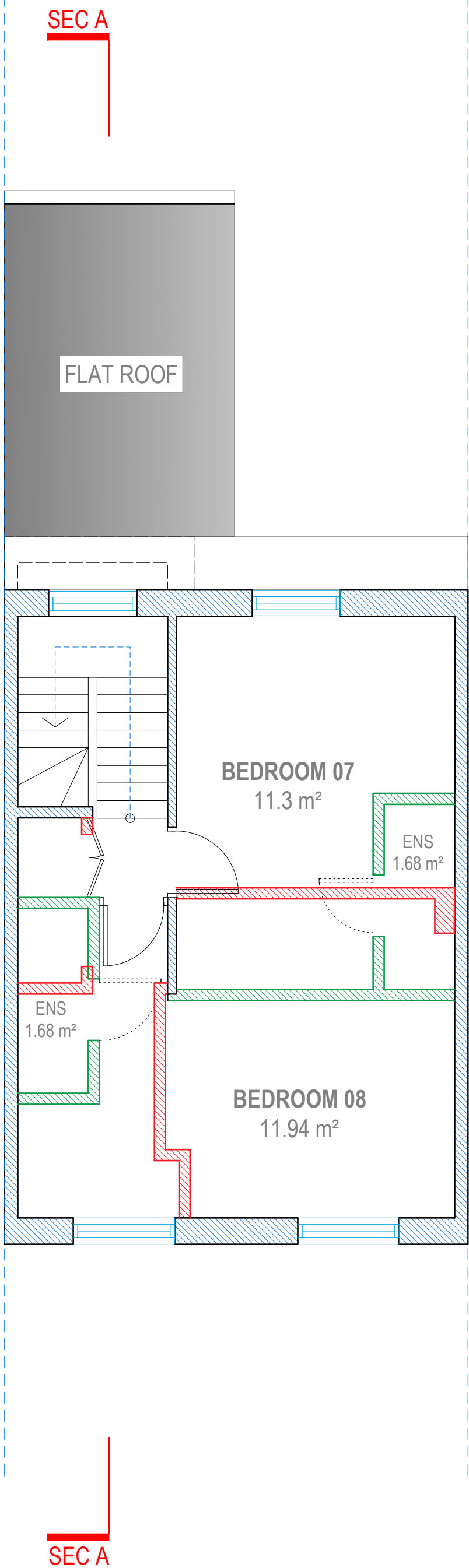
NOTES:

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THIRD FLOOR



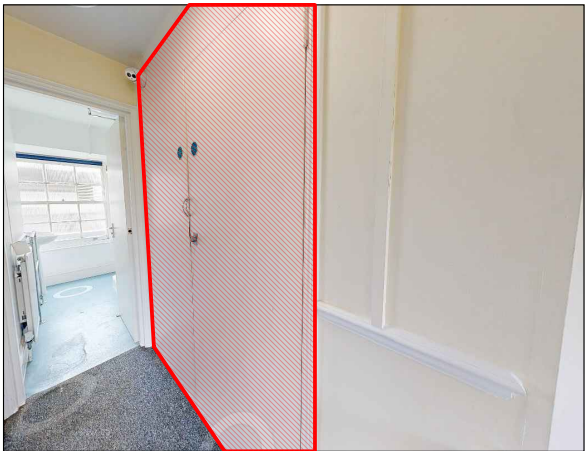
THIRD FLOOR
(Partition Changes)

- WALLS AS EXISTING
- WALLS TO DEMOLISH
- WALLS PROPOSED

SCHEDULE OF WORKS		
THIRD FLOOR		
SECTION	WORKS UNDERTAKEN	COMMENTARY ON HERITAGE SIGNIFICANCE
CEILING	NO CHANGE	
WALLS	DEMOLITIONS OF STORAGES AND PARTITIONS (AS INDICATED)	
FLOOR	NO CHANGE	
DOORS	NO CHANGE	
WINDOWS	NO CHANGE	
STAIRCASE	NO CHANGE	
PLUMBING FIXTURES	REMOVAL OF ALL EXISTING SINKS IN ROOMS	
PLUMBING / HEATING	NEW PLUMBING PIPES ON NEW FIXTURES	
ELECTRICS	NO CHANGE	
OTHER FEATURES:		
NEW ELECTRIC POINTS OR LIGHTING	NEW LIGHT FOR ENSUITES	
HOLES FOR NEW PLUMBING	FOR PLUMBING LINE TO THE NEW FIXTURES ON ENSUITES	
NEW PARTITIONS ADDED	NEW PARTITIONS FOR ENSUITES	
NEW ENSUITES	NEW ENSUITE FIXTURES AND PLUMBING	
FIRE AND BUILDING CONTROL WORKS	FIRE RATED SPOT LIGHTS	



PARTITION DEMOLITION ON BEDROOM 08
& REMOVAL OF EXISTING SINK



EXISTING STORAGE DEMOLITION



PARTITION DEMOLITION ON BEDROOM 07
& REMOVAL OF EXISTING SINK



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TITLE: PROPOSED DRAWINGS FLOOR PLANS

