



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



PLANNING APPLICATION – P8 – SCHEDULE OF WORKS

Prepared by



Architon LLP

Upper Deck ~ 17A West Street ~ Epsom ~ Surrey ~ KT18 7RL

Tel: 01372 745 600

Email: info@architon.com



CONTENTS

		Page
1.0	INTRODUCTION	2
2.0	DEMOLITION AND STRIP OUT WORKS	4
2.1	Proposals	4
2.2	Scope of Works	4
3.0	WINDOW WORKS, CURTAIN WALLING, SECONDARY GLAZING, HIGH LEVEL WINDOWS AND ROOFLIGHTS	5
3.1	Proposals	5
3.2	Scope of Works	5
4.0	PARTITION AND CEILING WORKS	6
4.1	Proposals	6
4.2	Scope of Works	6
5.0	FLOORING WORKS	7
5.1	Proposals	7
5.2	Scope of Works	7
6.0	FIXED FURNITURE AND LIFTING PLATFORMS	8
6.1	Proposals	8
6.2	Scope of Works	8
7.0	EXTERNAL WORKS	9
7.1	Proposals	9
7.2	Scope of Works	9
8.0	TOILET CORE UPGRADE WORKS	10
8.1	Proposals	10
8.2	Scope of Works	10
Appendix A	- Drawings Changes Tracker	
Appendix B	- Application 2A - Schedule of Works	
Appendix C	- Application 2B - Schedule of Works	
Appendix D	- Application 2C - Schedule of Works	
Appendix E	- Application 2D - Schedule of Works	

1.0 INTRODUCTION

The purpose of this document is to capture all site/client changes to the previously approved Scope of Works that have been undertaken to the Institute of Education as part of the Phase 2 Refurbishment Project under applications:

	<u>Full Planning Permission</u>	<u>Listed Building Consent</u>
Application 2A	reference 2019/6386/P	reference 2019/6410/L
Application 2B	reference 2020/1520/P	reference 2020/1567/L
Application 2C	reference 2021/6235/P	reference 2021/6242/L
Application 2D	~	reference 2023/0291/L

This document is to be read in conjunction with updated 'P8' drawings as noted herein, together with all drawings forming part of the above application which remain unchanged. For details of which drawings reflect the final works and changes for approval, please refer to Appendix A - Drawing Change Tracker.

For the complete Schedule of Works documents prepared as part of the approved applications above, please refer to Appendix B.

The location of the project is defined by the Location and Site Plans prepared as part of the separate applications which remain unchanged and therefore these have not been updated as part of this application.

The Areas of Works for the project is as defined by the 'As Existing' Plans.

Changes that have occurred to the internal layouts within the Area of Works for this Planning Application are indicated on the 'As Proposed' Plans for this Planning Application for all floors of the building as follows:

3147 – P8 – 2105	Plan as Proposed – Level 1
3147 – P8 – 2205	Plan as Proposed – Level 2
3147 – P8 – 2305	Plan as Proposed – Level 3 - Sheet 1
3147 – P8 – 2306	Plan as Proposed – Level 3 - Sheet 2
3147 – P8 – 2405	Plan as Proposed – Level 4 - Sheet 1
3147 – P8 – 2406	Plan as Proposed – Level 4 - Sheet 2
3147 – P8 – 2505	Plan as Proposed – Level 5
3147 – P8 – 2605	Plan as Proposed – Level 6 - Sheet 1
3147 – P8 – 2606	Plan as Proposed – Level 6 - Sheet 2
3147 – P8 – 2705	Plan as Proposed – Level 7 - Sheet 1
3147 – P8 – 2706	Plan as Proposed – Level 7 - Sheet 2
3147 – P8 – 2805	Plan as Proposed – Level 8 - Sheet 1
3147 – P8 – 2806	Plan as Proposed – Level 8 - Sheet 2
3147 – P8 – 2905	Plan as Proposed – Level 9 - Sheet 1
3147 – P8 – 2906	Plan as Proposed – Level 9 - Sheet 2
3147 – P8 – 2R05	Plan as Proposed – Level 10
3147 – P8 – 2X05	Plan as Proposed – Level 10.5 to Level 12

For details of any changes to the approved structural works – please refer to TAK Structures documents.

For details of any changes to the building services and infrastructure works – please refer to Long and Partners documents.

All architectural works detailed have been fully coordinated with structural and building services design requirements. These have been undertaken in accordance with Building Regulations, relevant British and International Standards and Codes, UCL Standard, project BREEAM requirements (to achieve the excellent rating), Fire Strategy documents (as prepared by Osborn) and Acoustic Performance criteria, (as set out by Buro Happold).

Architectural elements have been installed in accordance with, but not limited to, the latest and current versions of the following design standards and codes:

Building Regulations, including:	AD Part B	Fire Safety
	AD Part F	Means of Ventilation
	AD Part K	Protection from falling, collision and impact
	AD Part L2	Conservation of fuel and power
	AD Part M	Access to and use of buildings

CDM Regulations 2015
Chartered Institution of Building Services Engineers (CIBSE) Guides & IEE Wiring regulations, BS 7671, and associated guidance notes.
COSHH (Control of Substances Hazardous to Health) Regulations
British Standards and European Norms
UCL Design Standards
The Equality Act



Typical joinery

2.0 DEMOLITION AND STRIP OUT WORKS

2.1 PROPOSALS

This section should be read in conjunction with the following updated architectural drawings:

3147 – P8 – 2102	Demolition Plan – Level 1
3147 – P8 – 2202	Demolition Plan – Level 2
3147 – P8 – 2302	Demolition Plan – Level 3 - Sheet 1
3147 – P8 – 2303	Demolition Plan – Level 3 - Sheet 2
3147 – P8 – 2402	Demolition Plan – Level 4 - Sheet 1
3147 – P8 – 2403	Demolition Plan – Level 4 - Sheet 2
3147 – P8 – 2502	Demolition Plan – Level 5
3147 – P8 – 2602	Demolition Plan – Level 6 - Sheet 1
3147 – P8 – 2603	Demolition Plan – Level 6 - Sheet 2
3147 – P8 – 2702	Demolition Plan – Level 7 - Sheet 1
3147 – P8 – 2703	Demolition Plan – Level 7 - Sheet 2
3147 – P8 – 2802	Demolition Plan – Level 8 - Sheet 1
3147 – P8 – 2803	Demolition Plan – Level 8 - Sheet 2
3147 – P8 – 2902	Demolition Plan – Level 9 - Sheet 1
3147 – P8 – 2903	Demolition Plan – Level 9 - Sheet 2
3147 – P8 – 2X02	Demolition Plan – Level 10.5-12
3147 – P8 – 2016	Core A Riser – Elevation – As Existing & Demolition
3147 – P8 – 2017	Core B Riser – Elevation – As Existing & Demolition

Demolition and strip out works have been prepared to reflect the final project requirements on site. These were, in principle, undertaken as detailed below.

2.2 SCOPE OF WORKS

There have been no changes to the principles of the demolition works undertaken. Please refer to Appendices B, C, D and E for details.

The only change covered by this application is the strip-out of the suspended ceiling rafts in the Drama Hall on L1. These works were added to the scope of the project to enable the installation of new services running into the Core A riser. Services and AV equipment within the space were temporarily removed, stored ready for reinstatement.

Please refer to the updated drawings listed above for demolitions undertaken and forming part of this final application.

3.0 WINDOW WORKS, CURTAIN WALLING, SECONDARY GLAZING, HIGH LEVEL WINDOWS AND ROOFLIGHTS

3.1 PROPOSALS

This section should be read in conjunction with the proposed plans and the following updated architectural drawings:

3147 – P8 – 2306	Plan as Proposed – Level 3 - Sheet 2
3147 – P8 – 2319	L3 & 4 External Works
3147 – P8 – 2321	Elevation – Curtain Wall Level 3 – As Proposed
3147 – P8 – 2406	Plan as Proposed – Level 4 - Sheet 2
3147 – P8 – 2505	Plan as Proposed – Level 5
3147 – P8 – 2508	L5 Wall & Window Finishes

3.2 SCOPE OF WORKS

There have been no changes to the principles in which the installation of new glazing, curtain walling, secondary glazing, drum and pass doors, rooflights, louvres, blinds or the application of new films and manifestations has been undertaken. Please refer to Appendices C, D and E for details of these.

Changes covered by this application are limited to the following:

- Location and extent of window films and manifestation updated to reflect the reorganisation of some spaces, see drawings.
- Addition of manifestations for 3no new rooms at L5 Zone C.
- Removal of opaque film from front elevation to suit relocation of café servery.
- Removal of glazed screen from L4 Zone B to suit creation of new Post Room.

Please refer to the updated drawings listed above for all changes.



Graphics approved under separate application for advertising consent (reference 2023/3477/A) to glazing at L3 on the Bedford Way Elevation (left) Graphics and manifestation applied to glazing at L4 Elevation (right)

4.0 PARTITION AND CEILING WORKS

4.1 PROPOSALS

This section should be read in conjunction with the proposed plans and the following updated architectural drawings:

3147 – P8 – 2111	Reflected Ceiling Finishes – Level 1
3147 – P8 – 2211	Reflected Ceiling Finishes – Level 2
3147 – P8 – 2311	Reflected Ceiling Finishes – Level 3 - Sheet 1
3147 – P8 – 2312	Reflected Ceiling Finishes – Level 3 - Sheet 2
3147 – P8 – 2411	Reflected Ceiling Finishes – Level 4 - Sheet 1
3147 – P8 – 2412	Reflected Ceiling Finishes – Level 4 - Sheet 2
3147 – P8 – 2511	Reflected Ceiling Finishes – Level 5
3147 – P8 – 2611	Reflected Ceiling Finishes – Level 6 - Sheet 1
3147 – P8 – 2612	Reflected Ceiling Finishes – Level 6 - Sheet 2
3147 – P8 – 2711	Reflected Ceiling Finishes – Level 7 - Sheet 1
3147 – P8 – 2712	Reflected Ceiling Finishes – Level 7 - Sheet 2
3147 – P8 – 2811	Reflected Ceiling Finishes – Level 8 - Sheet 1
3147 – P8 – 2812	Reflected Ceiling Finishes – Level 8 - Sheet 2
3147 – P8 – 2911	Reflected Ceiling Finishes – Level 9 - Sheet 1
3147 – P8 – 2912	Reflected Ceiling Finishes – Level 9 - Sheet 2
3147 – P8 – 2051	Typical Office Elevations

4.2 SCOPE OF WORKS

There have been no changes to the principles in which the installation of new stud and board partition walls, glazed partition systems, solid walls, doors, ceilings (including acoustic rafts), skirting boards, etc. have been undertaken. Please refer to Appendix B, C, D and E for details of these.

Changes covered by this application are limited to the following:

- Extent and the location of partitions walls, doors, vision panels and ceilings updated to suit reorganisation of areas, see drawings.
- Omission of plasterboard linings from good quality concrete walls in L3 teaching room.
- Addition of new glazed partition system as part of addition of 3no rooms at L5 Zone C.
- Toilet lobby ceilings reduced in height to coordinate / provide sufficient void for services through soft spot overhead door.
- Addition of ceiling rafts into new teaching rooms.
- Infill of L1 Drama Hall projection window.
- L1 lobby wall relocated 200mm
- Installation of new ceiling rafts within the L1 Drama Hall. Reinstatement of the ceiling services and AV equipment.

Please refer to the updated drawings listed above for all changes.

5.0 FLOORING WORKS

5.1 PROPOSALS

This section should be read in conjunction with the proposed plans and the following updated architectural typical detail drawings:

3147 – P8 – 2113	Floor Finishes – Level 1
3147 – P8 – 2313	Floor Finishes – Level 2 & 3
3147 – P8 – 2413	Floor Finishes – Level 4
3147 – P8 – 2513	Floor Finishes – Level 5

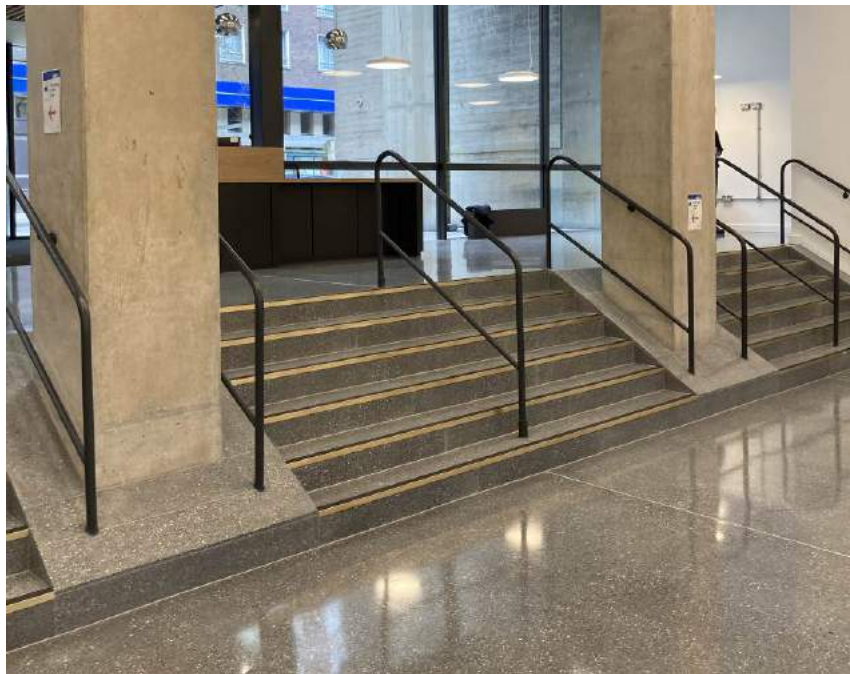
5.2 SCOPE OF WORKS

Generally the principles in which the installation of new floor finishes have been installed are as detailed in previous Schedule of Works documents. Please refer to Appendix B, C, D and E for details of these.

Changes covered by this application are limited to the following:

- The extent and the location of finishes, updated to suit reorganised spaces including, creation of new teaching rooms, see drawings.
- Change of floor finish in WCs from vinyl with coved skirting, to large format ceramic tiles with ceramic skirting.
Note: this is applicable to application 2A only as ceramic tiling was already detailed in application 2D.
- Addition of acoustic matting under select hard floor finishes.
Note: this is applicable to application 2B only with mats already detailed in application 2D and N/A for applications 2A or 2C).
- Addition of movement joints required as part of resin floor installation.
- Change of floor over former radiator trench from resin to rubber.
- Change of L3 floor finish behind reception desk from resin to carpet.
- Addition of rubber floor to relocated vending area at Level 4.
Note: this change was made to make good floor in this location which was not known previously.

Please refer to the updated drawings listed above for all changes.



Resin floor finish with movement joints at L3 Atrium



Rubber floor finish to radiator trench at L3 Atrium

6.0 FIXED FURNITURE AND LIFTING PLATFORMS

6.1 PROPOSALS

This section should be read in conjunction with the proposed plans and the following updated architectural typical detail drawings:

3147 – P8 – 2325	Level 3 – Café Servery
3147 – P8 – 2326	Lift L.01
3147 – P8 – 2427	Level 4 – Bench

6.2 SCOPE OF WORKS

There have been no changes to the principles in which the installation of new fixed furniture and lifting platforms have been installed; please refer to Appendix C for details of these.

Changes covered by this application to reflect design development, are limited to the following:

- Minor adjustment to the extent and the location of timber fins / joinery to suit reorganised layouts; including creation of L3 teaching rooms, see drawings.
- Relocation and redesign of café servery, including addition of sugar / stirrer counter and stand up tables.
- Omission of glazed upstand at rear of L4 fixed benching and replacement with timber solution.
- Updated, developed proposal for L4 storage and display wall.
- Addition of post room and benching.
- Addition of fixed posts at base and head of lift L.01.
- Installation of AV screens to Core Lobby areas as indicated on the proposed plans.

Please refer to the updated drawings listed above for all changes.



L4 Zone B – New post room



L4 Zone B 'break-out' area with updated teaching screen & benching



L3 Zone B Atrium with relocated Café & L4 'Break-out' area

7.0 EXTERNAL WORKS

7.1 PROPOSALS

This section should be read in conjunction with the proposed plans (see introduction, page 2 for list of drawings) and the following updated architectural drawing:

3147 – P8 – 2319 Proposed External works – Level 3 & 4

7.2 SCOPE OF WORKS

Generally the principles in which external works have been have been undertaken are as detailed in previous Schedule of Works documents. Please refer to Appendices B and C for details of these.

Changes covered by this application to the external works are limited to the following:

- Existing timber deck at L9 Wing A terrace not reinstated. Replaced with paving tiles to match the terraces / external areas on all other levels.
- Existing balustrades retained and redecorated. Not removed and replaced with new.
- New temporary / freestanding edge protection added to protect escape routes.

Please refer to the updated drawings listed above for all changes.



L9 Wing Terrace - new paving & temporary edge protection



L6-8 - new escape barrier



L6-8 – enhanced thermal roof finish

8.0 TOILET CORE UPGRADE WORKS

8.1 PROPOSALS

This document should be read in conjunction with the proposed plans and the following updated architectural typical detail drawing:

3147 – P8 - 2050 Toilets – Typical Proposal

8.2 SCOPE OF WORKS

Generally, the principles in which the installation of new toilets and sanitaryware have been installed is as detailed in previous Schedule of Works documents; please refer to Appendix B for details.

