

NMA - PL3

Flitcroft House

16 August 2024

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01 Introduction

The background of the slide features a minimalist design with several overlapping, rounded rectangular shapes in a light purple color against a white background. These shapes are positioned in the top left, bottom left, and bottom right corners, creating a modern and clean aesthetic.

Introduction

1.1 Introduction to Revisions

Further to the consented scheme 2022/3335/P, consent received 11.10.2023 DMBA in conjunction with E&A Property Investment Company Ltd. are seeking to secure a series of minor alterations to the approved development.

These amendments have arisen during the detailed design work being undertaken prior to commencing the construction phase of the scheme and relate to enhancements to the arrangement of the ground floor layout and entrance, as well as reducing the mechanical plant area at roof level.

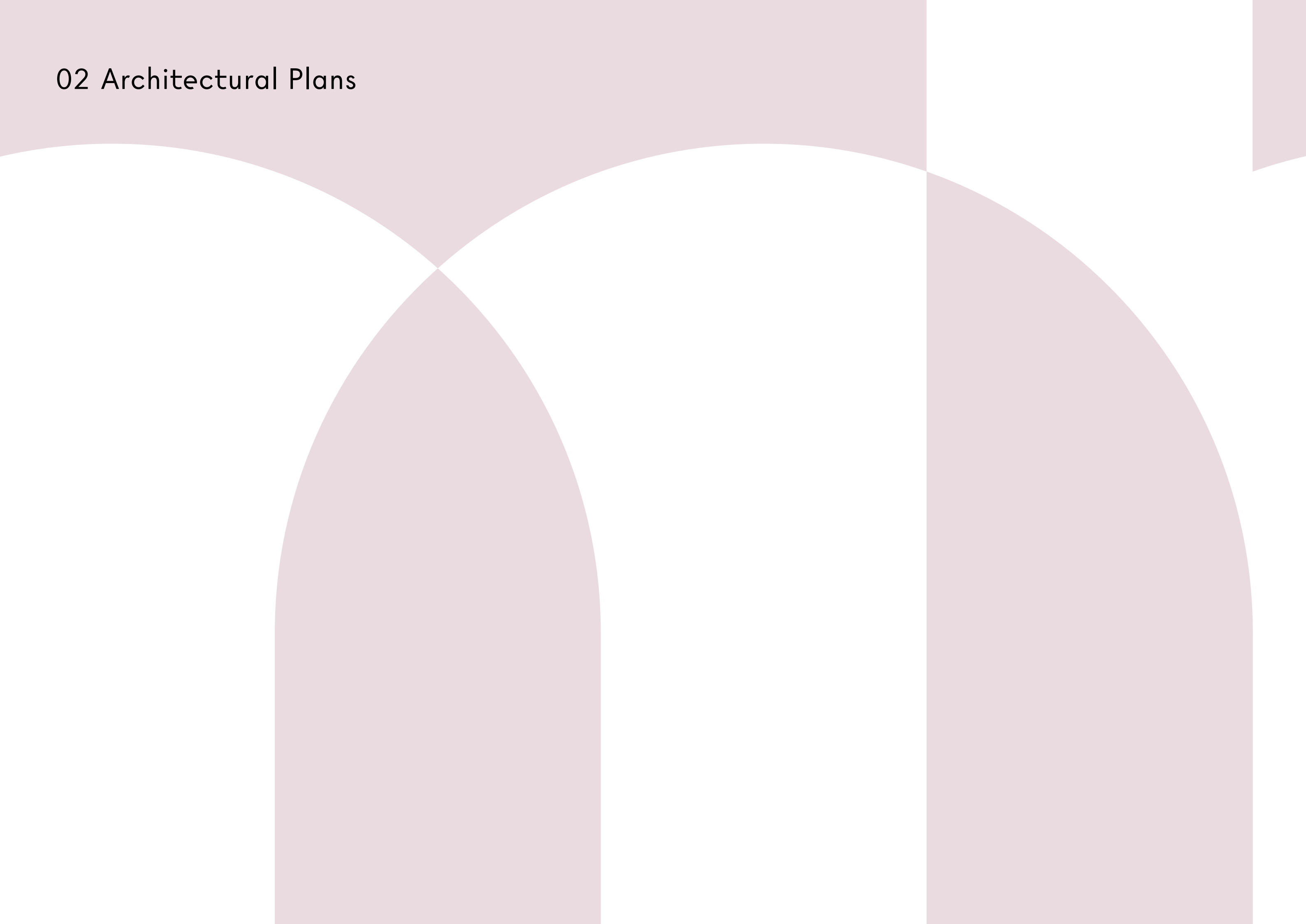
The introduction of an enhanced reception area with primary access now directly from Charing Cross Road creates a more celebratory entrance, engaging directly with the active streetscape and offering enhanced visual amenity and activity to Charing Cross Road.