PROJECT No 2290 DATE: 22-08-2024

SHEET No P 05

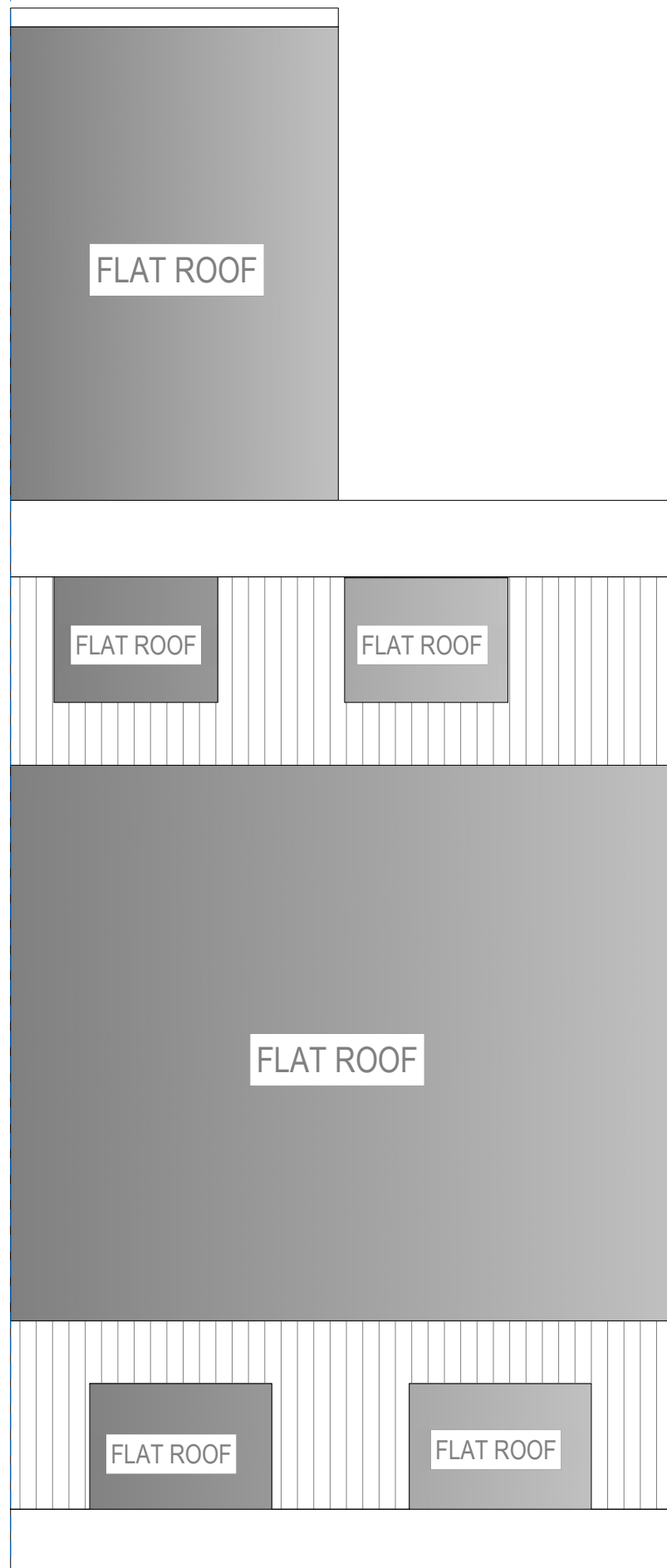
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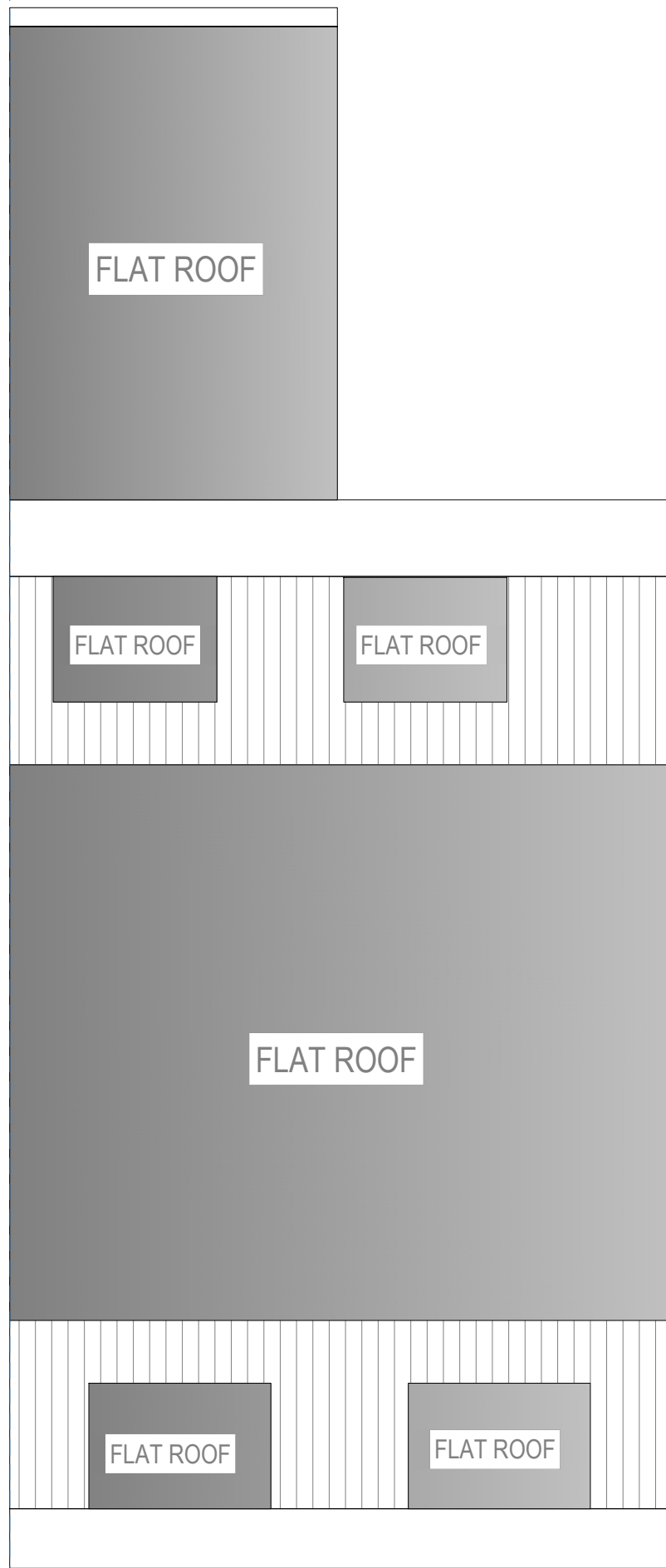
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11