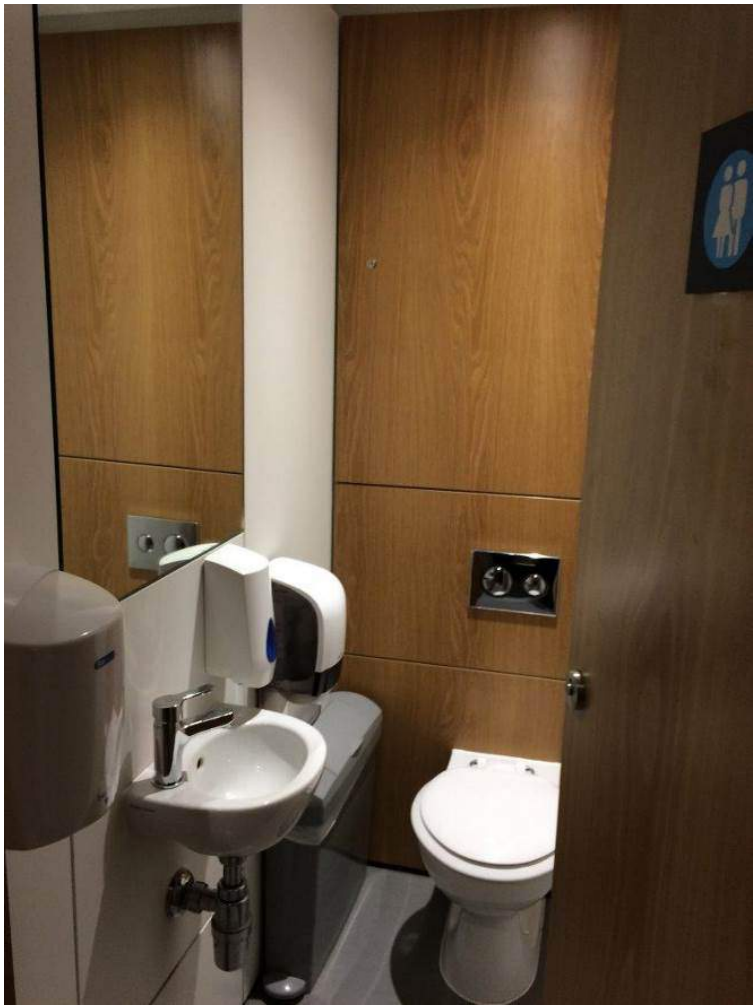
Changes are limited to:

- IPS installation within standard WC cubicles on the basin side has been omitted. Wider partition walls, lined with white hygienic cladding, have been installed between cubicles; these house services installations.
- Basin type replaced with new UCL standard.
- Type of sanitaryware updated to suit new UCL standard.

Please refer to the updated drawings (listed above) for all changes.



Existing toilet cubicle



Cubicle completed at Phase 1



New cubicle completed at Phase 2



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



APPENDIX A – DRAWINGS CHANGES TRACKER

OVERBURY
UCL REFURBISHMENT @ IOE PHASE 2 ~ 20 BEDFORD WAY
DESIGN CHANGES TRACKER for PLANNING UPDATES - P3

APPLICATION NO.	ORIGINAL DRAWING REFERENCE / TYPE		ACTION	SUBSTITUTE / UPDATED DRAWING REFERENCE / TYPE	
	Dwg No	Dwg Title		Dwg No	Dwg Title
2A / P1	3147-P1-2101	L1 Plan - As Existing	Drawings combined, coordinated & updated	3147-P8-2101	L1 Plan - As Existing
2B / P2	3147-P2-2101	L1 Plan - As Existing			
2C / P3	3147-P3-2101	L1 Plan - As Existing			
2A / P1	3147-P1-2201	L2 Plan - As Existing	Drawings combined & coordinated	3147-P8-2201	L2 Plan - As Existing
2C / P3	3147-P3-2201	L2 Plan - As Existing			
2A / P1	3147-P1-2301	L3 Plan - As Existing	Drawings combined & coordinated	3147-P8-2301	L3 Plan - As Existing
2C / P3	3147-P3-2301	L3 Plan - As Existing			
2A / P1	3147-P1-2401	L4 Plan - As Existing	Drawings combined & coordinated	3147-P8-2401	L4 Plan - As Existing
2C / P3	3147-P3-2401	L4 Plan - As Existing			
2A / P1	3147-P1-2501	L5 Plan - As Existing	Drawings combined & coordinated	3147-P8-2501	L5 Plan - As Existing
2B / P2	3147-P2-2501	L5 Plan - As Existing			
2D / WS5	3147-WS5-0501	L5 Plan - As Existing			
2A / P1	3147-P1-2601	L6 Plan - As Existing	Drawings combined & coordinated	3147-P8-2601	L6 Plan - As Existing
2B / P2	3147-P2-2601	L6 Plan - As Existing			
2A / P1	3147-P1-2701	L7 Plan - As Existing	Drawings combined & coordinated	3147-P8-2701	L7 Plan - As Existing
2B / P2	3147-P2-2701	L7 Plan - As Existing			
2A / P1	3147-P1-2801	L8 Plan - As Existing	Drawings combined & coordinated	3147-P8-2801	L8 Plan - As Existing
2B / P2	3147-P2-2801	L8 Plan - As Existing			
2A / P1	3147-P1-2901	L9 Plan - As Existing	Drawings combined & coordinated	3147-P8-2901	L9 Plan - As Existing
2B / P2	3147-P2-2901	L9 Plan - As Existing			
2A / P1	3147-P1-2R01	L10 Main Roof Plan - As Existing	Record previous application	3147-P8-2R01	L10 Main Roof Plan - As Existing
2A / P1	3147-P1-2X01	L10.5-12 Roof Plan - As Existing	Record previous application	3147-P8-2X01	L10.5-12 Roof Plan - As Existing
2A / P1	3147-P1-2102	L1 - Demolition Plan	Drawings combined, coordinated & updated	3147-P8-2102	L1 - Demolition Plan
2B / P2	3147-P2-2102	L1 - Demolition Plan			
2C / P3	3147-P3-2102	L1 - Demolition Plan			
2A / P1	3147-P1-2202	L2 - Demolition Plan	Combined, coordinated & updated (L2 & L3 split)	3147-P8-2202	L2 - Demolition Plan
2A / P1	3147-P1-2302	L3 - Demolition Plan	Combined, coordinated & updated (L2 & L3 split)	3147-P8-2302	L3 - Demolition Plan - Sheet 1
2C / P3	3147-P3-2302	L2 & L3 - Demolition Plan		3147-P8-2303	L3 - Demolition Plan - Sheet 2
2C / P3	3147-P3-2303	L3 Demolition Elevation	No update	Refer to original drawing submitted	
2A / P1	3147-P1-2402	L4 - Demolition Plan	Combined, coordinated & updated	3147-P8-2402	L4 - Demolition Plan - Sheet 1
2C / P3	3147-P3-2402	L4 - Demolition Plan		3147-P8-2403	L4 - Demolition Plan - Sheet 2
2C / P3	3147-P3-2403	L4 Demolition Elevation	No update	Refer to original drawing submitted	

OVERBURY
UCL REFURBISHMENT @ IOE PHASE 2 ~ 20 BEDFORD WAY
DESIGN CHANGES TRACKER for PLANNING UPDATES - P3

APPLICATION NO.	ORIGINAL DRAWING REFERENCE / TYPE		ACTION	SUBSTITUTE / UPDATED DRAWING REFERENCE / TYPE	
	Dwg No	Dwg Title		Dwg No	Dwg Title
2A / P1	3147-P1-2502	L5 - Demolition Plan	Combined, coordinated & updated	3147-P8-2502	L5 - Demolition Plan - Sheet 1
2B / P2	3147-P2-2502	L5 - Demolition Plan			
2D / WS5	3147-WS5-0502	L5 - Demolition Plan			
2A / P1	3147-P1-2602	L6 - Demolition Plan	Combined, coordinated & updated	3147-P8-2602	L6 - Demolition Plan - Sheet 1
2B / P2	3147-P2-2602	L6 - Demolition Plan		3147-P8-2603	L6 - Demolition Plan - Sheet 2
2A / P1	3147-P1-2702	L7 - Demolition Plan	Combined, coordinated & updated	3147-P8-2702	L7 - Demolition Plan - Sheet 1
2B / P2	3147-P2-2702	L7 - Demolition Plan		3147-P8-2703	L7 - Demolition Plan - Sheet 2
2A / P1	3147-P1-2802	L8 - Demolition Plan	Combined, coordinated & updated	3147-P8-2802	L8 - Demolition Plan - Sheet 1
2B / P2	3147-P2-2802	L8 - Demolition Plan		3147-P8-2803	L8 - Demolition Plan - Sheet 2
2A / P1	3147-P1-2902	L9 - Demolition Plan	Combined, coordinated & updated	3147-P8-2902	L9 - Demolition Plan - Sheet 1
2B / P2	3147-P2-2902	L9 - Demolition Plan		3147-P8-2903	L9 - Demolition Plan - Sheet 2
2A / P1	3147-P1-2X02	L10-12 - Demolition Plan	updated	3147-P8-2X02	L10-12 - Demolition Plan
2A / P1	3147-P1-2015	Core C Riser - Elev. - Extg & Demo	No update. Works omitted from scope. Drawing no longer required.		
2A / P1	3147-P1-2016	Core A Riser - Elev. - Extg & Demo	updated	3147-P8-2016	Core A Riser - Elev. - Extg & Demo
2A / P1	3147-P1-2017	Core B Riser - Elev. - Extg & Demo	updated	3147-P8-2017	Core B Riser - Elev. - Extg & Demo
2A / P1	3147-P1-2103	L1 - Plan - As Proposed	combined, coordinated & updated,	3147-P8-2105	L1 - Plan - As Proposed
2B / P2	3147-P2-2103	L1 - Plan - As Proposed			
2C / P3	3147-P3-2105	L1 - Plan - As Proposed			
2A / P1	3147-P1-2203	L2 - Plan - As Proposed	Combined, coordinated & updated (L2 & L3 split)	3147-P8-2205	L2 - Plan - As Proposed
2A / P1	3147-P1-2303	L3 - Plan - As Proposed	Combined, coordinated & updated (L2 & L3 split)	3147-P8-2305	L3 - Plan - As Proposed - Sheet 1
2C / P3	3147-P3-2305	L2 & L3 - Plan - As Proposed		3147-P8-2306	L3 - Plan - As Proposed - Sheet 2
2A / P1	3147-P1-2403	L4 - Plan - As Proposed	Combined, coordinated & updated	3147-P8-2405	L4 - Plan - As Proposed - Sheet 1
2C / P3	3147-P3-2405	L4 - Plan - As Proposed		3147-P8-2406	L4 - Plan - As Proposed - Sheet 2
2A / P1	3147-P1-2503	L5 - Plan - As Proposed	Combined, coordinated & updated	3147-P8-2505	L5 - Plan - As Proposed
2B / P2	3147-P2-2503	L5 - Plan - As Proposed			
2D / WS5	3147-WS5-0505	L5 - Plan - As Proposed			
2A / P1	3147-P1-2603	L6 - Plan - As Proposed	Combined, coordinated & updated	3147-P8-2605	L6 - Plan - As Proposed - Sheet 1
2B / P2	3147-P2-2603	L6 - Plan - As Proposed		3147-P8-2606	L6 - Plan - As Proposed - Sheet 2
2A / P1	3147-P1-2703	L7 - Plan - As Proposed	Combined, coordinated & updated	3147-P8-2705	L7 - Plan - As Proposed - Sheet 1
2B / P2	3147-P2-2703	L7 - Plan - As Proposed		3147-P8-2706	L7 - Plan - As Proposed - Sheet 2
2A / P1	3147-P1-2803	L8 - Plan - As Proposed	Combined, coordinated & updated	3147-P8-2805	L8 - Plan - As Proposed - Sheet 1
2B / P2	3147-P2-2803	L8 - Plan - As Proposed		3147-P8-2806	L8 - Plan - As Proposed - Sheet 2
2A / P1	3147-P1-2903	L9 - Plan - As Proposed	Combined, coordinated & updated	3147-P8-2905	L9 - Plan - As Proposed - Sheet 1
2B / P2	3147-P2-2903	L9 - Plan - As Proposed		3147-P8-2906	L9 - Plan - As Proposed - Sheet 2

OVERBURY
UCL REFURBISHMENT @ IOE PHASE 2 ~ 20 BEDFORD WAY
DESIGN CHANGES TRACKER for PLANNING UPDATES - P3

APPLICATION NO.	ORIGINAL DRAWING REFERENCE / TYPE		ACTION	SUBSTITUTE / UPDATED DRAWING REFERENCE / TYPE	
	Dwg No	Dwg Title		Dwg No	Dwg Title
2B / P2	3147-P2-2R03	L10 - Plan - As Proposed	updated	3147-P8-2R05	L10 - Plan - As Proposed
2A / P1	3147-P1-2X03	L10.5-12 - Plan - As Proposed	updated	3147-P8-2X05	L10.5-12 - Plan - As Proposed
2A / P1	3147-P1-2025	Core C Riser - Elev - Proposed	No update. Works omitted from scope. Drawing no longer required.		
2A / P1	3147-P1-2026	Core A Riser - Elev. - Proposed	Drawing no longer required.		
2A / P1	3147-P1-2027	Core B Riser - Elev. - Proposed	Drawing no longer required.		
2A / P1	3147-P1-2X20	Core C Section Elev.1 - Extg & Prop	No update. Works omitted from scope. Drawing no longer required.		
2A / P1	3147-P1-2X21	Core C Section Elev.2 - Extg & Prop			
2A / P1	3147-P1-2X22	Core C Section 1&2 - Extg & Prop			
2A / P1	3147-P1-2104	L1 - Reflected Ceiling Finishes	combined, coordinated & updated,	3147-P8-2111	L1 - Reflected Ceiling Finishes
2C / P3	3147-P3-2111	L1 - Reflected Ceiling Finishesd			
2A / P1	3147-P1-2204	L2 - Reflected Ceiling Finishes	Combined, coordinated & updated (L2 & L3 split)	3147-P8-2211	L2 - Reflected Ceiling Finishes
2C / P3	3147-P3-2311	L2 & L3 - Reflected Ceiling Finishes			
2A / P1	3147-P1-2304	L3 - Reflected Ceiling Finishes	Combined, coordinated & updated (L2 & L3 split)	3147-P8-2311	L3 - Reflected Ceiling Finishes - S1
2C / P3	3147-P3-2311	L2 & L3 - Reflected Ceiling Finishes		3147-P8-2312	L3 - Reflected Ceiling Finishes - S2
2A / P1	3147-P1-2404	L4 - Reflected Ceiling Finishes	Combined, coordinated & updated	3147-P8-2411	L4 - Reflected Ceiling Finishes - S1
2C / P3	3147-P3-2411	L4 - Reflected Ceiling Finishes		3147-P8-2412	L4 - Reflected Ceiling Finishes - S2
2A / P1	3147-P1-2504	L5 - Reflected Ceiling Finishes	Combined, coordinated & updated	3147-P8-2511	L5 - Reflected Ceiling Finishes - S1
2B / P2	3147-P2-2511	L5 - Reflected Ceiling Finishes			
2D / WS5	3147-WS5-0511	L5 - RCP As Proposed			
2A / P1	3147-P1-2604	L6 - Reflected Ceiling Finishes	Combined, coordinated & updated	3147-P8-2611	L6 - Reflected Ceiling Finishes - S1
2B / P2	3147-P2-2611	L6 - Reflected Ceiling Finishes		3147-P8-2612	L6 - Reflected Ceiling Finishes - S2
2A / P1	3147-P1-2704	L7 - Reflected Ceiling Finishes	Combined, coordinated & updated	3147-P8-2711	L7 - Reflected Ceiling Finishes - S1
2B / P2	3147-P2-2711	L7 - Reflected Ceiling Finishesd		3147-P8-2712	L7 - Reflected Ceiling Finishes - S2
2A / P1	3147-P1-2804	L8 - Reflected Ceiling Finishes	Combined, coordinated & updated	3147-P8-2811	L8 - Reflected Ceiling Finishes - S1
2B / P2	3147-P2-2811	L8 - Reflected Ceiling Finishes		3147-P8-2812	L8 - Reflected Ceiling Finishes - S2
2A / P1	3147-P1-2904	L9 - Reflected Ceiling Finishes	Combined, coordinated & updated	3147-P8-2911	L9 - Reflected Ceiling Finishes - S1
2B / P2	3147-P2-2911	L9 - Reflected Ceiling Finishes		3147-P8-2912	L9 - Reflected Ceiling Finishes - S2
2C / P3	3147-P3-2113	L1 - Floor Finishes	Updated	3147-P8-2113	L1 - Floor Finishes
2C / P3	3147-P3-2313	L2 & L3 - Floor Finishes	Updated	3147-P8-2313	L2 & L3 - Floor Finishes
2C / P3	3147-P3-2413	L4 - Floor Finishes	Updated	3147-P8-2413	L4 - Floor Finishes
2C / P3	3147-WS5-0506	L5 -Floor Finishes	Updated	3147-P8-2513	L5 - Floor Finishes (L5 Zone C)