The existing 'hollowed out' corner arrangement to the building is proposed to be repaired, reinstating the original historic design intent, with the building being 'complete' in its form as the corner meets the ground floor. This removes the potential for antisocial behaviour in this space, whilst completing the streetscape and creating a focal point at the corner of the building from base to crown.

The integrity of the period ground floor façade has been maintained and enhanced by the changes, cementing the building's position as a positive contributor to its surroundings.

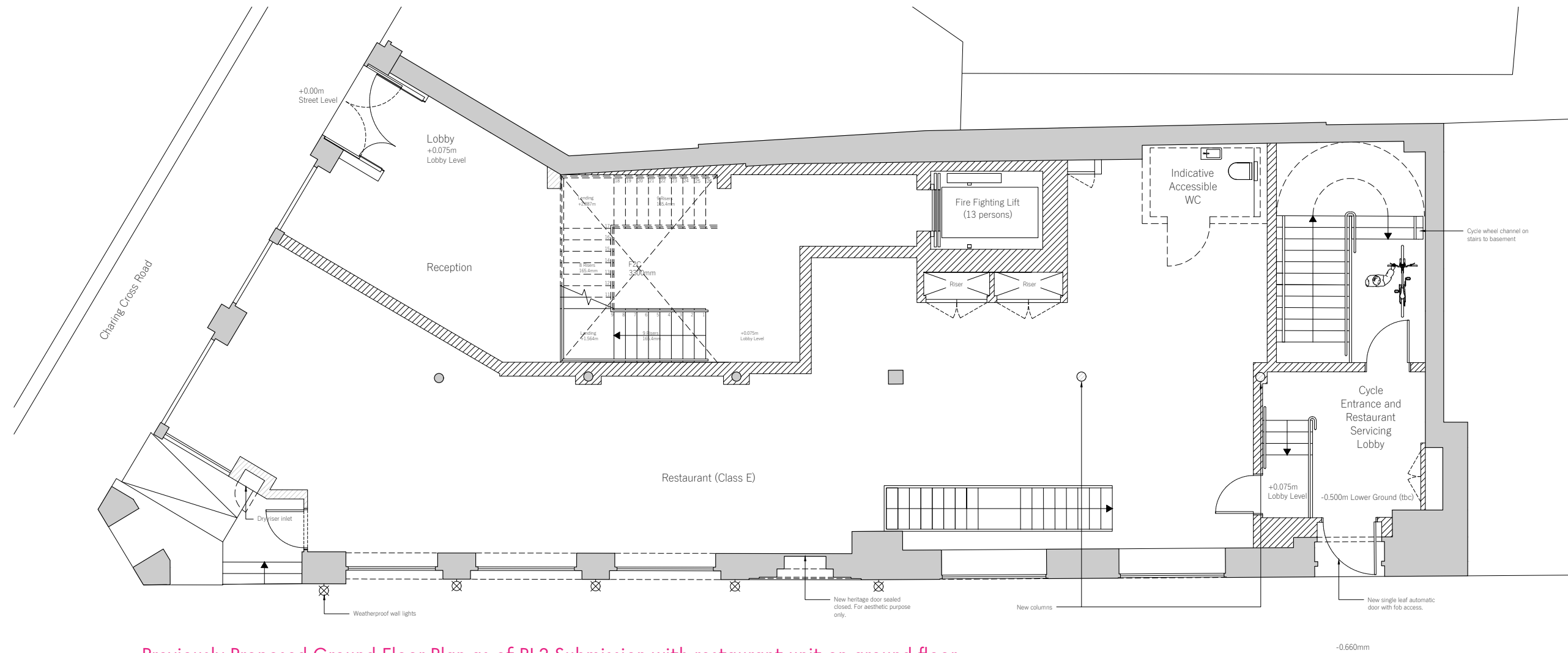
At roof level, the currently approved mechanical plant area is proposed to be rationalised and reduced in size, allowing for an increased quantum of landscaped roof terrace, and additional planting and vegetation.