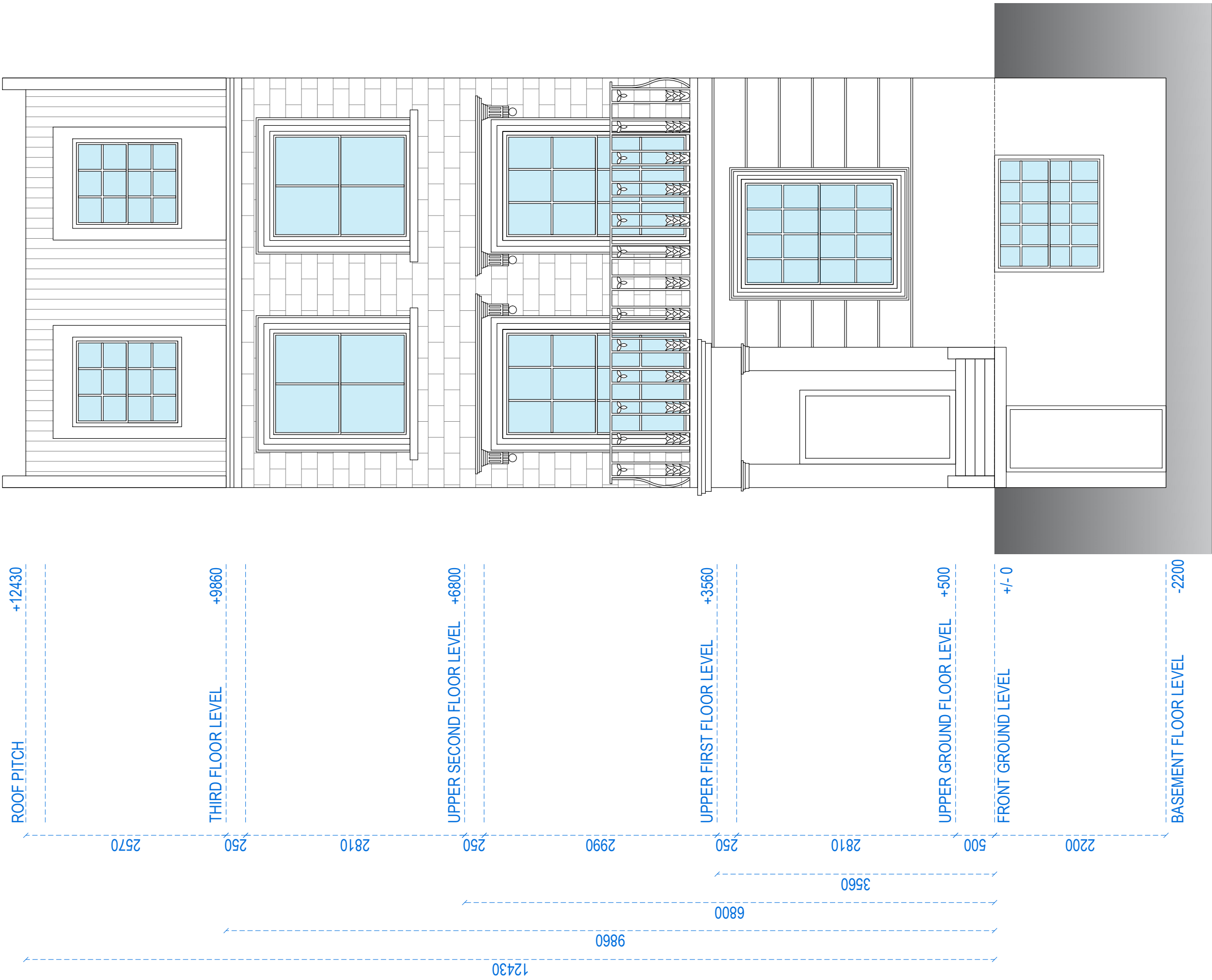
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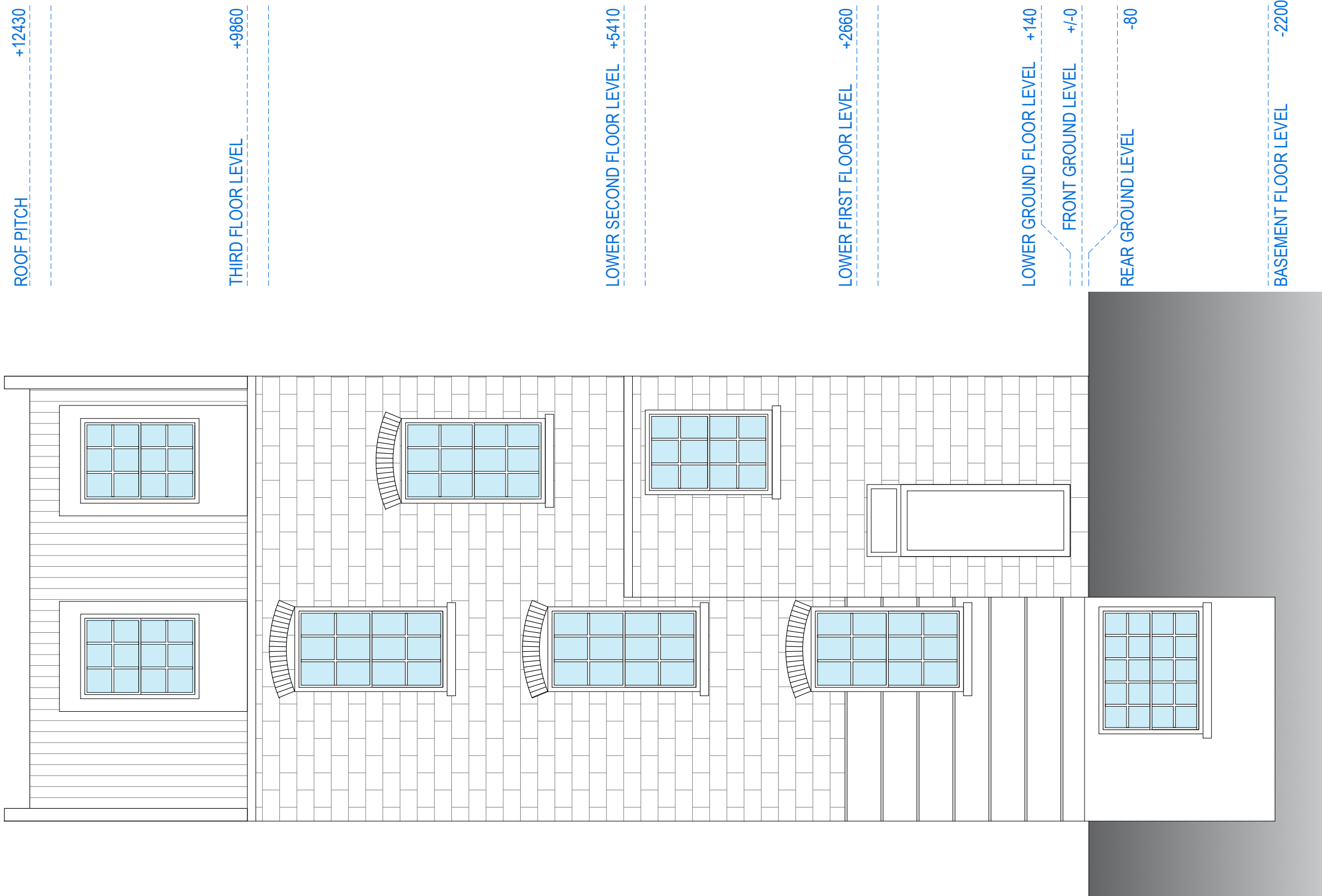
(P