OVERBURY
UCL REFURBISHMENT @ IOE PHASE 2 ~ 20 BEDFORD WAY
DESIGN CHANGES TRACKER for PLANNING UPDATES - P3

APPLICATION NO.	ORIGINAL DRAWING REFERENCE / TYPE		ACTION	SUBSTITUTE / UPDATED DRAWING REFERENCE / TYPE	
	Dwg No	Dwg Title		Dwg No	Dwg Title
2C / P3	3147-P3-2319	L3 & L4 External Works	Updated	3147-P8-2319	L3 & L4 External Works
2C / P3	3147-P3-2320	L3 Curtain Wall - As Existing	No update	Refer to original drawing submitted	
2C / P3	3147-P3-2321	L3 Curtain Wall - Proposed	Updated	3147-P8-2321	L3 Curtain Wall - Proposed
2C / P3	3147-P3-2322	L3 Security Barrier	No update	Refer to original drawings submitted	
2C / P3	3147-P3-2323	L3 Front Desk			
2C / P3	3147-P3-2325	L3 Café Servery	Updated	3147-P8-2325	L3 Café Servery
2C / P3	3147-P3-2326	L3 Lift L.01	Updated	3147-P8-2326	L3 Lift L.01
2C / P3	3147-P3-2329	L3 Pavilion - Plan As Prop	No update	Refer to original drawings submitted	
2C / P3	3147-P3-2330	L3 Pavilion - East Elev As Prop			
2C / P3	3147-P3-2331	L3 Pavilion - North Elev As Prop			
2C / P3	3147-P3-2332	L3 Pavilion - S1&S2 As Prop			
2C / P3	3147-P3-2333	L3 Pavilion - South Elev As Prop			
2C / P3	3147-P3-2334	L3 Pavilion - D1&D2 As Prop			
2C / P3	3147-P3-2428	L3 & L4 Internal Elev - Prop - Sheet 1	Updated	3147-P8-2428	L3 & L4 Internal Elev - Prop - Sheet 1
2C / P3	3147-P3-2429	L3 & L4 Internal Elev - Prop - Sheet 2	Updated	3147-P8-2429	L3 & L4 Internal Elev - Prop - Sheet 2
2C / P3	3147-P3-2430	L3 & L4 Internal Elev - Prop - Sheet 3	Updated	3147-P8-2430	L3 & L4 Internal Elev - Prop - Sheet 3
2C / P3	3147-P3-2420	L4 Curtain Wall - As Existing	No update	Refer to original drawings submitted	
2C / P3	3147-P3-2421	L4 Curtain Wall - As Proposed			
2C / P3	3147-P3-2423	L4 Security Barrier			
2C / P3	3147-P3-2424	L4 Front Desk			
2C / P3	3147-P3-2426	L4 Lift L.02			
2C / P3	3147-P3-2427	L4 Bench	Updated	3147-P8-2427	L4 Bench
2D / WS5	3147-WS5-0520	L5 - Tea Point	No update	Refer to original drawings submitted	
2D / WS5	3147-WS5-0530	L5 - Cell. Office & Cons. Rm Elevs.			
2D / WS5	3147-WS5-0570	Partition Details			
2C / P3	3147-P3-2431	L4 - Roof light - Demolition	No update	Refer to original drawings submitted	
2C / P3	3147-P3-2432	L4 - Roof light - As Proposed			

OVERBURY
UCL REFURBISHMENT @ IOE PHASE 2 ~ 20 BEDFORD WAY
DESIGN CHANGES TRACKER for PLANNING UPDATES - P3

APPLICATION NO.	ORIGINAL DRAWING REFERENCE / TYPE		ACTION	SUBSTITUTE / UPDATED DRAWING REFERENCE / TYPE	
	Dwg No	Dwg Title		Dwg No	Dwg Title
2D / WS5	3147-WS5-0507	L5 Partition Types (L5 Zone C)	Updated	3147-P8-2507	L5 Partition Types (L5 Zone C)
2D / WS5	3147-WS5-0508	L5 Wall & Window (L5 Zone C)	Updated	3147-P8-2508	L5 Wall & Window (L5 Zone C)
2D / WS5	3147-WS5-0515	L5 Building Control (L5 Zone C)	Updated	3147-P8-2515	L5 Building Control (L5 Zone C)
2A / P1	3147-P1-2010	Secondary Glazing Typical Detail	No update	Refer to original drawings submitted	
2A / P1	3147-P1-2011	IWL Typical Detail			
2B / P2	3147-P2-0105	Secondary Glazing Typical Detail			
2C / P3	3147-P3-0105	Secondary Glazing Typical Detail			
2D / WS5	3147-WS5-0573	Details - Low Level Casings			
2D / WS5	3147-WS5-0574	Details - Secondary Glazing			
2A / P1	3147-P1-2012	Ceiling Finishes - Typical Proposal	No update	Refer to original drawing submitted	
2A / P1	3147-P1-2013	Toilets - Typical Proposal	Updated	3147-P8-2050	Toilets - Typical Proposal
2D / WS5	3147-WS5-0571	Accessible WC - Plans & Elevations	No update	Refer to original drawing submitted	
2A / P1	3147-P1-2014	Doorsets - Typical Proposal	No update	Refer to original drawings submitted	
2B / P2	3147-P2-2014	Doorsets - Typical Proposal			
2C / P3	3147-P3-2335	Door Elevations - As Proposed			
2D / WS5	3147-WS5-0572	Door Elevations			
2B / P2	3147-P2-0415	L8 Wing - External Elevation	No update	Refer to original drawings submitted	
2B / P2	3147-P2-0420	External Terrace Section Details			
2B / P2	3147-P2-0502	Wing External Doors			
2B / P2	3147-P2-0516	External Terrace Balustrade Details	No update. Works omitted from scope. Drawing no longer required.		
2B / P2	3147-P2-0530	External Gate Proposed	No update	Refer to original drawings submitted	
2B / P2	3147-P2-3000	External Elevation - As Existing			
2C / P3	3147-P3-3000	External Elevation - As Existing			
2C / P3	3147-P3-3005	External Elevation - As Proposed			
2B / P2	3147-P2-0520	Typical Teaching Room Elevation	No update	Refer to original drawing submitted	
2B / P2	3147-P2-0523	Typical Office Elevation	Updated	3147-P8-2051	Typical Office Elevation

 Drawings combined, coordinated and updated
 No update. Works omitted from scope. Drawing no longer required.



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



APPENDIX B – APPLICATION 2A - SCOPE OF WORKS



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



PLANNING APPLICATION No. 1 – SCHEDULE OF WORKS

Prepared by



Architon LLP

Regency House ~ 17 West Street ~ Epsom ~ Surrey ~ KT18 7RL

Tel: 01372 745 600, Fax: 01372 745 016

Email: info@architon.com

1.0 INTRODUCTION

The purpose of this document is to assist all parties in understanding the Scope of Works and RIBA Stage 3 Contractor’s Proposals for the for the Core A, B and C areas only within the Phase 2 Areas of the Work within the Institute of Education, 20 Bedford Way.

The location of the Works is defined by the Location and Site Plans as follows:

3147 – P1 – 2001 A	Location Plan
3147 – P1 – 2002 A	Site Plan

The Area of Works for Planning Application No. 1 are defined by the ‘As Existing’ Plans for all floors of the building as follows:

3147 – P1 – 2101 A	Plan as Existing – Level 1
3147 – P1 – 2201 A	Plan as Existing – Level 2
3147 – P1 – 2301 A	Plan as Existing – Level 3
3147 – P1 – 2401 A	Plan as Existing – Level 4
3147 – P1 – 2501 A	Plan as Existing – Level 5
3147 – P1 – 2601 A	Plan as Existing – Level 6
3147 – P1 – 2701 A	Plan as Existing – Level 7
3147 – P1 – 2801 A	Plan as Existing – Level 8
3147 – P1 – 2901 A	Plan as Existing – Level 9
3147 – P1 – 2R01 A	Plan as Existing – Level 10 and Main Roofs
3147 – P1 – 2X01 A	Plan as Existing – Levels, 10.5, 11, 12 and Core Roofs

The revised internal layouts within the Area of Works for Planning Application No. 1 are indicated on the ‘As Proposed’ Plans for all floors of the building as follows:

3147 – P1 – 2103 A	Plan as Proposed – Level 1
3147 – P1 – 2203 A	Plan as Proposed – Level 2
3147 – P1 – 2303 A	Plan as Proposed – Level 3
3147 – P1 – 2403 A	Plan as Proposed – Level 4
3147 – P1 – 2503 A	Plan as Proposed – Level 5
3147 – P1 – 2603 A	Plan as Proposed – Level 6
3147 – P1 – 2703 A	Plan as Proposed – Level 7
3147 – P1 – 2803 A	Plan as Proposed – Level 8
3147 – P1 – 2903 A	Plan as Proposed – Level 9
3147 – P1 – 2X03 A	Plan as Proposed – Levels, 10.5, 11, 12 and Core Roofs

All works to be in accordance with Building Regulations, relevant British and International Standards and Codes, project requirements for BREEAM and good building practice.

For details of all structural works associated with the proposed Phase 2 Works for Planning Application No. 1 – please refer to Train and Kemp Heritage Structural Assessment Document (reference 14392) revision 02 dated 4th December 2019.

For details of all building services and infrastructure upgrade works associated with the proposed Phase 2 Works for Planning Application No. 1 – please refer to Long and Partners Building Services Description of Systems Document (reference 171106 R01) dated 13th December 2019.

The following sections detail the architectural scope of works associated with this proposed Phase 2 Works for Planning Application No. 1.

2.0 DEMOLITION AND STRIP OUT WORKS

2.1 PROPOSALS

This document should be read in conjunction with the following architectural drawings:

3147 – P1 – 2102 A	Demolition Plan – Level 1
3147 – P1 – 2202 A	Demolition Plan – Level 2
3147 – P1 – 2302 A	Demolition Plan – Level 3
3147 – P1 – 2402 A	Demolition Plan – Level 4
3147 – P1 – 2502 A	Demolition Plan – Level 5
3147 – P1 – 2602 A	Demolition Plan – Level 6
3147 – P1 – 2702 A	Demolition Plan – Level 7
3147 – P1 – 2802 A	Demolition Plan – Level 8
3147 – P1 – 2902 A	Demolition Plan – Level 9
3147 – P1 – 2X02 A	Demolition Plan – Levels, 10.5, 11, 12 and Core Roofs
3147 – P1 – 2015 B	Core C – Lobby & Core Walls - Elevations
3147 – P1 – 2016 A	Core A – Lobby & Core Walls - Elevations
3147 – P1 – 2017 A	Core B – Lobby & Core Walls - Elevations

Demolition and strip out proposals will be further developed throughout the Stage 4 design to reflect that latest project requirements but, in principle, are as detailed below.

Additional strip out / builders work may be required in connection with the strip out and isolation of M&E services above the suspended ceilings and through existing / retained walls. Refer to Long and Partner proposals for final details.

NOTE: Ensure no strip out / demolition works are undertaken without the required Listed Building Consent from the Local Authority as it is an offence to carry out any works requiring Listed Building Consent without such consent being obtained. UCL to provide copy of Listed Building Consent formal approval to the Main Contractor prior to commencement of demolition works detailed below.

2.2 SCOPE OF WORKS

Demolition Contractor to provide all appropriate RAMS for the required demotion and strip out works. Demotion and strip out works are to include the following:

2.2.1 ENABLING WORKS

- The Area of the Works is to be cleared of all staff / student work, materials and supplies in advance of handover to the Main Contractor.
- The Area of the Works is to be cleared of all loose furniture, e.g. desks, tables, chairs, coat racks, storage, etc. in advance of handover to the Main Contractor.
- Any items remaining in the area at time of handover are to be disposed of by Main Contractor.

2.2.2 ASBESTOS REMOVAL

- A Refurbishment and Demolition survey will be undertaken before any demolition work is carried out. This survey should locate and describe, as far as reasonably practicable, all ACMs in the Area of the Works and adjacent areas if additional access for building services connections is planned. The survey should be fully intrusive and involve destructive inspection, as necessary, to gain access to all areas, including those that may be difficult to reach.
- The Demolition Contractor should review the latest Asbestos R&D Survey Report and make sure they are aware of all potential locations for asbestos within the Area of the Works.
- Limited soft strip of items may be undertaken, and/or may be required, by the Demolition Contractor prior to the Asbestos Removal Specialists commencing works.
- HSE F10 Notification of Asbestos Removal is to be submitted prior to asbestos removal works and all works are to be undertaken by an approved Asbestos Removal Specialist in accordance with the agreed ACoP compliant plan.
- The Demolition Contractor should ensure that the required clean air testing and certification is in place prior to re-commencement of demotion and strip out works.

2.2.3 BUILDING SERVICES

- The Building Services Contractor should identify all live services and services routes within the Area of the Works and arrange isolations and terminations of all services that are to be stripped out / cut back / capped off prior to any demolition and strip out works being undertaken.

- The Building Services Contractor should identify any services and services routes within the Area of the Works that are to remain live throughout the works, i.e. if servicing floors above / below and/or required for life safety systems.
- The Building Services Contractor should confirm scope of works / provide strip out drawings identifying all building service elements that are to be stripped out within the Area of the Works. This should include, but not be limited to, the following:
 - All light fittings,
 - All power and data (in walls and in floor boxes),
 - Fire alarm systems (except where needed / modified to provide temporary construction site cover)
 - All radiators (note: Building Services Contractor to advise extent of associated pipework strip out works).
 - All sanitaryware, inclusive of associated supply and drainage pipework (note: UCL / Building Services Contractor to advise extent of pipework strip out works to avoid dead-legs).
 - All supply and extract grilles and associated ductwork
 - Any internal and external mechanical plant
- The Building Services Contractor should liaise with the Demolition Contractor and set out accurately on site all openings through existing concrete walls and slabs as detailed on the demolition drawings and in accordance with L&P strip out proposals and specifications. Structural Engineer is to approve any and all openings larger than 100mm diam. No openings are to be formed through structural members. Detailed method statement is to be provided for comment. Openings at high level, i.e. above ceiling, are indicated dashed on the drawings.

2.2.4 FLOORS

- Carefully remove existing carpet tiles throughout the Area of the Works.
- Carefully remove existing sheet vinyl flooring from kitchenette and toilet areas, inclusive of any plywood underlays.
- Carefully lift existing raised access floors where applicable.
- Remove any existing temporary / non-compliant steps, ramps and landings.

2.2.5 WALLS AND DOORS

- Make safe / disconnect and remove all M&E services that are wall-mounted / within partitions that are to be removed, e.g. dado trunking, electrical outlets, light switches, data outlets, ventilation controls, etc. in accordance with L&P strip out proposals and specifications.
- Remove all wall-mounted notice boards, white boards, etc..
- Remove any glazed partition system and associated doorsets to offices / meeting rooms.
- Remove existing metal stud and plasterboard partitions, together with associated doorsets.
- Remove existing blockwork partitions, together with associated doorsets.
- Subject to approval and Main Contractor's programme (i.e. with regard to retaining fire separation and security) carefully remove existing double doors leafs to main entrance doorsets onto each level to allow replacement with new. Retain and protect existing frames – unless advised to the contrary.

2.2.6 WINDOWS

- Carefully remove existing secondary glazing system.
- Carefully remove all existing window blinds.
- Make safe / disconnect and cap off existing radiators and remove, in accordance with L&P strip out proposals and specifications, to facilitate removal of existing window cill boards and back-panels in order for Specialist Asbestos Contractor to remove the AIB panels below the windows.

2.2.7 CEILINGS

- Make safe / disconnect and remove all M&E services that are ceiling-mounted / within suspended ceiling grid / plasterboard margins that are to be removed, e.g. lights, PIR controls, fire / smoke detectors, speakers, etc. in accordance with L&P strip out proposals and specifications.
- Take down the existing 600x600mm ceiling tiles, any associated acoustic bags, suspended ceiling grid, trim and hanger systems throughout the Area of the Works.
- Carefully remove the existing perimeter plasterboard margins to ensure minimal remedial works to the structural soffit.

2.2.8 FIXTURES AND FITTINGS

- Carefully remove existing kitchenettes and toilets. Make safe / disconnect and cap off all M&E services that are within the units / IPS panelling / vanity units / etc. that are to be removed, e.g. sink, zip taps, fridges, etc. in accordance with L&P strip out proposals and specifications. Carefully strip out sanitaryware, plinths, sink units, worktops, IPS, vanity units, integral equipment, base units and wall units.
- Carefully remove any shelves and spur shelving brackets.
- Carefully remove existing reception counter and associated security / fire shutter.

3.0 WINDOW WORKS

3.1 PROPOSALS

The proposals covered by this document relate to the following elements of internal and external façade modification works:

- A. The provision of new secondary glazing generally throughout.
- B. The provision of opaque film internally to existing windows to conceal where plant areas and toilets / IPS is located.
- C. The provision of new blinds generally.

