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Ref: 88A Cleveland Street, Ground Floor Unit, Air Conditioning

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**Planning Statement with Passive Cooling Statement**

**Introduction**

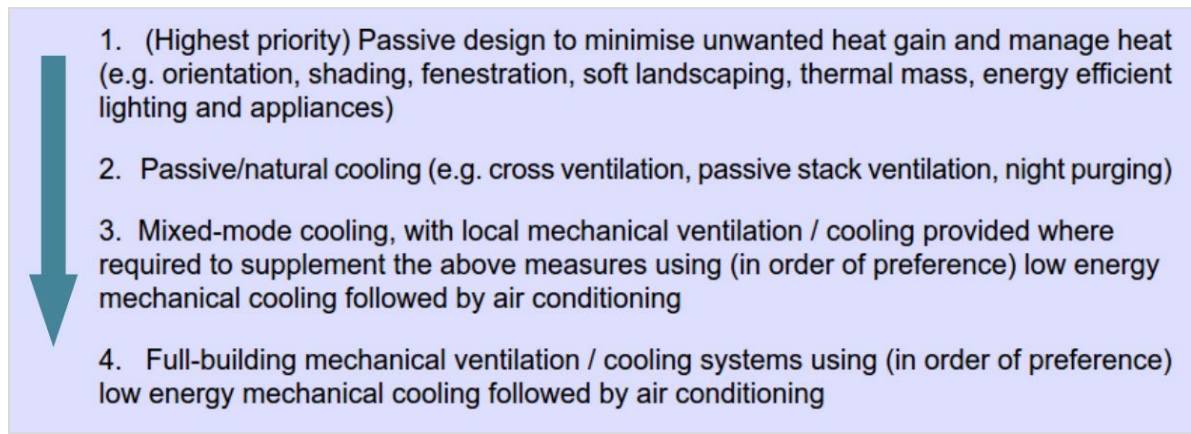
This brief statement supports an application for the installation of a single new air conditioning unit proposed to be installed to the rear elevation as considered partly in the pre-application submission response and as detailed in this full planning application for a new Class E restaurant within existing Class E premises.

**Access**

No change

**Heating & Cooling**

Our client intends to adhere to this hierarchy where reasonable and realistic due to their commitments . Given the very small GIA of the unit over two floors, and lack of substantial openable fenestration at the basement level that would make cross ventilation possible it is not realistic to expect a suitable level of passive stack ventilation. The glazing to the front elevation facing the busy retail area is fixed and not openable, meaning cross ventilation is also not viable on the ground floor. In any case these measures have been considered.



1. (Highest priority) Passive design to minimise unwanted heat gain and manage heat (e.g. orientation, shading, fenestration, soft landscaping, thermal mass, energy efficient lighting and appliances)
2. Passive/natural cooling (e.g. cross ventilation, passive stack ventilation, night purging)
3. Mixed-mode cooling, with local mechanical ventilation / cooling provided where required to supplement the above measures using (in order of preference) low energy mechanical cooling followed by air conditioning
4. Full-building mechanical ventilation / cooling systems using (in order of preference) low energy mechanical cooling followed by air conditioning

**Appearance**

No change. AC unit at rear elevation of commercial parade.



## **Noise & Pollution**

Please refer to NIA.