-  WALLS AS EXISTING
 WALLS TO DEMOLISH
 WALLS PROPOSED

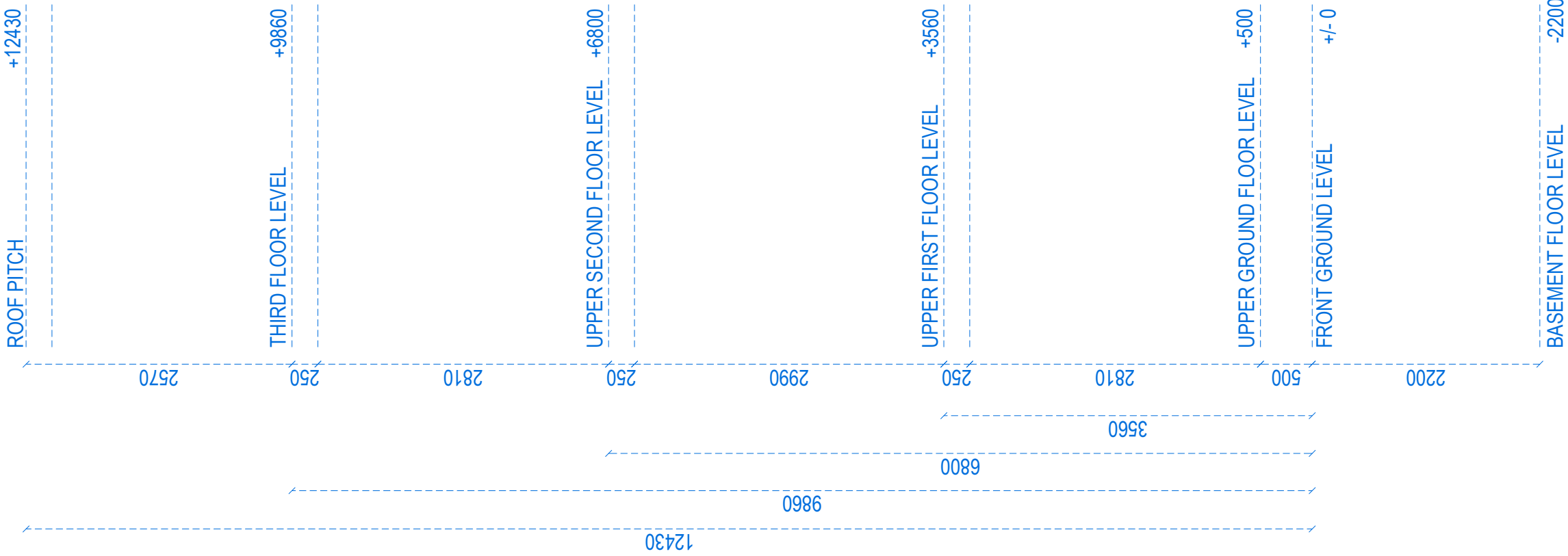
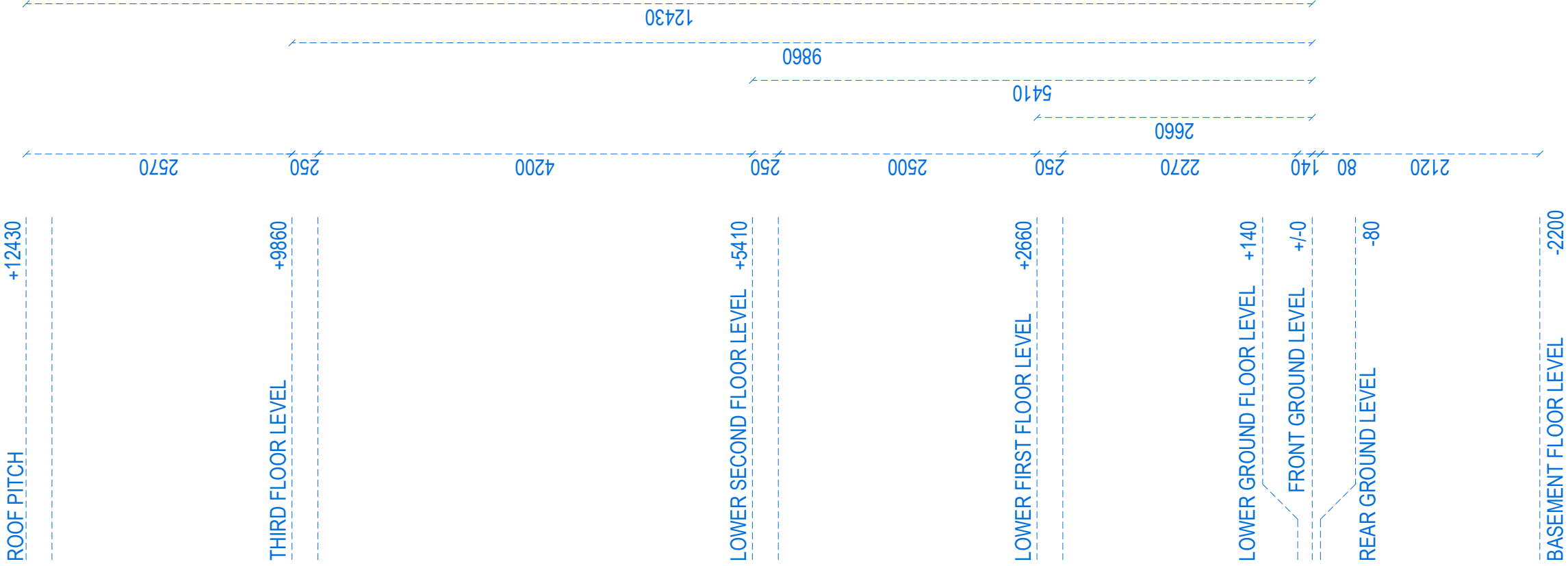
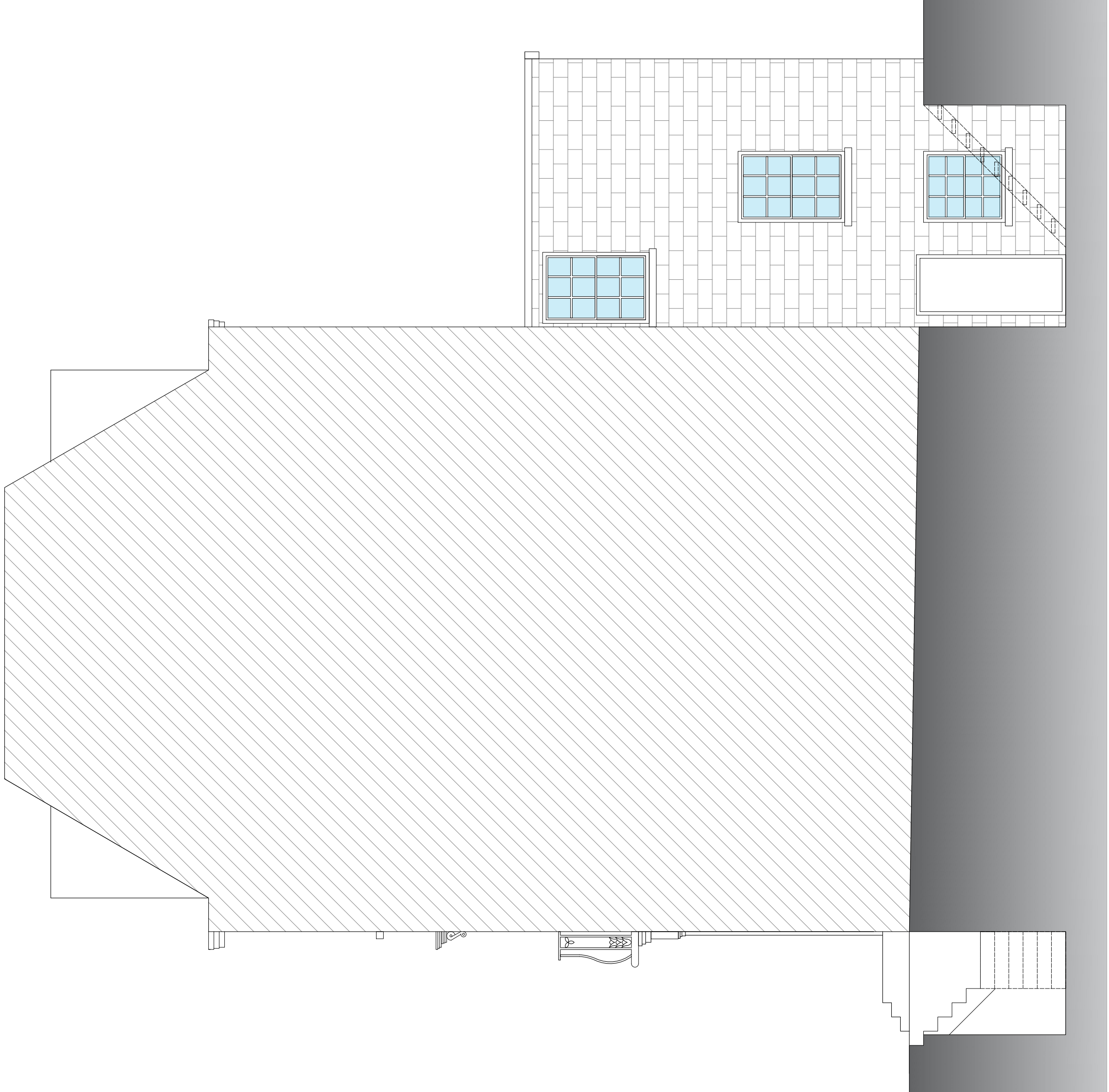
SCHEDULE OF WORKS		ROOF FLOOR
SECTION	WORKS UNDERTAKEN	COMMENTARY ON HERITAGE SIGNIFICANCE
ROOF	NO CHANGE	
WALLS	NO CHANGE	
FLOOR	NO CHANGE	
WINDOWS	NO CHANGE	
FLAT ROOF	NO CHANGE	