This document should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P1 – 2010 A	Window Detail 1 – Secondary Glazing
3147 – P1 – 2011 A	Window Detail 2 – Internal Wall Lining

3.2 SCOPE OF WORKS

Curtain Walling, Secondary Glazing, Window Film and Window Blind Contractors to provide all appropriate RAMS for the required curtain walling and window works. Curtain walling and window works are to include the following:

3.2.1 WORKS BY, AND COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Curtain Walling / Window Contractors commencing on site. However the Curtain Walling / Window Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any additional strip out works associated with the perimeter glazing systems.
- Existing window blinds and secondary glazing units are to be removed by the Demolition Contractor.
- New internal window cills and associated panelling and new insulation below windows are to be provided by others / the Joinery Contractor.
- Any making good and decoration works internally are to be completed by the Decorations Contractor in advance of final fix items.

3.2.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes associated with the perimeter glazing / windows that are to remain live throughout the works, i.e. if servicing floors below and/or required for life safety systems.

3.2.3 SECONDARY GLAZING

All as indicated on Window Treatment drawings and within the Specification. Secondary Glazing Subcontractor to:

- Survey, design, manufacture and install new vertical sliding sash secondary glazing modules, to match existing window module and colour / finish.
- Installation to be undertaken following completion of new perimeter low level boxings by Others.

3.2.4 INTERNAL WINDOW TREATMENTS

Subcontractors to:

- Clean, prepare and install opaque film to top and bottom windows of 'bays' within new Toilet Core areas behind new internal wall linings.

4.0 PARTITION & CEILING WORKS

4.1 PROPOSALS

The proposals covered by this document relate to the following elements of internal construction works:

- A. The construction of new metal stud and plasterboard partitions, inclusive of shaft-walls and wall lining systems with associated insulation in accordance with fire, acoustic and thermal requirements, together with timber skirtings where applicable.
- B. The installation of new solid doorsets throughout.
- C. The provision of suspended ceiling systems, inclusive of plasterboard soffits and acoustic rafts as indicated on RCPs.
- D. Decoration of all walls, ceilings, soffits and skirtings as appropriate.

This document should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P1 – 2012 A	Ceiling Finishes – Typical Proposal
3147 – P1 – 2014 A	Doorsets – Typical Proposal

4.2 SCOPE OF WORKS

Partition and Ceiling Contractors to provide all appropriate RAMS for the required fit out works. Partition and ceiling works are to include the following:

4.2.1 WORKS BY, AND COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Partition and Ceiling Contractors commencing on site. However the Partition and Ceiling Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any works associated with the perimeter glazing systems.
- New internal window cills and associated panelling are to be provided by the Joinery Contractor. Allowance may however need to be included for new insulation below windows.

4.2.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes that are to remain live throughout the works, i.e. if servicing floors below and/or required for life safety systems.
- The Building Services Consultant should identify all new services and containment routes and confirm extent of BWIC mechanical and electrical services.
- Partition and Ceiling Contractors to allow for full coordination with Building Services Contractors for integration of power, data, ductwork, etc..

4.2.3 SOLID PARTITIONS

- Construct new metal stud and plasterboard partitions, inclusive of plywood pattresses where required for fixings and insulation for acoustics in accordance with specifications.
- Construct new shaft wall risers / wall infills inclusive of plywood pattresses where required for fixings and insulation for acoustics in accordance with specifications.
- Form new door openings where indicated and to coordinated structural opening sizes.
- Allow for all builders work in connection with services, such as first fix conduits / cut outs for back boxes / openings for ductwork. All to be coordinated with Building Services Contractor and made good to maintain fire and acoustic ratings.
- All new partitions to be taped, filled and skimmed in preparation for decorations as detailed within specifications and similar to Phase 1.
- Supply and install new 100mm high timber skirtings. All fixings to be recessed and pelleted. Skirting be prepared for decorations as detailed within specifications and similar to Phase 1.

4.2.4 DOORS

- Design, manufacture, supply and install new internal door sets as indicated on proposed plans, door details drawings and Door Schedule. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e. drop seals should fully engage with floor.
- Provide sample of proposed door finish laminate, together with lippings and frame.
- Supply and install, in accordance with manufacturers recommendation and required fire certification works, all new door ironmongery as indicated for each doorset on Door and Ironmongery Schedules.
- Provide technical submissions for all ironmongery elements proposed together with sample board for UCL approval and retention on site.
- Where indicated doorsets are to be undercut by 10mm for ventilation as part of manufactured leaf.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.
- Liaise with Main Contractor to obtain UCL cylinders for all plant area doorsets prior to handover.

4.2.5 SOLID CEILINGS

- Design, manufacture, supply and install new plasterboard MF ceiling systems Toilets and Core Areas as indicated on the Proposed Reflected Ceiling Plans. Tape, fill and skim and prepare ready for decorations within specifications and on Finishes Schedule. Fully coordinate with lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P design proposals. Fully coordinated ceiling plans to be prepared and agreed by all parties prior to installation.
- Design, manufacture, supply and install new plasterboard down-stand bulkheads where required and as indicated on the Proposed Reflected Ceiling Plan. Tape, fill and skim and prepare ready for decorations as within specifications and on Finishes Schedule. Fully coordinate with recessed lighting and other services in accordance with L&P design proposals, i.e. include for installation of access panels where required.
- Design, manufacture, supply and install new 1200mm x 300mm metal plank ceilings tiles with support system and perimeter trims to central corridor areas for access as indicated on the Proposed Reflected Ceiling Plan.
- Design, manufacture, supply and install new 600mm x 600mm metal ceilings tiles with support system and perimeter trims to toilet lobby areas for access as indicated on the Proposed Reflected Ceiling Plan.

4.2.6 SUSPENDED ACOUSTIC CEILING SYSTEMS

- Design, manufacture, supply and install new acoustic integrated ceiling systems as indicated on the Proposed Reflected Ceiling Plans and to match similar systems installed in Phase 1. Fully coordinate within acoustic tiles the strip lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P design proposals. Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.
- Design, manufacture, supply and install new suspended acoustic rafts to as indicated on the Proposed Reflected Ceiling Plans and to match similar 40mm thick product installed in Phase 1. Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.

4.2.7 DECORATIONS

- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new plasterboard partitions and existing plastered walls, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new skirtings and/or other timber surfaces, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to existing and new soffits, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new pipework, balustrading and/or other metal surfaces, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.

5.0 TOILET CORE UPGRADE WORKS

5.1 PROPOSALS

The proposals covered by this document therefore relate to the upgrade and re-planning of toilet cores with unisex cubicles, ambulant unisex cubicle and accessible unisex toilet.

This document should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P1 – 2013 A Toilets – Typical Proposal

5.2 SCOPE OF WORKS

Subcontractors are to provide all appropriate RAMS for the required toilet construction and fit out works. Works are to include the following:

5.2.1 **WORKS BY OTHERS**

- New partitions and wall lining system to window wall are to be undertaken by Partition Contractor.
- New plasterboard suspended ceiling system to cubicles to be undertaken by Partition / Ceiling Contractor.
- Film and works to existing windows to be undertaken by Windows Contractor.
- New vinyl flooring to be installed by Flooring Contractor. Programming / coordination of IPS and flooring to be confirmed.
- All mechanical, electrical and public health plumbing works to be undertaken by Building Services Contractor.

5.2.2 **CUBICLE PANEL SYSTEMS**

- Toilet Works Contractor is to design, manufacture, supply and install new wood-effect laminated integrated wall panelling systems to the rear of the toilet cubicles, inclusive of cut outs for wc pans and flush control boxes. Panel at low level behind wc pan to be fixed. Mid panel with flush control boxes to be removable if required. Higher panel to be hinged and include finger recess within edge opening edge. Toilet Works Contractor to provide shop drawings, details of all fixings and samples of all materials for approval prior to manufacture. Provide extra over cost for providing a recessed shelf into the hinged panel. Recess box to be nom. 500mm wide x 500mm high.
- Toilet Works Contractor is to design, manufacture, supply and install new white laminated integrated wall panelling systems to the basin side of the toilet cubicles, inclusive of cut outs for services. Panel at low level to be removable if required. Mid panel with basin to be fixed, together with flush mirror section over. Panel at high level and to sides of basin to be removable if required. Toilet Works Contractor to provide shop drawings, details of all fixings and samples of all materials for approval prior to manufacture.
- Toilet Works Contractor is to design, manufacture, supply and install new white laminated wall lining to match IPS to all other walls to complete internal cubicle toilet wall finishes.
- Panelling to stop nom. 20mm above finished floor level with black / dark grey paint finish to WBP plywood at plinth level.
- Toilet Works Contractor is to design, manufacture, supply and install new veneer faced panelling fronts to cubicles inclusive of rebated doorsets, over-panels, hinges, locks, emergency release, etc.. Toilet Works Contractor to provide shop drawings, details of all fixings, ironmongery and samples of all materials for approval prior to manufacture.

5.2.3 **SANITARYWARE / FIXTURES & FITTINGS**

- Toilet Works Contractor is to supply and install new toilets and basins as detailed on the Sanitaryware Schedule. Fully coordinate with the Building Services plumbing contractors for installation of sanitaryware associated services.
- Toilet Works Contractor is to install new hand driers, supplied by UCL, as detailed on the Sanitaryware Schedule. Fully coordinate with the Building Services electrical contractors for installation of associated services.
- Toilet Works Contractor is to install new soap dispensers, toilet roll holders and grab rails as detailed on the Sanitaryware Schedule. Items to be provided 'free issue' by UCL.

6.0 FLOORING WORKS

6.1 PROPOSALS

The proposals covered by this document therefore relate to the new floor finishes throughout which will generally match the standard and specifications provided in Phase 1.

This document should be read in conjunction with the proposed plans.

6.2 SCOPE OF WORKS

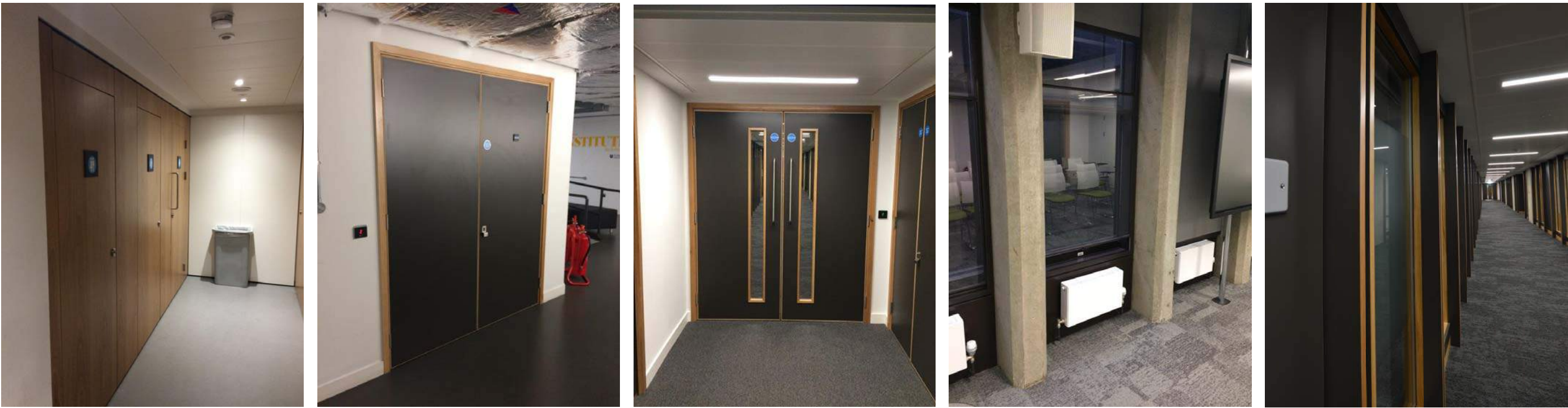
Flooring Contractors to provide all appropriate RAMS for the required flooring works. Flooring works are to include the following:

6.2.1 WORKS BY OTHERS

- Existing flooring materials (carpet and vinyl) and underlays are to be removed by the Demolition Contractor.
- Asbestos removal will have been completed by Specialist Contractor prior to Flooring Contractor commencing on site. However the Flooring Contractor should ensure that the required clean air testing and certification is in place prior to commencement of any additional strip out works associated with raised floors.

6.2.2 FLOOR FINISHES

- New floor finishes are to be supplied and installed throughout as detailed on the Proposed Floor Finish Plans and Finishes Schedule. Provide technical submission with samples of all finishes.
- Allow for matching 100mm high coved vinyl skirtings where indicated.
- Allow for stainless steel trims between carpet and vinyl floor finishes as detail.
- Allow for stair nosings where required.



Above, (left to right), example floor finishes installed during Phase 1: Vinyl Floor Finish to Toilets, Vinyl Floor Finish to Circulation, Carpet Floor Finish to Core Lobbies / Teaching Spaces / Corridors



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



APPENDIX C – APPLICATION 2B - SCOPE OF WORKS



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



PLANNING APPLICATION No. 2 – SCHEDULE OF WORKS

Prepared by



Architon LLP

Regency House ~ 17 West Street ~ Epsom ~ Surrey ~ KT18 7RL

Tel: 01372 745 600, Fax: 01372 745 016

Email: info@architon.com

1.0 INTRODUCTION

The purpose of this document is to assist all parties in understanding the Scope of Works and RIBA Stage 3 Contractor's Proposals for the Nib A areas of Levels 5 to 9 and Wing A areas of Levels 6 to 9 plus associated external terraces and roofs only within the Phase 2 Areas of the Work within the Institute of Education, 20 Bedford Way.

The location of the Works is defined by the Location and Site Plans as follows:

3147 – P2 – 2001 C	Location Plan
3147 – P2 – 2002 C	Site Plan

The Area of Works for Planning Application No. 1 are defined by the 'As Existing' Plans for all floors of the building as follows:

3147 – P2 – 2101 C	Plan as Existing – Level 1
3147 – P2 – 2501 C	Plan as Existing – Level 5
3147 – P2 – 2601 C	Plan as Existing – Level 6
3147 – P2 – 2701 C	Plan as Existing – Level 7
3147 – P2 – 2801 C	Plan as Existing – Level 8
3147 – P2 – 2901 C	Plan as Existing – Level 9
3147 – P2 – 2R01 C	Plan as Existing – Level 10 and Main Roofs

The revised internal layouts within the Area of Works for Planning Application No. 1 are indicated on the 'As Proposed' Plans for all floors of the building as follows:

3147 – P2 – 2103 D	Plan as Proposed – Level 1
3147 – P2 – 2503 F	Plan as Proposed – Level 5
3147 – P2 – 2603 D	Plan as Proposed – Level 6
3147 – P2 – 2703 D	Plan as Proposed – Level 7
3147 – P2 – 2803 D	Plan as Proposed – Level 8
3147 – P2 – 2903 D	Plan as Proposed – Level 9
3147 – P2 – 2R03 D	Plan as Proposed – Level 10 and Main Roofs

All works to be in accordance with Building Regulations, relevant British and International Standards and Codes, UCL project requirements for BREEAM and good building practice.

For details of all structural works associated with the proposed Phase 2 Works for Planning Application No. 2 – please refer to Train and Kemp Heritage Structural Assessment Document (reference 14392) dated 24th March 2020.

For details of all building services and infrastructure upgrade works associated with the proposed Phase 2 Works for Planning Application No. 2 – please refer to Long and Partners Building Services Description of Systems R01 dated 27th March 2020.

The following sections detail the architectural scope of works associated with this proposed Phase 2 Works for Planning Application No. 2.

2.0 DEMOLITION AND STRIP OUT WORKS

2.1 PROPOSALS

This document should be read in conjunction with the following architectural drawings:

3147 – P2 – 2102 D	Demolition Plan – Level 1
3147 – P2 – 2502 E	Demolition Plan – Level 5
3147 – P2 – 2602 D	Demolition Plan – Level 6
3147 – P2 – 2702 D	Demolition Plan – Level 7
3147 – P2 – 2802 D	Demolition Plan – Level 8
3147 – P2 – 2902 D	Demolition Plan – Level 9

Demolition and strip out proposals will be further developed throughout the Stage 4 design to reflect that latest project requirements but, in principle, are as detailed below.

Additional strip out / builders work may be required in connection with the strip out and isolation of M&E services above the suspended ceilings and through existing / retained walls. Refer to Long and Partner proposals for final details.

NOTE: Ensure no strip out / demolition works are undertaken without the required Listed Building Consent from the Local Authority as it is an offence to carry out any works requiring Listed Building Consent without such consent being obtained. UCL to provide copy of Listed Building Consent formal approval to the Main Contractor prior to commencement of demolition works detailed below.

2.2 SCOPE OF WORKS

Demolition Contractor to provide all appropriate RAMS for the required demotion and strip out works. Demotion and strip out works are to include the following:

2.2.1 **ENABLING WORKS**

- The Area of the Works is to be cleared of all staff / student work, materials and supplies in advance of handover to the Main Contractor.
- The Area of the Works is to be cleared of all loose furniture, e.g. desks, tables, chairs, coat racks, storage, etc. in advance of handover to the Main Contractor.
- Any items remaining in the area at time of handover are to be disposed of by Main Contractor.

2.2.2 **ASBESTOS REMOVAL**

- A Refurbishment and Demolition survey will be undertaken before any demolition work is carried out. This survey should locate and describe, as far as reasonably practicable, all ACMs in the Area of the Works and adjacent areas if additional access for building services connections is planned. The survey should be fully intrusive and involve destructive inspection, as necessary, to gain access to all areas, including those that may be difficult to reach.
- The Demolition Contractor should review the latest Asbestos R&D Survey Report and make sure they are aware of all potential locations for asbestos within the Area of the Works.
- Limited soft strip of items may be undertaken, and/or may be required, by the Demolition Contractor prior to the Asbestos Removal Specialists commencing works.
- HSE F10 Notification of Asbestos Removal is to be submitted prior to asbestos removal works and all works are to be undertaken by an approved Asbestos Removal Specialist in accordance with the agreed ACoP compliant plan.
- The Demolition Contractor should ensure that the required clean air testing and certification is in place prior to re-commencement of demotion and strip out works.

2.2.3 **BUILDING SERVICES**

- The Building Services Contractor should identify all live services and services routes within the Area of the Works and arrange isolations and terminations of all services that are to be stripped out / cut back / capped off prior to any demolition and strip out works being undertaken.
- The Building Services Contractor should identify any services and services routes within the Area of the Works that are to remain live throughout the works, i.e. if servicing floors above / below and/or required for life safety systems.
- The Building Services Contractor should confirm scope of works / provide strip out drawings identifying all building service elements that are to be stripped out within the Area of the Works. This should include, but not be limited to, the following:
 - All light fittings,
 - All power and data (in walls and in floor boxes),
 - Fire alarm systems (except where needed / modified to provide temporary construction site cover)

- All radiators (note: Building Services Contractor to advise extent of associated pipework strip out works).
- All sanitaryware, inclusive of associated supply and drainage pipework (note: UCL / Building Services Contractor to advise extent of pipework strip out works to avoid dead-legs).
- All supply and extract grilles and associated ductwork
- Any internal and external mechanical plant
- The Building Services Contractor should liaise with the Demolition Contractor and set out accurately on site all openings through existing concrete walls and slabs as detailed on the demolition drawings and in accordance with L&P strip out proposals and specifications. Structural Engineer is to approve any and all openings larger than 100mm diam. No openings are to be formed through structural members. Detailed method statement is to be provided for comment. Openings at high level, i.e. above ceiling, are indicated dashed on the drawings.

2.2.4 FLOORS

- Carefully remove existing carpet tiles throughout the Area of the Works.
- Carefully remove existing sheet vinyl flooring from kitchenette and toilet areas, inclusive of any plywood underlays.
- Carefully lift existing raised access floors where applicable.
- Remove any existing temporary / non-compliant steps, ramps and landings.

2.2.5 WALLS AND DOORS

- Make safe / disconnect and remove all M&E services that are wall-mounted / within partitions that are to be removed, e.g. dado trunking, electrical outlets, light switches, data outlets, ventilation controls, etc. in accordance with L&P strip out proposals and specifications.
- Remove all wall-mounted notice boards, white boards, etc..
- Remove any glazed partition system and associated doorsets to offices / meeting rooms.
- Remove existing metal stud and plasterboard partitions, together with associated doorsets.
- Remove existing blockwork partitions, together with associated doorsets.
- Subject to approval and Main Contractor's programme (i.e. with regard to retaining fire separation and security) carefully remove existing double doors leafs to main entrance doorsets onto each level to allow replacement with new. Retain and protect existing frames – unless advised to the contrary.

2.2.6 WINDOWS

- Carefully remove existing secondary glazing system.
- Carefully remove all existing window blinds.
- Make safe / disconnect and cap off existing radiators and remove, in accordance with L&P strip out proposals and specifications, to facilitate removal of existing window cill boards and back-panels in order for Specialist Asbestos Contractor to remove the AIB panels below the windows.

2.2.7 CEILINGS

- Make safe / disconnect and remove all M&E services that are ceiling-mounted / within suspended ceiling grid / plasterboard margins that are to be removed, e.g. lights, PIR controls, fire / smoke detectors, speakers, etc. in accordance with L&P strip out proposals and specifications.
- Take down the existing 600x600mm ceiling tiles, any associated acoustic bags, suspended ceiling grid, trim and hanger systems throughout the Area of the Works.
- Carefully remove the existing perimeter plasterboard margins to ensure minimal remedial works to the structural soffit.

2.2.8 FIXTURES AND FITTINGS

- Carefully remove existing kitchenettes and toilets. Make safe / disconnect and cap off all M&E services that are within the units / IPS panelling / vanity units / etc. that are to be removed, e.g. sink, zip taps, fridges, etc. in accordance with L&P strip out proposals and specifications. Carefully strip out sanitaryware, plinths, sink units, worktops, IPS, vanity units, integral equipment, base units and wall units.
- Carefully remove any shelves and spur shelving brackets.
- Carefully remove existing fire shutter where applicable.

3.0 WINDOW WORKS

3.1 PROPOSALS

The proposals covered by this document relate to the following elements of internal and external façade modification works:

- A. The provision of new secondary glazing generally throughout.
- B. The provision of opaque film internally to existing windows to conceal where plant areas / IPS is located.
- C. The provision of new louvers installed into existing openings.
- D. The provision of new blinds generally.

This document should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P2 – 0105 B	Window Detail 1 – Secondary Glazing
3147 – P2 – 0415 B	Louvre Detail 1 – External Elevation

3.2 SCOPE OF WORKS

Louvres, Secondary Glazing, Window Film and Window Blind Contractors to provide all appropriate RAMS for the required window works. Window works are to include the following:

3.2.1 **WORKS BY, AND COORDINATION WITH, OTHERS**

- Asbestos removal will have been completed by Specialist Contractor prior to Window Contractors commencing on site. However, the Window Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any additional strip out works associated with the perimeter glazing systems.
- Existing window blinds and secondary glazing units are to be removed by the Demolition Contractor.
- New internal window cills and associated panelling and new insulation below windows are to be provided by others / the Joinery Contractor.
- Any making good and decoration works internally are to be completed by the Decorations Contractor in advance of final fix items.

3.2.2 **BUILDING SERVICES**

- The Building Services Contractor should identify any services and services routes associated with the perimeter glazing / windows that are to remain live throughout the works, i.e. if servicing floors below and/or required for life safety systems.

3.2.3 **SECONDARY GLAZING**

All as indicated on Window Treatment drawings and within the Specification. Secondary Glazing Subcontractor to:

- Survey, design, manufacture and install new vertical sliding sash secondary glazing modules, to match existing window module and colour / finish.
- Installation to be undertaken following completion of new perimeter low level boxings by Others.

3.2.4 **INTERNAL WINDOW TREATMENTS**

Subcontractors to:

- Clean, prepare and install opaque film to top and bottom windows of 'bays' within new Toilet Core areas behind new internal wall linings.

4.0 PARTITION & CEILING WORKS

4.1 PROPOSALS

The proposals covered by this document relate to the following elements of internal construction works:

- A. The construction of new metal stud and plasterboard partitions, inclusive of shaft-walls and wall lining systems with associated insulation in accordance with fire, acoustic and thermal requirements, together with timber skirtings where applicable.
- B. The installation of new solid doorsets throughout.
- C. The provision of suspended ceiling systems, inclusive of plasterboard soffits and acoustic rafts as indicated on RCPs.
- D. Decoration of all walls, ceilings, soffits and skirtings as appropriate.

This document should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P2 – 2014 B	Doors Detail 1- Typical Doorsets
3147 – P2 – 2111 B	Reflected Ceiling Finishes – Level 1
3147 – P2 – 2511 B	Reflected Ceiling Finishes – Level 5
3147 – P2 – 2611 B	Reflected Ceiling Finishes – Level 6
3147 – P2 – 2711 B	Reflected Ceiling Finishes – Level 7
3147 – P2 – 2811 B	Reflected Ceiling Finishes – Level 8
3147 – P2 – 2911 B	Reflected Ceiling Finishes – Level 9

4.2 SCOPE OF WORKS

Partition and Ceiling Contractors to provide all appropriate RAMS for the required fit out works. Partition and ceiling works are to include the following:

4.2.1 WORKS BY, AND COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Partition and Ceiling Contractors commencing on site. However, the Partition and Ceiling Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any works associated with the perimeter glazing systems.
- New internal window cills and associated panelling are to be provided by the Joinery Contractor. Allowance may however need to be included for new insulation below windows.

4.2.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes that are to remain live throughout the works, i.e. if servicing floors below and/or required for life safety systems.
- The Building Services Consultant should identify all new services and containment routes and confirm extent of BWIC mechanical and electrical services.
- Partition and Ceiling Contractors to allow for full coordination with Building Services Contractors for integration of power, data, ductwork, etc..

4.2.3 SOLID PARTITIONS

- Construct new metal stud and plasterboard partitions, inclusive of plywood pattresses where required for fixings and insulation for acoustics in accordance with specifications.
- Construct new shaft wall risers / wall infills inclusive of plywood pattresses where required for fixings and insulation for acoustics in accordance with specifications.
- Form new door openings where indicated and to coordinated structural opening sizes.
- Allow for all builder works in connection with services, such as first fix conduits / cut outs for back boxes / openings for ductwork. All to be coordinated with Building Services Contractor and made good to maintain fire and acoustic ratings.
- All new partitions to be taped, filled and skimmed in preparation for decorations as detailed within specifications and similar to Phase 1.
- Supply and install new 100mm high timber skirtings. All fixings to be recessed and pelleted. Skirting be prepared for decorations as detailed within specifications and similar to Phase 1.

4.2.4 DOORS

- Design, manufacture, supply and install new internal door sets as indicated on proposed plans, door details drawings and Door Schedule. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e. drop seals should fully engage with floor.
- Provide sample of proposed door finish laminate, together with lippings and frame.
- Supply and install, in accordance with manufacturers recommendation and required fire certification works, all new door ironmongery as indicated for each doorset on Door and Ironmongery Schedules.
- Provide technical submissions for all ironmongery elements proposed together with sample board for UCL approval and retention on site.
- Where indicated doorsets are to be undercut by 10mm for ventilation as part of manufactured leaf.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.
- Liaise with Main Contractor to obtain UCL cylinders for all plant area doorsets prior to handover.

4.2.5 SOLID CEILINGS

- Design, manufacture, supply and install new plasterboard MF ceiling systems Toilets and Core Areas as indicated on the Proposed Reflected Ceiling Plans. Tape, fill and skim and prepare ready for decorations within specifications and on Finishes Schedule. Fully coordinate with lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P design proposals. Fully coordinated ceiling plans to be prepared and agreed by all parties prior to installation.
- Design, manufacture, supply and install new plasterboard down-stand bulkheads where required and as indicated on the Proposed Reflected Ceiling Plan. Tape, fill and skim and prepare ready for decorations as within specifications and on Finishes Schedule. Fully coordinate with recessed lighting and other services in accordance with L&P design proposals, i.e. include for installation of access panels where required.
- Design, manufacture, supply and install new 1200mm x 300mm metal plank ceilings tiles with support system and perimeter trims to central corridor areas for access as indicated on the Proposed Reflected Ceiling Plan.
- Design, manufacture, supply and install new 600mm x 600mm metal ceilings tiles with support system and perimeter trims to toilet lobby areas for access as indicated on the Proposed Reflected Ceiling Plan.

4.2.6 SUSPENDED ACOUSTIC CEILING SYSTEMS

- Design, manufacture, supply and install new acoustic integrated ceiling systems as indicated on the Proposed Reflected Ceiling Plans and to match similar systems installed in Phase 1. Fully coordinate within acoustic tiles the strip lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P design proposals. Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.
- Design, manufacture, supply and install new suspended acoustic rafts to as indicated on the Proposed Reflected Ceiling Plans and to match similar 40mm thick product installed in Phase 1. Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.

4.2.7 DECORATIONS

- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new plasterboard partitions and existing plastered walls, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new skirtings and/or other timber surfaces, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to existing and new soffits, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new pipework, balustrading and/or other metal surfaces, as appropriate. Complete full decorations works, to suit construction programme, as detailed in the following M60 specifications.

5.0 FLOORING WORKS

5.1 PROPOSALS

The proposals covered by this document therefore relate to the new floor finishes throughout which will generally match the standard and specifications provided in Phase 1.
This document should be read in conjunction with the proposed plans.

5.2 SCOPE OF WORKS

Flooring Contractors to provide all appropriate RAMS for the required flooring works. Flooring works are to include the following:

5.2.1 WORKS BY OTHERS

- Existing flooring materials (carpet and vinyl) and underlays are to be removed by the Demolition Contractor.
- Asbestos removal will have been completed by Specialist Contractor prior to Flooring Contractor commencing on site. However the Flooring Contractor should ensure that the required clean air testing and certification is in place prior to commencement of any additional strip out works associated with raised floors.

5.2.2 FLOOR FINISHES

- New floor finishes are to be supplied and installed throughout as detailed on the Proposed Floor Finish Plans and Finishes Schedule. Provide technical submission with samples of all finishes.
- Allow for matching 100mm high coved vinyl skirtings where indicated.
- Allow for stainless steel trims between carpet and vinyl floor finishes as detail.
- Allow for stair nosings where required.



SF-11 & SK-02
Toilet floor finishes



SF-08
Teaching rooms
Meeting room



SF-05
Circulation



SF-06
Common room
Tea point/ ramps



SF-02
Core Circulation



SF-12
Exit Lobbies
Steps & Landing

6.0 EXTERNAL WORKS

6.1 PROPOSALS

The proposals covered by this document relate to the following elements of internal construction works:

- A. The installation of new balustrade system, where applicable.
- B. The installation of new external gate and doorsets where appropriate.
- C. Insulation and waterproofing of main roof and roof terraces, installing new paving and all works associated with extending existing drainage.

This document should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P2 – 0502 B	Elevation – Wing External Doors
3147 – P2 – 0516 B	Detail – Balustrade
3147 – P2 – 0520 B	Detail – External Terrace
3147 – P2 – 0530 A	Elevation – External gate Level 5
3147 – P2 – 2503 F	Plan as Proposed – Level 5
3147 – P2 – 2603 D	Plan as Proposed – Level 6
3147 – P2 – 2703 D	Plan as Proposed – Level 7
3147 – P2 – 2803 D	Plan as Proposed – Level 8
3147 – P2 – 2903 D	Plan as Proposed – Level 9
3147 – P2 – 2R03 D	Plan as Proposed – Level 10 and Main Roofs

6.2 SCOPE OF WORKS

- External Works Contractors to provide all appropriate RAMS for the required flooring works. Scope of external works are to be included as follow:

6.2.1 WORKS BY OTHERS

- The External Works Contractors should allow to coordinate with other sub-contractors that will require access to the external terraces and / or whose works will impact the External Works packages, e.g.
- The Contractor will need to extent existing opening for installation of new door. Waterproofing will need to be dressed around these openings and infills accordingly and to agreed Sub-contractor / manufacturer details.

6.2.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes within the Area of the Works that are to remain live throughout the works, e.g. if external lighting is to be maintained throughout the works for illumination of contractor's fire escape route.
- The Building Services Consultant should identify all new services and containment routes and confirm extent of BWIC mechanical and electrical services.

6.2.3 FLAT ROOF/ TERRACE/ WATERPROOFING WORKS

- Roofing Contractor will be responsible for the design, installation and warranty of the complete new roof waterproofing and insulation systems.
- Reclamation of existing concrete paving slabs for reuse on top on new insulation will be undertaken by the Main Contractor, unless advised to the contrary.
- Apply new waterproofing treatment to all Level 6 to10 areas indicated on the As Proposed drawings.
- Installation of new insulation systems to improve thermal and acoustic performance of terrace areas.
- Re-installation of salvages slabs, plus new concrete slabs to match existing, on appropriate slab pedestals
- Installation of new ballast catchers over all existing roof outlet gullies at Levels 6 to 10 and provide unit rate if required for other areas.
- Creation of additional "top step" to existing wide external steps. New step to be bespoke pre-cast concrete to match phase 1.
- Installation of new contrast anti-slip nosing detail to new top step to match phase 1.

6.2.4 BALUSTRADE/ METAL WORKS

- Metalwork Contractor will be responsible for the design, installation and Building Regulation compliance of the new balustrading systems. Specification and design principles (which is 'to match existing') are included in drawing 3147-P2-0516.
- Removal of floor-mounted handrails to Level 6-10 main Terrace back to proposed new 'step up' onto main Terrace area.
- Design, in accordance with Building Regulations, manufacture and installation of new external balustrade and handrail systems. All systems to match Phase 1.

6.2.5 EXTERNAL DOORS/GATE

- Design, manufacture, supply and install new external door sets and Level 5 gate as indicated on proposed plans, door details drawings and Door Schedule. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e. drop seals should fully engage with floor.
- Supply and install, in accordance with manufacturers recommendation and required fire certification works, all new door ironmongery as indicated for each doorset on Door and Ironmongery Schedules.
- Provide technical submissions for all ironmongery elements proposed together with sample board for UCL approval and retention on site.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



APPENDIX D – APPLICATION 2C - SCOPE OF WORKS



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



PLANNING APPLICATION No. 2C – SCHEDULE OF WORKS

Prepared by



Architon LLP

Regency House ~ 17 West Street ~ Epsom ~ Surrey ~ KT18 7RL

Tel: 01372 745 600, Fax: 01372 745 016

Email: info@architon.com

1.0 INTRODUCTION

The purpose of this document is to assist all parties in understanding the Scope of Works and RIBA Stage 4 Contractor’s Proposals associated with the planning application for Zone B of Levels 1-4 plus associated external works within the Phase 2 Areas of the Work within the Institute of Education, 20 Bedford Way.