FRONT ELEVATION



REAR SIDE ELEVATION



RIGHT SIDE ELEVATION



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PROJECT No 2290	DATE: 22-08-2024
SHEET No P 08	



NOTES:	
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LEFT SIDE ELEVATION



Redwoods
PLANNING
EXTENSIO

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TITLE:		PROPOSED DRAWINGS ELEVATIONS	
PROJECT No	2290	DATE:	22-08-2024
SHEET No		P 09	



NOTES:	
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ROOF PITCH +12430

THIRD FLOOR LEVEL +9860

LOWER SECOND FLOOR LEVEL +5410

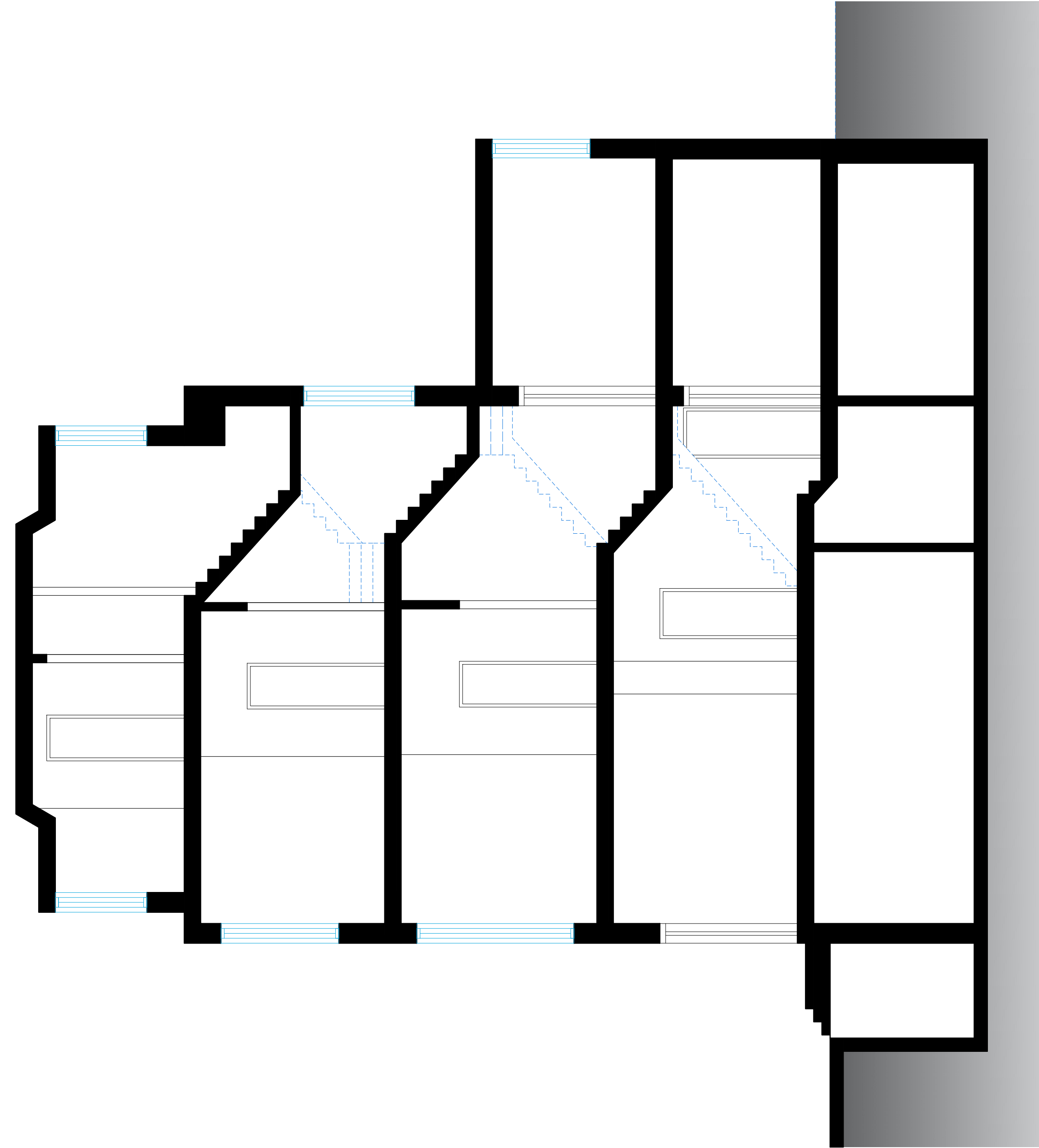
LOWER FIRST FLOOR LEVEL +2660

LOWER GROUND FLOOR LEVEL +140

FRONT GROUND LEVEL +/-0