The location of the Works is defined by the Location and Site Plans as follows:

3147 – P3 – 2001	Location Plan
3147 – P3 – 2002	Site Plan

The Area of Works for Planning Application No.3 are defined by the ‘As Existing’ Plans for all floors of the building as follows:

3147 – P3 – 2101	Plan as Existing – Level 1
3147 – P3 – 2201	Plan as Existing – Level 2
3147 – P3 – 2301	Plan as Existing – Level 3
3147 – P3 – 2401	Plan as Existing – Level 4

The revised internal layouts within the Area of Works for Planning Application No. 3 are indicated on the ‘As Proposed’ Plans for all floors of the building as follows:

3147 – P3 – 2105	Plan as Proposed – Level 1
3147 – P3 – 2305	Plan as Proposed – Level 2 & 3
3147 – P3 – 2405	Plan as Proposed – Level 4

All works to be in accordance with Building Regulations, relevant British and International Standards and Codes, UCL project requirements for BREEAM and good building practice.

For details of all structural works associated with the proposed Phase 2 Works for Planning Application No. 3 – please refer to Tail Structures Heritage Structural Assessment Document.

For details of all building services and infrastructure upgrade works associated with the proposed Phase 2 Works for Planning Application No. 3 – please refer to Long and Partners Building Services Description of Systems.

The following sections detail the architectural scope of works associated with this proposed Phase 2 Works for Planning Application No. 3.

2.0 DEMOLITION AND STRIP OUT WORKS

2.1 PROPOSALS

This section should be read in conjunction with the following architectural drawings:

3147 – P3 – 2102	Demolition Plan – Level 1
3147 – P3 – 2302	Demolition Plan – Level 2 & 3
3147 – P3 – 2402	Demolition Plan – Level 4
3147 – P3 – 2303	Elevation – Level 3 Curtain Wall – Demolition
3147 – P3 – 2403	Elevation – Level 4 Curtain Wall – Demolition

Demolition and strip out proposals will be finalised on site to reflect that latest project requirements but, in principle, are as detailed below.

Additional strip out / builders work may be required in connection with the strip out and isolation of M&E services above the suspended ceilings and through existing / retained walls. Refer to Long and Partner proposals for final details.

NOTE: Ensure no strip out / demolition works are undertaken without the required Listed Building Consent from the Local Authority as it is an offence to carry out any works requiring Listed Building Consent without such consent being obtained. UCL to provide copy of Listed Building Consent formal approval to the Main Contractor prior to commencement of demolition works detailed below.

2.2 SCOPE OF WORKS

Demolition Contractor to provide all appropriate RAMS for the required demotion and strip out works. Demotion and strip out works are to include the following:

2.2.1 ENABLING WORKS

- The Area of the Works is to be cleared of all staff / student work, materials and supplies in advance of handover to the Main Contractor.
- The Area of the Works is to be cleared of all loose furniture, e.g., soft seating, tables, chairs, storage, etc. in advance of handover to the Main Contractor.
- Any items remaining in the area at time of handover are to be disposed of by Main Contractor.

2.2.2 ASBESTOS REMOVAL

- A Refurbishment and Demolition survey will be undertaken before any demolition work is carried out. This survey should locate and describe, as far as reasonably practicable, all ACMs in the Area of the Works and adjacent areas if additional access for building services connections is planned. The survey should be fully intrusive and involve destructive inspection, as necessary, to gain access to all areas, including those that may be difficult to reach.
- The Demolition Contractor should review the latest Asbestos R&D Survey Report and make sure they are aware of all potential locations for asbestos within the Area of the Works.
- Limited soft strip of items may be undertaken, and/or may be required, by the Demolition Contractor prior to the Asbestos Removal Specialists commencing works.
- HSE F10 Notification of Asbestos Removal is to be submitted prior to asbestos removal works and all works are to be undertaken by an approved Asbestos Removal Specialist in accordance with the agreed ACoP compliant plan.
- The Demolition Contractor should ensure that the required clean air testing and certification is in place prior to re-commencement of demotion and strip out works.

2.2.3 BUILDING SERVICES

- The Building Services Contractor should identify all live services and services routes within the Area of the Works and arrange isolations and terminations of all services that are to be stripped out / cut back / capped off prior to any demolition and strip out works being undertaken.
- The Building Services Contractor should identify any services and services routes within the Area of the Works that are to remain live throughout the works, i.e., if servicing floors above / below and/or required for life safety systems.
- The Building Services Contractor should confirm scope of works / provide strip out drawings identifying all building service elements that are to be stripped out within the Area of the Works. This should include, but not be limited to, the following:
 - All light fittings,
 - All power and data (in walls and in floor boxes),

- Fire alarm systems (except where needed / modified to provide temporary construction site cover)
- All radiators (note: Building Services Contractor to advise extent of associated pipework strip out works).
- All supply and extract grilles and associated ductwork
- Any internal and external mechanical plant
- The Building Services Contractor should liaise with the Demolition Contractor and set out accurately on site all openings through existing concrete walls and slabs as detailed on the demolition drawings and in accordance with L&P strip out proposals and specifications. Structural Engineer is to approve any and all openings larger than 100mm diam. No openings are to be formed through structural members. Detailed method statement is to be provided for comment. Openings at high level, i.e., above ceiling, are indicated dashed on the drawings.

2.2.4 FLOORS

- Carefully remove existing carpet tiles throughout the Area of the Works.
- Carefully remove existing vinyl flooring from the Areas of Works including all associated threshold, transition trims and stair nosings.
- Carefully strip out existing rubber / carpeted matwells.
- Carefully remove existing heating trench grilles and associated casings where applicable.
- Carefully remove existing raised floor and stair construction at Level 3 accessible pass entrance.
- Demolitions / BWIC with new services – allow for penetrations through slabs, local removal of screeds and chasing in for containment routes to suite new security barriers.

2.2.5 WALLS AND DOORS

- Make safe / disconnect and remove all M&E services that are wall-mounted / within partitions that are to be removed, e.g., dado trunking, electrical outlets, light switches, data outlets, ventilation controls, etc. in accordance with L&P strip out proposals and specifications.
- Remove all wall-mounted notice boards, white boards, signage, etc.
- Remove existing glazed partitions, together with associated doorsets.
- Remove existing metal stud and plasterboard partitions, together with associated doorsets.
- Remove existing blockwork partitions, together with associated doorsets.
- Carefully remove all column boxings and wall linings.
- Subject to feasibility - Carefully remove existing plaster finishes to expose concrete columns / structure. N.B.: area to test ease and end quality to be undertaken.

2.2.6 CEILINGS

- Make safe / disconnect and remove all M&E services that are ceiling-mounted / within suspended ceiling grid / plasterboard margins that are to be removed, e.g., lights, PIR controls, fire / smoke detectors, speakers, etc. in accordance with L&P strip out proposals and specifications.
- Carefully remove suspended ceiling systems to expose soffits.
- Carefully remove existing rooflights over staircase. Removal and associated remedial works to be programmed to suit replacement.

2.2.7 FIXTURES AND FITTINGS

- Carefully remove existing reception desk and café survey. Make safe / disconnect and cap off all M&E services that are within the units, panelling, etc. that are to be removed, e.g., sink fridges, etc. in accordance with L&P strip out proposals and specifications.
- Carefully remove any shelves, cabinets, spur shelving brackets and other fixed furniture / storage.
- Carefully remove existing fire shutters where applicable.
- Carefully remove existing L3 to L4 platform lift and wall-mounted stair-climber lift at L3.

2.2.8 EXTERNAL WORKS

- Demolitions associated with the removal / adjustment of external paving / terraces / etc. is to be undertaken by the specialist external sub-contractor, see section 8.0 for details.
- Carefully remove existing main entrance doors, 'accessible' side door and full height curtain walling from front elevation at Level 3, (refer to architect's drawings for extent). Subject to approval and Main Contractor's programme (i.e., with regard to retaining security). See section 3.0 for full detail.
- Carefully remove external staircase from Level 3, up to and including internal foot bridge to level 4, inclusive of revolving door, etc.
- Carefully remove high level signage overhead level 3 external stair and signage/lighting to Bedford way columns.
- Carefully remove existing revolving doors, frames, and curtain walling system from rear elevation at Level 4, (refer to architect's drawings for extent. Subject to approval and Main Contractor's programme (i.e., with regard to retaining security). See section 3.0 for full detail.

3.0 CURTAIN WALLING, SECONDARY GLAZING, HIGH LEVEL WINDOWS & ROOFLIGHTS

3.1 PROPOSALS

The proposals covered by this section relate to the following elements of external façade modification works:

- A. The provision of new full height, bespoke glazing / curtain wall at Level 3 following the removal of existing, including the external staircase.
- B. Alterations to the existing accessible entrance to Level 3, including provision of new door and bespoke glazing to match existing.
- C. The provision of new curtain wall (with integrated drum and pass doors) at Level 4 following the removal of existing doors.
- D. Provision of openable windows at high level above the new pavilion roof at Level 3 to provide natural/cross ventilation.
- E. The provision of new openable rooflights in the Level 5 Slab over the atrium stairs to provide natural/cross ventilation.
- F. The provision of new obscure and opaque film internally and/or manifestations to BRAD Part M.
- G. The provision of new blinds on Level 4.
- H. The provision of new secondary glazing to Level 3 teaching area.

This section should be read in conjunction with the proposed plans and the following architectural drawings:

3147 – P3 – 2320	Elevation – Curtain Wall Level 3 – As Existing
3147 – P3 – 2321	Elevation – Curtain Wall Level 3 – As Proposed
3147 – P3 – 2420	Elevation – Curtain Wall Level 4 – As Existing
3147 – P3 – 2421	Elevation – Curtain Wall Level 4 – As Proposed
3147 – P3 – 2431	Rooflight – As Existing
3147 – P3 – 2432	Rooflight – As Proposed
3147 – P3 – 0105	Details – Secondary Glazing

3.2 SCOPE OF WORKS

- Curtain Walling contractors to design, supply and install new full height, bespoke glazing / curtain walling at Level 3, new high-level windows, new door and glazing at Level 3, new secondary glazing to existing within Level 3 teaching space, new curtain walling with drum and pass doors at Level 4 and new rooflights to replace existing. Blind Contractors to provide new blinds. Signage Contractor to provide all film applications. All contractors to submit appropriate RAMS for the required works. Provision of technical submissions for all proposed systems together with sample board for UCL approval before commencement of fabrication. Façade works are to include the following:

3.2.1 WORKS BY, AND IN COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Contractors commencing on site. However, the Curtain Walling Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any strip out works associated with the glazing systems which is to be undertaken by the Specialist.
- Existing blinds are to be removed by the Demolition Contractor.
- Any making good and decoration works internally are to be completed by the Decorations Contractor in advance of final fix items.

3.2.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes associated with the works and make safe.

3.2.3 NEW CURTAIN WALL

- Design, manufacture, supply and install new bespoke glazing / curtain walling system with integrated doors and windows (see 3.2.4) as indicated on proposed plans and elevations. Contractor to specify abutment to existing retaining curtain wall.
- New Curtain wall to integrate into new pavilion construction, including new roof and associated steel frame, (see section 4.0 and Structural Engineer design).

3.2.4 HIGH LEVEL WINDOWS

- Window Subcontractor to survey, design, manufacture and install new automated, top-hung high-level windows, colour and finish to match existing / proposed bespoke glazing / curtain wall.
- Installation to be undertaken following completion of new pavilion/ curtain walling structure, (see section 3.2.3, 4.0 and Structural Engineer design).

3.2.5 ROOFLIGHTS

- Window Subcontractor to survey, design, manufacture and install new automated rooflights, colour and finish to match existing.
- Installation to be undertaken following completion of works to existing roof to locally remove and rebuild roof structure, (to accommodate new) and refinish roof surfaces to suit.

3.2.6 INTERNAL WINDOW TREATMENTS

- Signage Contractor to remove any existing window film, as appropriate, clean, prepare and install new opaque film and/or manifestations as indicated.
- Blind Contractor to install new solar control blinds with manual operation to existing curtain walling on rear elevation at Level 4. Full details and sample to be provided for approval.

3.2.7 INTEGRATED PASS DOORS

- Design, manufacture, supply and install new integrated pass door set and side panel into existing curtain wall as indicated on proposed plan. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e., drop seals should fully engage with floor.
- Supply and install, in accordance with manufacturers recommendation and required fire certification works, all new door ironmongery as indicated for each doorset on Door and Ironmongery Schedules.
- Provide technical submissions for all ironmongery elements proposed together with sample board for UCL approval and retention on site.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.

3.2.8 SECONDARY GLAZING

- Secondary Glazing Contractor to Survey, design, manufacture and install new vertical sliding sash secondary glazing modules, to match existing window module and colour / finish.
- Installation to be undertaken following completion of new perimeter low level boxings by Others.

3.2.9 LEVEL 4 - ENTRANCE DOORS

- Design, manufacture, supply and install new drum and pass doorsets as indicated on proposed plans and elevations. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e., drop seals should fully engage with floor.
- New doorset installation to integrate into new curtain walling system / new steel frame / structures and new roof construction.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.

4.0 ENTRANCE PAVILION

4.1 PROPOSALS

The proposals covered by this section relate to the following elements of new construction works:

- A. The provision of new curtain walling system forming the Level 3 Pavilion with integrated, accessible pass door.
- B. The provision of new pavilion roof including insulation and waterproofing.
- C. The provision of new integrated drum doors.
- D. The provision of new manifestation to Pavilion.

This section should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P3 – 2329	Level 3 Pavilion – Plan – As Proposed
3147 – P3 – 2330	Level 3 Pavilion – East Elevation – As Proposed
3147 – P3 – 2331	Level 3 Pavilion – North Elevation – As Proposed
3147 – P3 – 2332	Level 3 Pavilion – Section S1 & S2 – As Proposed
3147 – P3 – 2333	Level 3 Pavilion – South Elevation – As Proposed
3147 – P3 – 2334	Level 3 Pavilion – Details D1 & D2 – As Proposed

4.2 SCOPE OF WORKS

New curtain walling and roof forming new Pavilion extension and new entrance doors. Contractors to submit appropriate RAMS for the required works. Provision of technical submissions for all proposed systems together with sample board for UCL approval before commencement of fabrication.

The Contractor will need to remove existing curtain wall to form opening for installation of Pavilion. Waterproofing will need to be dressed around these openings and infills accordingly and to agreed Sub-contractor / manufacturer details.

Entrance Pavilion works are to include the following:

4.2.1 WORKS BY, AND IN COORDINATION WITH, OTHERS

- External hard landscaping works – see section 8.0.
- Structural works – see TAK design information.
- Any making good to existing/retained structure, paving, etc.

4.2.2 BUILDING SERVICES

- The Building Services Contractor to identify all services and services routes required for the new Pavilion such as lighting, power, security installations, etc.

4.2.3 NEW PAVILION – CURTAIN WALLING

- Design, manufacture, supply and install new curtain walling system as indicated on proposed plans and elevations. Specialist supplier / sub-contractor to specify / detail abutment to new bespoke glazing / curtain wall and new steel structure / roof.
- New curtain walling installation to integrate into new bespoke glazing / curtain walling / window system and new steel frame / structures and roof construction (see 3.2).
- New integrated accessible pass doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.

4.2.4 NEW PAVILION - ENTRANCE DOORS

- Design, manufacture, supply and install new drum and pass doorsets as indicated on proposed plans and elevations. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e., drop seals should fully engage with floor.
- New doorset installation to integrate into new curtain walling system / new steel frame / structures and new roof construction.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.

4.2.5 NEW PAVILION – ROOF

- Design, manufacture, supply and install new pavilion roof as indicated on proposed plans and elevations.
- New complete roof construction to comprise of facias, insulation, waterproof finishes and be fully integrated with new bespoke glazing / curtain walling / window system / new steel frame & structures / new curtain walling and new doorsets.
- Roofing Contractor will be responsible for the design, installation and warranty of the complete roof waterproofing and insulation systems.

4.2.6 INTERNAL WINDOW TREATMENTS

- Signage Contractor to clean, prepare and install new opaque film and/or manifestations as indicated.

5.0 PARTITION & CEILING WORKS

5.1 PROPOSALS

The proposals covered by this section relate to the following elements of internal construction works:

- A. The construction of new metal stud and plasterboard partitions, inclusive of shaft-walls and wall lining systems with associated insulation in accordance with fire, acoustic and thermal requirements, together with timber skirtings where applicable.
- B. The installation of new solid doorsets throughout.
- C. The provision of suspended ceiling systems, inclusive of plasterboard soffits and acoustic rafts as indicated on RCPs.
- D. Decoration of all walls, ceilings, soffits as appropriate.

This section should be read in conjunction with the proposed plans and the following architectural drawings:

3147 – P3 – 2111	Reflected Ceiling Finishes – Level 1
3147 – P3 – 2311	Reflected Ceiling Finishes – Level 2 & 3
3147 – P3 – 2411	Reflected Ceiling Finishes – Level 4
3147 – P3 – 2335	Door Elevation – As Proposed

5.2 SCOPE OF WORKS

Partition and Ceiling Contractors to provide all appropriate RAMS for the required fit out works. Partition and ceiling works are to include the following:

5.2.1 WORKS BY, AND IN COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Partition and Ceiling Contractors commencing on site. However, the Partition and Ceiling Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any works associated with the perimeter glazing systems.
- New internal window cills and associated panelling are to be provided by the Joinery Contractor. Allowance may however need to be included for new insulation below windows.