REAR GROUND LEVEL -80

BASEMENT FLOOR LEVEL -2200



ROOF PITCH +12430

THIRD FLOOR LEVEL +9860

UPPER SECOND FLOOR LEVEL +6800

UPPER FIRST FLOOR LEVEL +3560

UPPER GROUND FLOOR LEVEL +500

FRONT GROUND LEVEL +/- 0

BASEMENT FLOOR LEVEL -2200

SECTION A - A



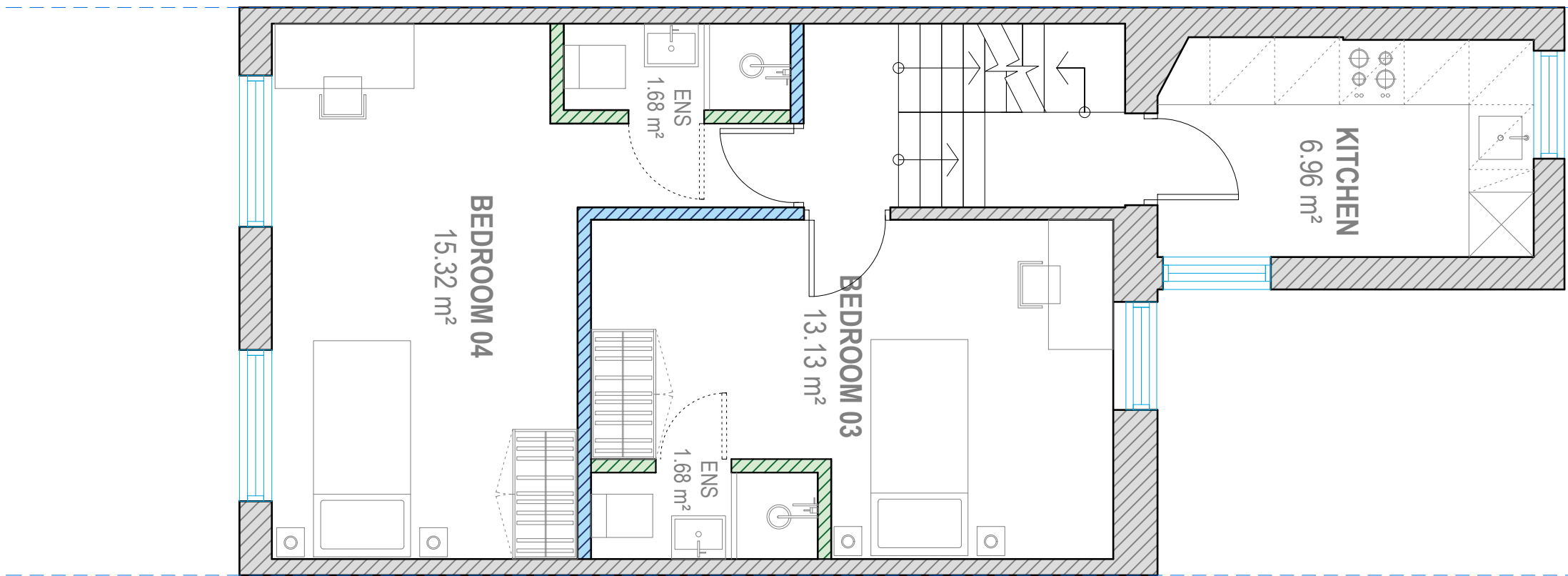
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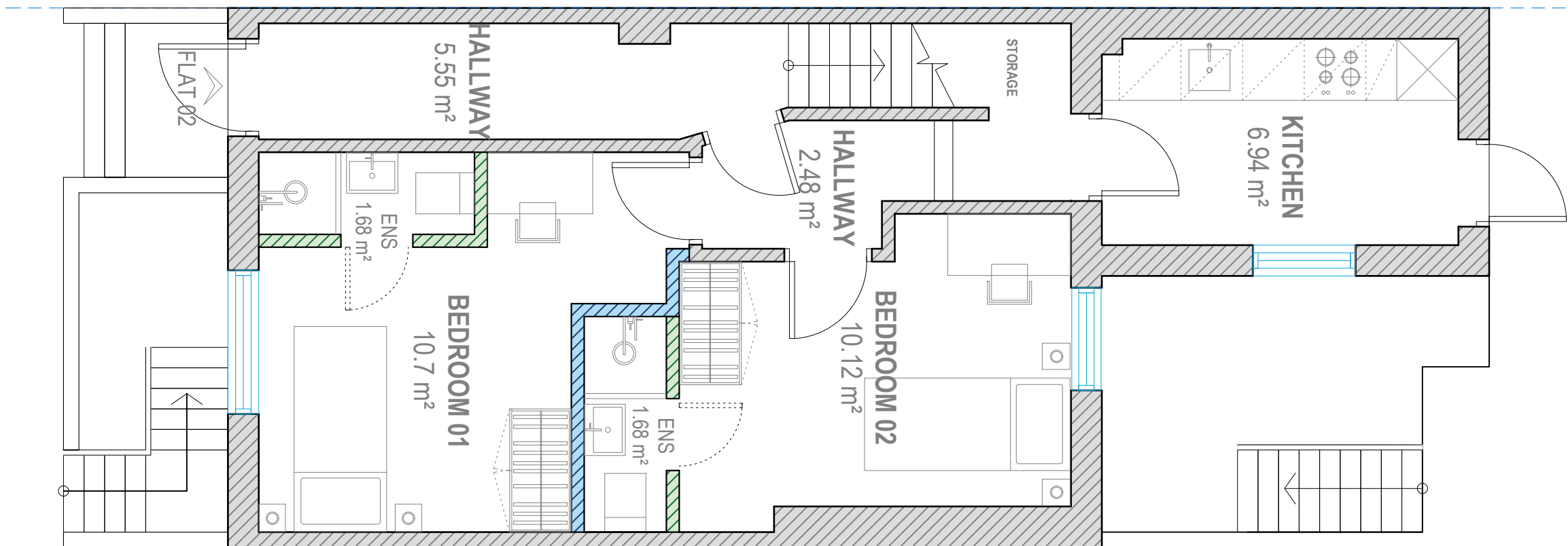
REFERENCE: 58 DELANCEY STREET, LONDON, GREATER LONDON NW1 7RY, UK	
TITLE: PROPOSED DRAWINGS ELEVATIONS	
PROJECT No 2290	DATE: 22-08-2024
SHEET No P 10	

0 0.5 1 2.5m scale 1:50 @A2

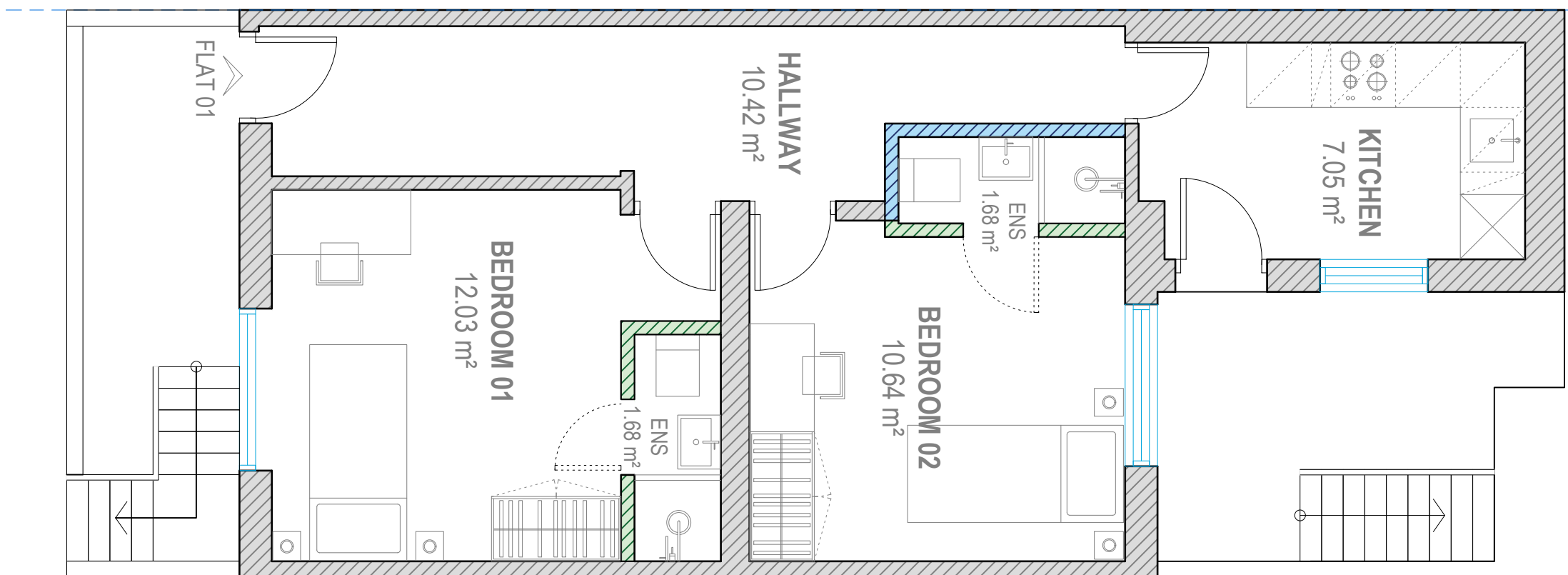
NOTES:	
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FIRST FLOOR



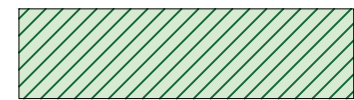
GROUND FLOOR



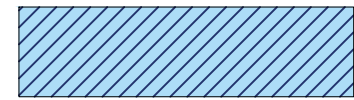
BASEMENT FLOOR



EXISTING WALLS

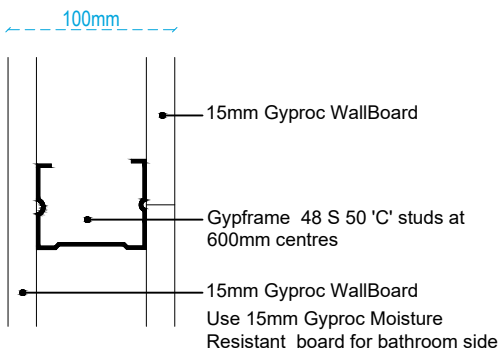


NEW PARTITIONAL WALLS (WT-01)



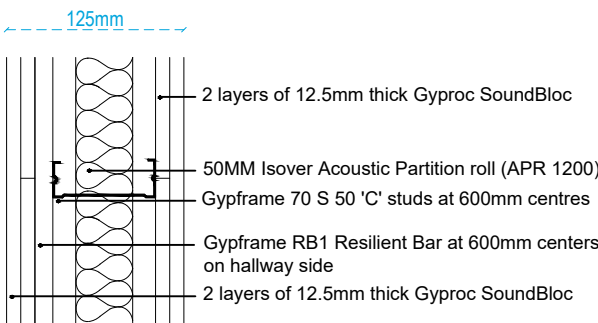
NEW PARTITIONAL WALLS (WT-02)

WT-01 INTERNAL PARTITION WALL DETAIL
PARTITION THICKNESS 100mm
GypWall Single Frame A206002 (EN)



Fire Integrity - 30mins
Fire Insulation - 30mins
Sound Insulation(Airborne) Rw-36dB

WT-02 INTERNAL PARTITION WALL
DETAIL BETWEEN UNIT AND HALLWAY
PARTITION THICKNESS 125mm
GypWall Single Frame A206230 (EN)



Fire Integrity - 60mins
Fire Insulation - 60mins
Sound Insulation(Airborne) Rw - 53dB



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TITLE: PROPOSED DRAWINGS DETAILS