5.2.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes that are to remain live throughout the works, i.e., if servicing floors below and/or required for life safety systems.
- The Building Services Consultant should identify all new services and containment routes and confirm extent of BWIC mechanical and electrical services.
- Partition and Ceiling Contractors to allow for full coordination with Building Services Contractors for integration of power, data, ductwork, etc.

5.2.3 SOLID PARTITIONS

- Construct new metal stud and plasterboard partitions, inclusive of plywood pattresses where required for fixings and insulation for acoustics in accordance with specifications.
- Construct new shaft wall risers / wall infills inclusive of plywood pattresses where required for fixings and insulation for acoustics in accordance with specifications.
- Form new door openings where indicated and to coordinated structural opening sizes.
- Allow for all builder works in connection with services, such as first fix conduits / cut outs for back boxes / openings for ductwork. All to be coordinated with Building Services Contractor and made good to maintain fire and acoustic ratings.
- All new partitions to be taped, filled and skimmed in preparation for decorations as detailed within specifications and similar to Phase 1.
- Supply and install new 100mm high timber skirtings. All fixings to be recessed and pelleted. Skirting be prepared for decorations as detailed within specifications and similar to Phase 1.

5.2.4 DOORS

- Design, manufacture, supply and install new internal door sets as indicated on proposed plans, door details drawings and Door Schedule. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e., drop seals should fully engage with floor.
- Provide sample of proposed door finish laminate, together with lippings and frame.
- Supply and install, in accordance with manufacturers recommendation and required fire certification works, all new door ironmongery as indicated for each doorset on Door and Ironmongery Schedules.
- Provide technical submissions for all ironmongery elements proposed together with sample board for UCL approval and retention on site.
- Where indicated doorsets are to be undercut by 10mm for ventilation as part of manufactured leaf.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.

5.2.5 SOLID CEILINGS

- Design, manufacture, supply and install new plasterboard down-stand bulkheads and/or solid ceilings where required and as indicated on the Proposed Reflected Ceiling Plan. Tape, fill and skim and prepare ready for decorations as within specifications and on Finishes Schedule.
Fully coordinate with lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P design proposals.
Fully coordinated ceiling plans to be prepared and agreed by all parties prior to installation and include for installation of access panels where required.

5.2.6 SUSPENDED ACOUSTIC CEILING SYSTEMS

- Design, manufacture, supply and install new acoustic integrated ceiling systems as indicated on the Proposed Reflected Ceiling Plans and to match similar systems installed in Phase 1. Coordinate with lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P design proposals.
Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.
- Design, manufacture, supply and install new suspended acoustic rafts to as indicated on the Proposed Reflected Ceiling Plans and to match similar 40mm thick product installed in Phase 1.
Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.

5.2.7 DECORATIONS

- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new plasterboard partitions/soffits and existing plastered walls/soffits as appropriate. Complete full decorations works, to suit construction programme.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new skirtings and/or other timber surfaces, as appropriate. Complete full decorations works, to suit construction programme.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new pipework, balustrading and/or other metal surfaces, as appropriate. Complete full decorations works, to suit construction programme.

6.0 FLOORING WORKS

6.1 PROPOSALS

The proposals covered by this section relate to the new floor finishes and skirtings in the Area of the Works.

This section should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P3 – 2113	Floor Finishes – Level 1
3147 – P3 – 2313	Floor Finishes – Level 2 & 3
3147 – P3 – 2413	Floor Finishes – Level 4

6.2 SCOPE OF WORKS

Flooring Contractors to provide all appropriate RAMS for the required flooring works. Flooring works are to include the following:

6.2.1 WORKS BY OTHERS

- Existing flooring materials (carpet and vinyl) and underlays are to be removed by the Demolition Contractor.
- Asbestos removal will have been completed by Specialist Contractor prior to Flooring Contractor commencing on site. However, the Flooring Contractor should ensure that the required clean air testing and certification is in place prior to commencement of any additional strip out works required.

6.2.2 FLOOR FINISHES

- New floor finishes are to be supplied and installed throughout as detailed on the Proposed Floor Finish Plans and Finishes Schedule.
Provide technical submission with samples of all finishes.
- Allow for matching 100mm high coved vinyl skirtings where indicated.
- Allow for timber skirtings where required / indicated.
- Allow for 100mm ceramic tile skirtings to toilet areas where indicated.
- Allow for stainless steel trims between carpet and vinyl/other floor finishes as detail.
- Allow for brass stair nosing where required to match Phase 1.
- Allow for cleaning / making good to existing quarry tiles on stair and at Level 4.

7.0 FIXED FURNITURE & LIFTING PLAFORMS

7.1 PROPOSALS

The proposals covered by this section relate to the following elements:

- A. Provision of new reception desks and security barriers at Levels 3 and 4.
- B. The provision of a new platform lifts.
- C. Provision of new café servery and associated joinery at Level 3.
- D. Provision of Level 4 study bench and dividing screens/joinery.
- E. Provision of new edge protection to Level 4

This section should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P3 – 2322	Level 3 – Security Barrier
3147 – P3 – 2323	Level 3 – Front Desk
3147 – P3 – 2325	Level 3 – Café Servery
3147 – P3 – 2326	Lift L.01
3147 – P3 – 2423	Level 4 – Security Barrier
3147 – P3 – 2424	Level 4 – Front Desk
3147 – P3 – 2426	Lift L.02
3147 – P3 – 2427	Level 4 – Bench

7.2 SCOPE OF WORKS

Subcontractors are to provide all appropriate RAMS for the required toilet construction and fit out works. Provision of technical submissions for all proposed systems together with sample board for UCL approval before commencement of fabrication. Works are to include the following:

7.2.1 WORKS BY OTHERS

- New platform lifts/lifting systems to be installed by specialist.
- New turnstile installed by specialist. Contractors should allow to coordinate with other sub-contractors whose works will impact the works to the entrance area/ reception/ pavilion area.
- All mechanical, electrical, and public health plumbing works to be undertaken by Building Services Contractor.
- Any making good and decoration works internally are to be completed by the Decorations Contractor in advance of final fix items.

7.2.2 PURPOSE MADE JOINERY

- Joinery Contractor will be responsible to manufacture, supply and install new reception desk/ café servery/ working bench and all part height safety screens. Contractor to provide details of all fixings and samples of all materials for approval prior to manufacture.
- Where indicated some joinery will need to incorporate M&E services. Allow for drains/cable ways in behind framing/ back panel to suit.

7.2.3 LIFTS

- Manufacturer to design, manufacture, supply and install new Platform lift/ lift as indicated on proposed plans.
- Proposed lift will need to incorporate electrical services. Allow for cables ways in.
- Design, in accordance with Building Regulations, manufacture and installation of new lift systems.
- Removal of existing stair as indicated on structural engineer details.

7.2.4 SECURITY BARRIER

- Manufacturer is to design, manufacture, supply and install new turnstile as indicated on proposed plans. Security barrier will need to incorporate electrical services, allow for cable ways in.

7.2.4 LEVEL 4 EDGE PROTECTION

- Specialist manufacturer to design, manufacture, supply and install new balustrade internally in front of glazing, as indicated on proposed plans. Design and finish to match typical, existing balustrades within IoE.
- Design, in accordance with Building Regulations.

8.0 EXTERNAL WORKS

8.1 PROPOSALS

The proposals covered by this section relate to the following elements of external construction works:

- A. Completion of all external works associated with installation of new curtain walling, pavilion, pass doorsets and removal of existing access stair.
- B. The installation of new/re-lay of existing paving to make good following all proposed works at levels 3 & 4.

This section should be read in conjunction with the proposed plans and the following architectural typical detail drawings:

3147 – P3 – 2319 Proposed External works – Level 3 & 4

8.2 SCOPE OF WORKS

- External Works Contractors to provide all appropriate RAMS for the required flooring works. Provision of technical submissions for all proposed systems together with sample board for UCL approval before commencement of fabrication. Scope of external works are to be included as follow:

8.2.1 WORKS BY OTHERS

- The External Works Contractors should allow to coordinate with other sub-contractors that will require access to the external terraces and / or whose works will impact the External Works packages.

8.2.2 BUILDING SERVICES

- The Building Services Contractor to identify any services and services routes within the Area of the Works that are to remain live throughout the works, e.g., if external lighting is to be maintained throughout the works for illumination of contractor's fire escape route.
- The Building Services Consultant to identify all new services and containment routes and confirm extent of BWIC mechanical and electrical services.

8.2.3 EXTERNAL PAVING AND TERRACES

- Carefully remove existing pavers / ground / foundations / etc. at level 3 to suit extent of new pavilion, curtail walling, slot drains and all proposed works associated.
- Carefully remove existing ramp / pavers / ground / foundations / kerbs / balustrade & handrails / etc. at level 3 to suit new proposal for level access door.
- Carefully remove / adjust existing tiles / ground / foundations / etc. at level 4 to suit new entrance doors, curtain walling and all proposed works associated.
- Reclamation of existing concrete paving slabs from Level 3 front elevation for reuse will be undertaken by the Main Contractor, unless advised to the contrary.
- Reclamation of existing tiles / slabs from level 4 rear entrance for reuse will be undertaken by the Main Contractor, unless advised to the contrary.
- Re-installation of salvages slabs, when appropriate.
- Adjustment / relaying of reclaimed / salvaged slabs to external paving along front entrance at level 3 around new pavilion (including new slot drain), new level, accessible door as well around / following removal of external stairs, ramps and any areas removed / adjusted to enable installations of new curtain walling. Extent of area requiring works to enable laying of pavers to falls away from new pavilion edge.
- Adjustment / relaying of reclaimed / salvaged tiles / slabs to external terrace at rear entrance at level 4 around new drum door. Extent of area requiring works to enable laying of pavers to falls away from entrance and to achieve / match decorative design of existing.
- Installation of new below-ground rain / surface water drainage systems including new ACO drain around new pavilion and any gullies (as required). System to be fully integrated into existing drainage and be carefully coordinated to work with all falls in new and existing paving.



UCL REFURBISHMENT @ IOE BEDFORD WAY – PHASE 2



APPENDIX E – APPLICATION 2D - SCOPE OF WORKS



UCL REFURBISHMENT @ IOE WOBURN SQUARE WORKS LEVEL 5 ZONE C



PLANNING APPLICATION WS05 – SCHEDULE OF WORKS

Prepared by



Architon LLP

Upper Deck ~ 17A West Street ~ Epsom ~ Surrey ~ KT18 7RL

Tel: 01372 745 600

Email: info@architon.com

CONTENTS

	PAGE
1.0 INTRODUCTION	3
2.0 SCOPE OF WORKS - DEMOLITIONS	5
3.0 SCOPE OF WORKS – FACADES & WINDOWS	7
4.0 SCOPE OF WORKS – PARTITIONS & CEILINGS	8
5.0 SCOPE OF WORKS - TOILETS	10
6.0 SCOPE OF WORKS - FLOORING	10
7.0 SCOPE OF WORKS – FIXTURES & FITTINGS	11

1.1 PURPOSE

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2 LEVEL 5 PLAN - AS PROPOSED

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1.2 **SCOPE**

This document provides detail around the proposed Scope of Works and should be read in conjunction with current drawings.

The Scope of Work proposals covered by this document are divided into packages and contain the following sections for the refurbishment works:

- A. Demolition and Strip Out works.
- B. Window treatment works.
- C. Partitions, ceilings, door and decoration works.
- D. New Toilet works, inclusive of IPS and sanitaryware.
- E. Flooring works.
- F. All other fixture and fitting works, inclusive of miscellaneous joinery, etc.

1.3 **COORDINATION**

The Main Contractor is to ensure that no strip out, demolition or builders works are undertaken without the required Listed Buildings and Planning Consents.

No fixings are to be made into concrete columns, fins, beams or soffits without formal approval of the fixing details in advance.

All architectural scope detailed above is to be fully coordinated with structural and building services design requirements. All new works are to be undertaken in accordance with Building Regulations, BREEAM requirements to achieve the excellent rating that is targeted, Fire Strategy documents as prepared by Osborn’s and Acoustic Performance criteria as set out by Buro Happold.

All Sub-Contractors will be required to carry out detailed site surveys that are appropriate to their installation and confirm critical setting out points on site against checked site dimensions.

All Sub-Contractors to provide, at appointment, samples as required of all key components of their installations. In principle, all finishes are to match the other Phase 1 and Phase 2 works, unless agreed to the contrary. Where different, samples are to be submitted to UCL, (and their consultants, as appropriate), for approval and retained on site for reference.

1.4 **STANDARDS**

All Architectural elements shall be designed and installed in accordance with, but not limited to, the latest and current versions of the following design standards and codes:

Building Regulations, including:	AD Part B	Fire Safety
	AD Part F	Means of Ventilation
	AD Part K	Protection from falling, collision and impact
	AD Part L2	Conservation of fuel and power
	AD Part M	Access to and use of buildings

CDM Regulations 2015

Chartered Institution of Building Services Engineers (CIBSE) Guides & IEE Wiring regulations, BS 7671, and associated guidance notes.

COSHH (Control of Substances Hazardous to Health) Regulations

British Standards and European Norms

UCL Design Standards

The Equality Act

2.0 SCOPE OF WORKS - DEMOLITIONS

Demolition Contractor to provide all appropriate RAMS for the required demotion and strip out works. Demotion and strip out works are to include the following:

2.1 ENABLING WORKS

- The Area of the Works is to be cleared of all staff / student work, materials and supplies in advance of handover to the Principal Contractor.
- The Area of the Works is to be cleared of all loose furniture, e.g. desks, tables, chairs, coat racks, storage, etc. in advance of handover to the Principal Contractor.
- Any items remaining in the area at time of handover are to be disposed of by Principal Contractor, unless advised / agreed to the contrary.

2.2 ASBESTOS REMOVAL

- A Refurbishment and Demolition survey must be undertaken before any demolition work is carried out. This survey should locate and describe, as far as reasonably practicable, all ACMs in the Area of the Works and adjacent areas if additional access for building services connections is planned. The survey should be fully intrusive and involve destructive inspection, as necessary, to gain access to all areas including those that may be difficult to reach.
- The Demolition Contractor should review the latest Asbestos R&D Survey Report and make sure they are aware of all potential locations for asbestos within the Area of the Works.
- Limited soft strip of items may be undertaken, and/or may be required, by the Demolition Contractor prior to the Asbestos Removal Specialists commencing works.
- HSE F10 Notification of Asbestos Removal is to be submitted prior to asbestos removal works and all works are to be undertaken by an approved Asbestos Removal Specialist in accordance with the agreed ACoP compliant plan.
- The Demolition Contractor should ensure that the required clean air testing and certification is in place prior to re-commencement of demotion and strip out works.

2.3 BUILDING SERVICES

- The Building Services Contractor should identify all live services and services routes within the Area of the Works and arrange isolations and terminations of all services that are to be stripped out / cut back / capped off prior to any demolition and strip out works being undertaken.
- The Building Services Contractor should identify any services and services routes within the Area of the Works that are to remain live throughout the works, i.e. if servicing floors above / below and/or required for life safety systems.
- The Building Services Contractor should confirm scope of works / provide strip out drawings identifying all building service elements that are to be stripped out within the Area of the Works. This should include, but not be limited to, the following:
 - All light fittings,
 - All power and data (in walls and in floor boxes),
 - Fire alarm systems (except where needed / modified to provide temporary construction site cover)
 - All radiators (note: Building Services Contractor to advise extent of associated pipework strip out works).
 - All sanitaryware, inclusive of associated supply and drainage pipework (note: UCL / Building Services Contractor to advise extent of pipework strip out works to avoid deadlegs).
 - All supply and extract grilles and associated ductwork
 - Any internal and external mechanical plant

2.4 FLOORS

- Carefully remove existing carpet tiles and any associated skirtings, (as appropriate) throughout the Area of the Works.
- Carefully remove existing sheet vinyl flooring from kitchenette and toilet areas, inclusive of any plywood underlays and skirtings.

2.5 WALLS AND DOORS

- Make safe / disconnect and remove all MEP services that are wall-mounted / within partitions that are to be removed, e.g. dado trunking, electrical outlets, light switches, data outlets, ventilation controls, etc. in accordance with services contractor strip out proposals.
- Remove all wall-mounted notice boards, white boards, etc..
- Carefully remove blockwork partitions, as indicated, together with associated doorsets.
- Remove all other partition systems, wall linings and associated doorsets to offices, meeting rooms, stores, toilets, etc., as indicated on architects drawings.
- Remove doorsets in locations where infills are requested and/or doorsets are to be replaced to comply with Fire Strategy.
- Subject to approval and Main Contractor's programme (i.e. with regard to retaining fire separation and security) carefully remove existing double doors leafs into the Area of the Works to allow replacement with new.
- Carefully form new openings in concrete walls (subject to obtaining Listed / Planning Consents and validation by Structural Engineer) for new doorsets and as required for building services.

2.6 WINDOWS

- Carefully remove all existing window blinds.
- Carefully remove all secondary glazing.
- Make safe / disconnect and cap off existing radiators and remove, in accordance with services contractor strip out proposals, to facilitate removal of existing window cill boards and back-panels in order for Specialist Asbestos Contractor to remove and/or encapsulate, the AIB panels below the windows.

2.7 CEILINGS

- Make safe / disconnect and remove all M&E services that are ceiling-mounted / within suspended ceiling grid / plasterboard ceiling systems and margins that are to be removed, e.g. lights, PIR controls, fire / smoke detectors, speakers, etc. in accordance with services contractor strip out proposals.
- Take down the existing suspended ceiling systems in their entirety inclusive of any associated acoustic bags, grid, trim and hanger systems throughout the Area of the Works.
- Carefully remove the existing perimeter plasterboard margins and soffits, where appropriate, to ensure minimal remedial works to the structural soffit.

2.8 FIXTURES AND FITTINGS

- Carefully remove existing built-in kitchenettes (i.e. sink units, worktops, integral equipment, base units and wall units). Make safe / disconnect and cap off all MEP services that are within the units to be removed, e.g. sink, zip taps, fridges, etc. in accordance with services contractor strip out proposals.
- Carefully remove any shelves and spur shelving brackets throughout.
- Carefully remove existing sanitaryware, IPS panelling systems, tiling, etc. Make safe / disconnect, remove and/or cap off water and waste services that are to be removed and/or reused in accordance with services contractor strip out proposals.

2.9 STRIP-OUT ASSOCIATED WITH INSTALLATION OF NEW CORE C STAIR

- Allow for all strip-out works required to enable the installation of new stair and landing connecting Core C lobby R599 with Observation Room 589. This is to include but not be limited to:
 - Careful adjustment / removal of all existing building services, as appropriate, as per 2.3
 - BWIC in connection with new building services, as appropriate.
 - Careful removal of all floor finishes and skirting boards, as appropriate, as per 2.4
 - Careful removal of all walls, doors, wall linings, etc, as appropriate, as per 2.5
 - Careful removal of all ceiling systems and associated services, bulkheads, etc. as appropriate as per 2.7
 - Careful removal of all fixtures and fittings, as appropriate, as per 2.8.

3.0 SCOPE OF WORKS – WINDOWS

Secondary Glazing, Window Film and Window Blind Contractors to provide all appropriate RAMS for the required facades and window works. Facades and window works are to include the following:

3.1 WORKS BY, AND COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Facades / Window Contractors commencing on site. However the Facades / Window Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any additional strip out works associated with the perimeter glazing systems.
- Existing window blinds are to be removed by the Demolition Contractor.
- New internal window cills and associated panelling and new insulation below windows are to be provided by the Joinery Contractor.
- Any making good and decoration works internally are to be completed by the Decorations Contractor in advance of final fix items.

3.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes associated with the perimeter glazing / windows that are to remain live throughout the works, i.e. if servicing floors below and/or required for life safety systems.
- The Building Services Consultant should identify all new services and containment routes required by the perimeter glazing / windows, e.g. containment routes.

3.3 SECONDARY GLAZING

All as indicated on Window Treatment drawings. Secondary Glazing Subcontractor to:

- Survey, design, manufacture and install new vertical sliding sash secondary glazing modules, to match existing window module and colour / finish, of Phase 1 areas.
- Installation to be undertaken following completion of new perimeter low level boxings by Others.

3.4 INTERNAL WINDOW TREATMENTS

All as indicated on Window Treatment drawings, Subcontractors to:

- Clean, prepare and install opaque and/or obscure film where indicated.
- Design, manufacture and install manual roller blinds to all office and breakout areas.

4.0 SCOPE OF WORKS – PARTITIONS & CEILINGS

Partition and Ceiling Contractors to provide all appropriate RAMS for the required fit out works. Partition and ceiling works are to include the following:

4.1 WORKS BY, AND COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Partition and Ceiling Contractors commencing on site. However, the Partition and Ceiling Contractors should ensure that the required clean air testing and certification is in place prior to commencement of any works associated with the perimeter glazing systems.
- New internal window cills and associated panelling are to be provided by the Joinery Contractor. Allowance may however need to be included for new insulation below windows.

4.2 BUILDING SERVICES

- The Building Services Contractor should identify any services and services routes that are to remain live throughout the works, i.e. if servicing floors below and/or required for life safety systems.
- The Building Services Consultant should identify all new services and containment routes and confirm extent of BWIC mechanical and electrical services.
- Partition and Ceiling Contractors to allow for full coordination with Building Services Contractors for integration of power, data, ductwork, etc. e.g. fire-rated putty packs to any outlets in PR partitions.
- Partition and Ceiling Contractors to allow for full coordination with any AV / security equipment and services including for integration all power, data, containment, bracketry, etc. as appropriate.

4.3 SOLID PARTITIONS

- Construct new metal stud and plasterboard partitions, inclusive of plywood pattresses where required for fixings and insulation for acoustics, as shown on the Wall Types plans.
- Construct new shaft wall risers / wall infills/wall linings, inclusive of plywood pattresses where required for fixings and insulation for acoustics and thermal upgrades, as shown on the Wall Types.
- Allow for making good existing walls and partitions around existing elements / to infill following demolitions, as appropriate.
- Form new door openings where indicated and to coordinated structural opening sizes.
- Allow for all builders work in connection with services, such as first fix conduits / cut outs for back boxes / openings for ductwork. All to be coordinated with Building Services Contractor and made good to maintain fire and acoustic ratings.
- All new partitions to be taped, filled and skimmed in preparation for decorations as detailed.
- Supply and install new 100mm high timber skirtings. All fixings to be recessed and pelleted. Skirting be prepared for decorations.
- Supply and install new 100mm high oak skirtings. All fixings to be recessed and pelleted, as appropriate. Skirting be prepared for finishing.

4.4 GLAZED PARTITIONS

- Design, manufacture and install new glazed acoustic partition systems, inclusive of glazed doorsets, to new consulting and quiet rooms to match Phase 1 Level 5 and other Phase 2 works. Glazed partition doorsets to include hinges, latch lock and door closer, as well as drop down seals. Provide technical submission for approval.
- Allow for coordination with Window Film Installer for the installation of manifestations in accordance with Building Regulations Part M. Final design to be agreed with UCL.

4.5 DOORS

- Design, manufacture, supply and install new internal door sets as indicated on proposed plans, door details drawings. Particular care should be taken with installation of all doors where fire certification is required, and also acoustics – i.e. drop seals should fully engage with floor.
- Door finish laminate, together with lippings and frame, to match approval Phase 2 samples.
- Supply and install, in accordance with manufacturers recommendation and required fire certification works, all new door ironmongery.
- All ironmongery elements proposed to match approved Phase 2 sample board.
- Where indicated doorsets are to be undercut by 10mm for ventilation as part of manufactured leaf.
- Where indicated some doorsets will need to incorporate access control systems. Allow for cable ways in / behind framing to suit the magnet locking devices and coordinate works with security Contractor.
- Liaise with Principal Contractor to obtain UCL cylinders for all plant area doorsets prior to handover.

4.6 SOLID CEILINGS

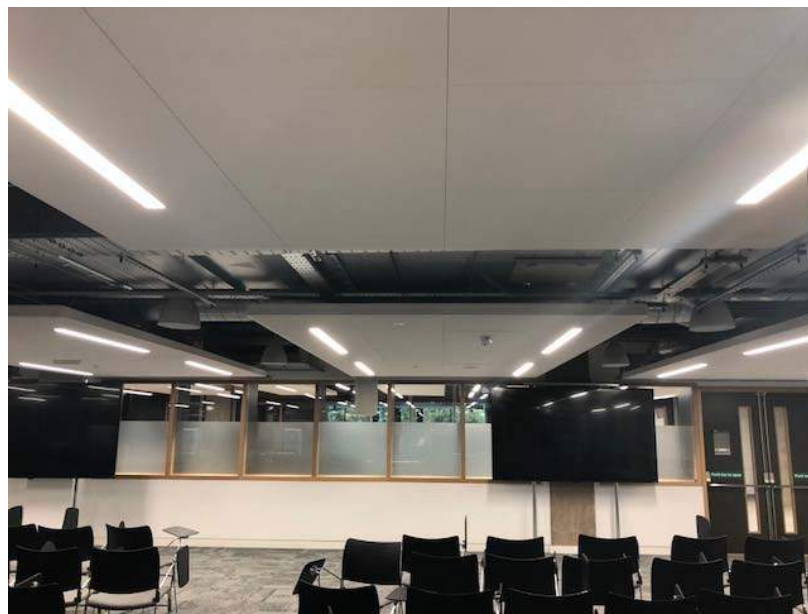
- Design, manufacture, supply and install new plasterboard/acoustic plasterboard. MF ceiling systems as indicated on the Proposed Reflected Ceiling Plans.
Tape, fill and skim and prepare ready for decorations.
Fully coordinate with lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P and Fire Consultant design proposals.
Fully coordinated ceiling plans to be prepared and agreed by all parties prior to installation.
- Design, manufacture, supply and install new plasterboard down-stand bulkheads and soffits, where required.
Tape, fill and skim and prepare ready for decorations.
Fully coordinate with recessed lighting and other services in accordance with L&P design proposals, i.e. include for installation of access panels where need for services above.

4.7 SUSPENDED ACOUSTIC CEILING SYSTEMS

- Design, manufacture, supply and install new acoustic integrated ceiling systems to Offices as indicated on the Proposed Reflected Ceiling Plans and to match similar system installed in Phase 1. Fully coordinate within acoustic tiles the strip lighting, smoke detection / sounders, emergency lighting and any other services in accordance with L&P and Fire Consultant design proposals.
Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.
- Design, manufacture, supply and install new suspended acoustic rafts to Informal Breakout Area as indicated on the Proposed Reflected Ceiling Plans and to match similar 40mm thick product installed in Phase 1.
Fully coordinated ceiling plans to be prepared and agreed by all parties prior to manufacture.

4.8 DECORATIONS

- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new plasterboard partitions and existing plastered walls, as appropriate. Complete full decoration works.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new and existing skirtings and/or other timber surfaces, as appropriate. Complete full decoration works.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to existing and new soffits and bulkhead, as appropriate. Complete full decoration works.
- Decorations Contractor to satisfy themselves on condition of substrate prior to decoration works and undertake all preparation works to new pipework and/or other metal surfaces, as appropriate. Complete full decoration works.



4.9 MESH SCREEN AND GATE

- Design, manufacture, supply and install new mesh screen and door as indicated on architect's drawings, within new Communications Room, in accordance with manufacturer's recommendations.
- Requirements for additional restraint to soffit / side walls to be confirmed to suit manufacturer recommendations.

5.0 SCOPE OF WORKS - TOILETS

Subcontractors are to provide all appropriate RAMS for the required toilet construction and fit out works. Works are to include the following:

5.1 WORKS BY OTHERS

- New partitions and wall lining system to window wall are to be undertaken by Partition Contractor.
- New plasterboard suspended ceiling system to be undertaken by Partition / Ceiling Contractor.
- New flooring to be installed by Flooring Contractor. Programming / coordination of IPS and flooring to be confirmed.
- All mechanical, electrical and public health plumbing works to be undertaken by Building Services Contractor.

5.2 SANITARYWARE / FIXTURES & FITTINGS

- Toilet Works Contractor is to supply and install all new accessible toilet components (including grab rails) to Part M requirements and to match phase 2 installations. Fully coordinate with the Building Services plumbing contractors for installation of sanitaryware associated services.
- Toilet Works Contractor is to supply and install new unisex WC components to match Phase 2 installations. Fully coordinate with the Building Services plumbing contractors for installation of sanitaryware associated services
- Toilet Works Contractor is to install new IPS systems as detailed on architect's drawings.
- Toilet Works Contractor is to install new hand drier. Fully coordinate with the Building Services electrical contractors for installation of associated services.
- Toilet Works Contractor is to install new towel dispensers, soap dispensers and toilet roll holders. Items to be provided 'free issue' by UCL.
- Toilet Works Contractor is to install new wall mounted mirrors. To fully coordinate with all wall mounted item, building services, IPS and hygienic wall cladding.

6.0 SCOPE OF WORKS - FLOORING

Flooring Contractors to provide all appropriate RAMS for the required flooring works. Flooring works are to include the following:

6.1 WORKS BY OTHERS

- Existing flooring materials (carpet and vinyl) and underlays are to be removed by the Demolition Contractor.
- Asbestos removal will have been completed by Specialist Contractor prior to Flooring Contractor commencing on site. However the Flooring Contractor should ensure that the required clean air testing and certification is in place prior to commencement of any additional strip out works associated with raised floors.

6.2 FLOOR FINISHES

- New floor finishes are to be supplied and installed to match phase 2 installations.
Provide technical submission with samples of all finishes.
- Allow for plywood substrate below areas of new vinyl, if required, or latex to ensure smooth and level finish.
- Allow for stainless steel trims between different floor finishes as indicated / as appropriate.
- Allow for stainless steel nosings with contrast colour inserts to new stair and landing, to suit floor finishes as appropriate.
- Allow for decoupling membrane below new floor tiling, as appropriate.
- Allow for new acoustic matting below vinyl areas, as appropriate in accordance with Buro Happold report.

7.0 SCOPE OF WORKS – FIXTURES & FITTINGS

Subcontractors are to provide all appropriate RAMS for the required fit out / finishing works. Works are to include the following:

7.1 WORKS BY, AND COORDINATION WITH, OTHERS

- Asbestos removal will have been completed by Specialist Contractor prior to Joinery Contractor commencing on site. However the Joinery Contractor should ensure that the required clean air testing and certification is in place prior to commencement of any works associated with the low level casings to the perimeter.
- New secondary glazing to be provided by the Window Contractor. Allowance for coordination.
- New radiators to be provided by Building Services Contractor. Allowance for coordination.

7.2 BUILDING SERVICES

- The Building Services Consultant should identify all new services and containment routes and confirm extent of BWIC mechanical and electrical services, as appropriate.
- Joinery Contractor to allow for full coordination with Building Services Contractors for integration of power, data, water services, waste connections, radiators, etc..

7.3 WINDOW CASINGS

- Design, manufacture, supply and install support framework and finished window cill and laminated low level casings to all windows as indicated on architect's drawings.
Include within package for enhanced thermal insulation to existing facade / low level plinths
Include within package for any required fire stopping between floor levels
Include within package for all necessary additional acoustic insulation and packs to prevent transfer of sound between floor levels and, where applicable, between rooms.
- Coordinate installation of casings with other contractors who may need access behind to install services.
- Programme installation with Main Contractor to suit installation of new secondary glazing systems.
Coordinate with secondary glazing manufacturer to ensure appropriate fixings can be achieved at cill level and the support framework is appropriate for both casing and glazing.
- Coordinate with mechanical engineer with regards to apertures and fixings for new radiators.
Ensure support framework is suitably located to take radiator brackets and structurally suitable for supporting radiators.

7.4 KITCHENETTE

- Design, manufacture, supply and install new kitchenettes as indicated on the design intent drawings.
Kitchenette to comprise tall units for appliances and base unit supporting new 600mm deep and 32mm thick Corian worktop.
Wall units to be provided over.
Space to be left below sink to comply with EA (DDA) access requirements.
Worktop to also include sink and tap, together with a zip tap unit.
Kitchen area design to be coordinated with associated electrical services for zip tap, microwave, fridge and dishwasher.
Kitchen area design to be coordinated with associated water and waste services for dishwasher and sink.
- Coordinate installation of kitchenette with Partition Contractor who may be providing new wall lining system adjacent to box in services.
- Coordinate installation of kitchenette with Ceiling Contractor who may be providing new plasterboard bulkhead over.
- Coordinate installation of kitchenette with Mechanical Contractor who may be providing new extract ductwork in bulkhead over.
- Coordinate installation of kitchenette with Electrical Contractor who may be providing new recessed lighting in bulkhead over, pelmet lighting to wall.
- Coordinate installation of kitchen with PHE Contractor / Plumber who will be providing water / waste pipework connections to taps, sink, dishwashers, etc..

7.5 STAIR AND LANDING

- Design, manufacture, supply and install new stair and landing as indicated on architect's drawing / in accordance with all relevant Approved Documents.
Stair construction type / framework to be determined by Joinery Contractor to suit extent required and interface / fixing into existing construction.
- Design, manufacture, supply and install new edge protection, (handrail and balustrade), to new stair and landing as appropriate / in accordance with all relevant Approved Documents.
Edge protection design to match phase 1 installations and those being installed as part of Phase 2 main works.
Construction to be determined by Joinery Contractor to suit extent required and interface / fixing into existing construction.
- Coordinate with Flooring Contractor to ensure / enable laying of all finishes and installation of new nosings and trims.
- Allow for coordinating installation with new platform lift, (inclusion to be confirmed), as appropriate.

7.6 **SHELVING AND PANELLING**

- Design, manufacture, supply and install new bespoke shelving as indicated on architect's drawings. Construction type / framework to be determined by Joinery Contractor to suit extent required and interface / fixing into new and existing construction.
Design to include coloured laminate panelling to rear of shelving – allow for 4no. additional colours
Design to include fin detailing to match adjacent areas, incorporated into return at the open edge of the side of the new shelf.
Coordinate design with new oak skirting
Coordinate design with Partitions Contractor to enable fixing into new partition walls and solid ceilings, as appropriate.
- Design, manufacture, supply and install new perforated oak acoustic panelling to be face fixed to walls as indicated on architect's drawings.