PROJECT No 2290 DATE: 22-08-2024

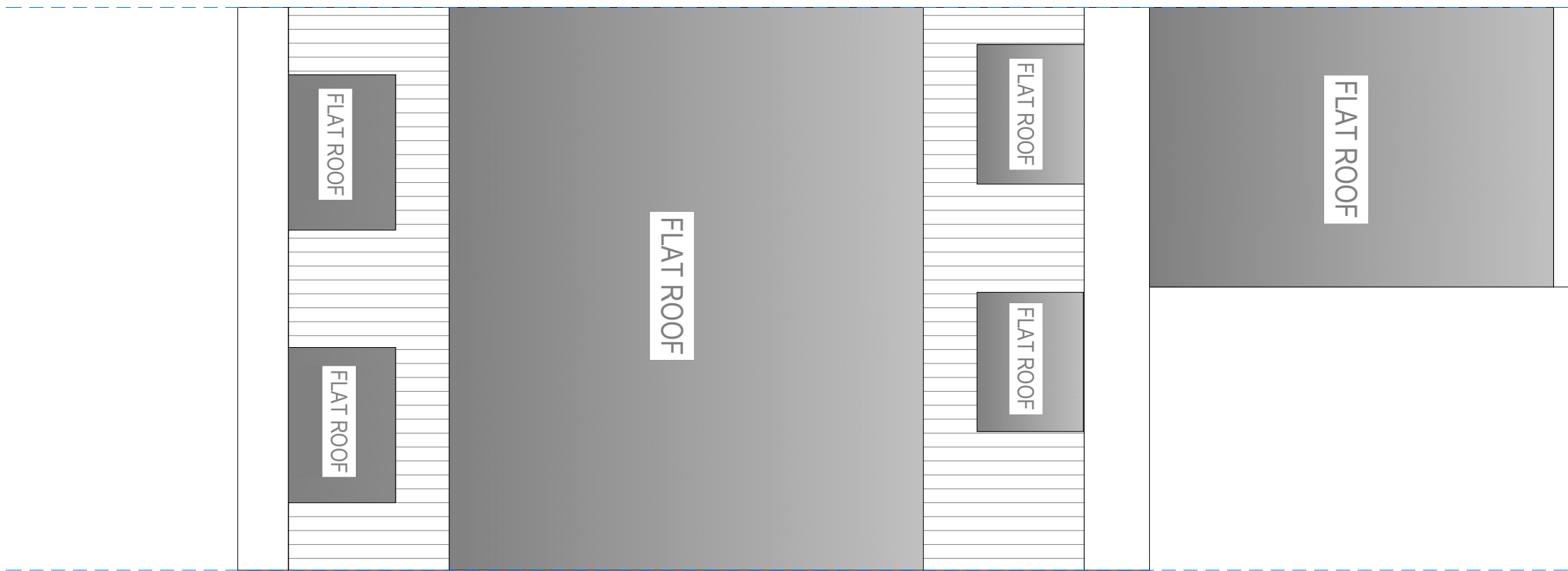
SHEET No **P 11**

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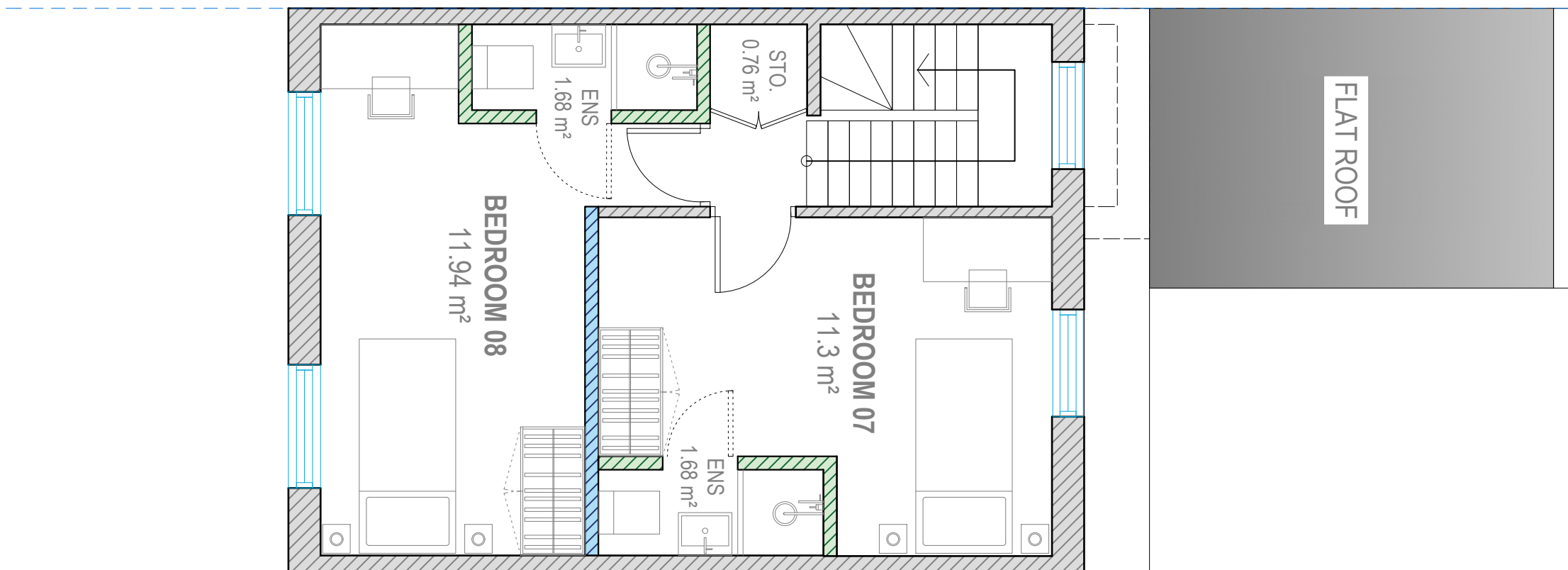
NOTES:

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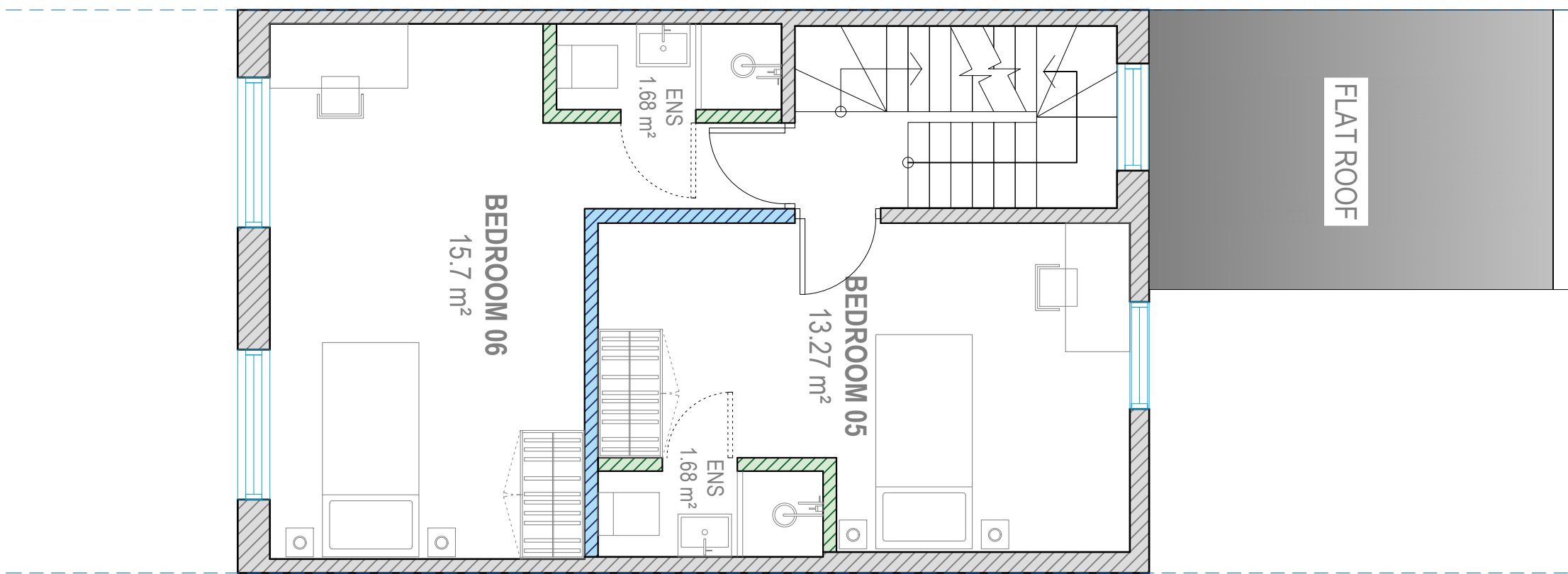
EDITED BY



ROOF FLOOR



THIRD FLOOR



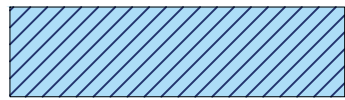
SECOND FLOOR



EXISTING WALLS

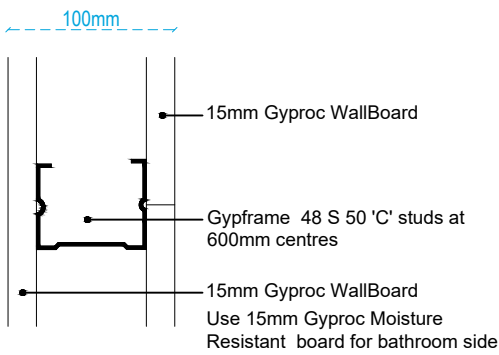


NEW PARTITIONAL WALLS (WT-01)



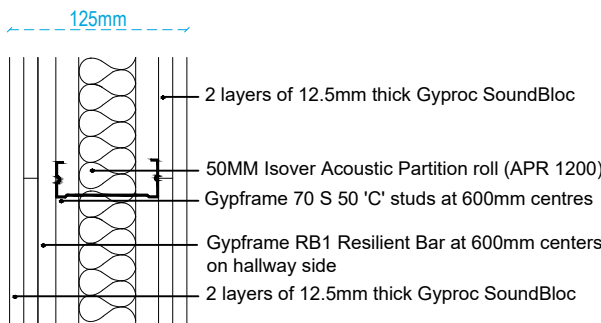
NEW PARTITIONAL WALLS (WT-02)

WT-01 INTERNAL PARTITION WALL DETAIL
PARTITION THICKNESS 100mm
GypWall Single Frame A206002 (EN)



Fire Integrity - 30mins
Fire Insulation - 30mins
Sound Insulation(Airborne) Rw-36dB

WT-02 INTERNAL PARTITION WALL
DETAIL BETWEEN UNIT AND HALLWAY
PARTITION THICKNESS 125mm
GypWall Single Frame A206230 (EN)



Fire Integrity - 60mins
Fire Insulation - 60mins
Sound Insulation(Airborne) Rw - 53dB



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TITLE: PROPOSED DRAWINGS FLOOR PLANS

PROJECT No 2290 DATE: 22-08-2024

SHEET No **P 12**

0 0.5 1 2.5m scale 1:50 @A2

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