02 Architectural Plans



Architectural Plans

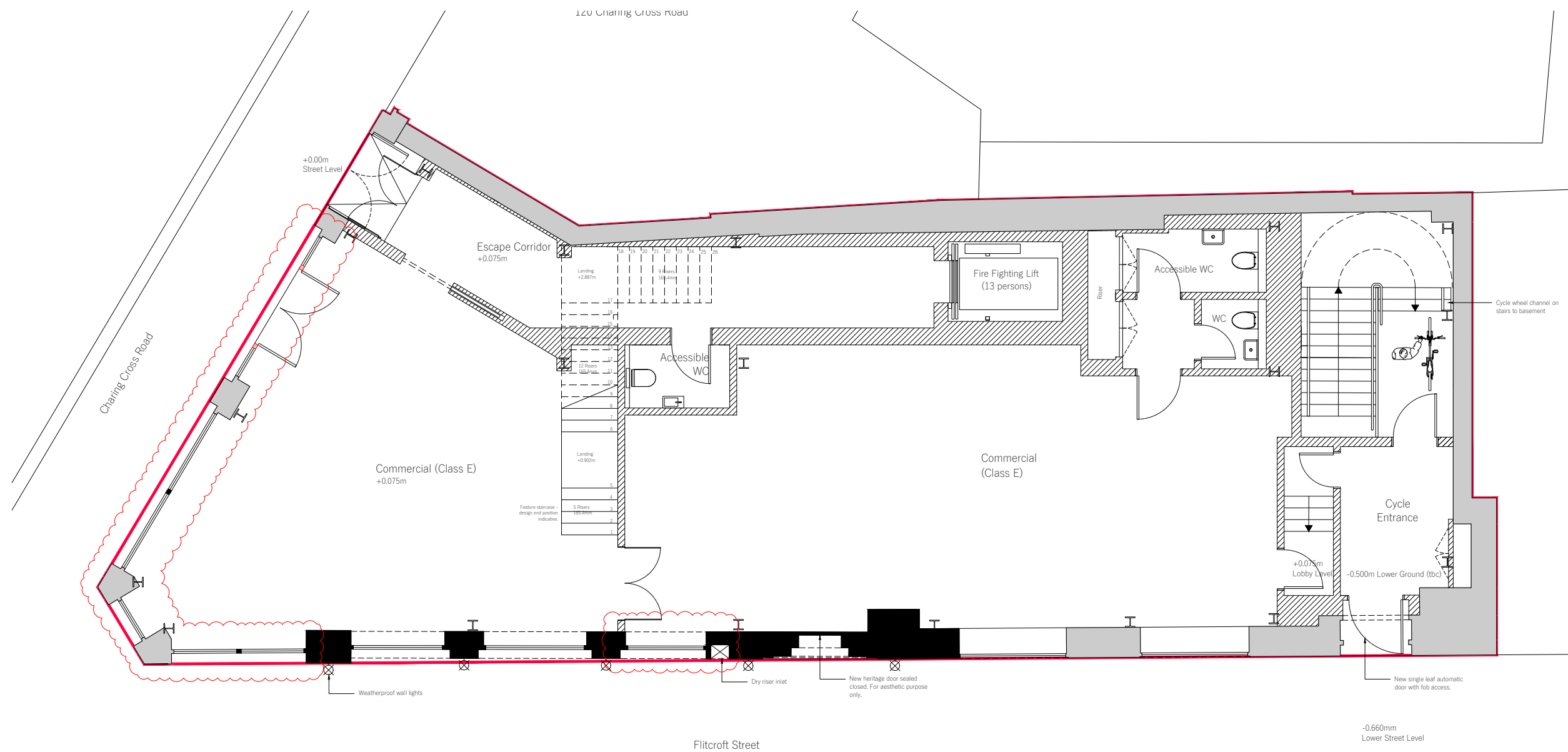
2.1 Approved Ground Floor Plan



Previously Proposed Ground Floor Plan as of PL2 Submission with restaurant unit on ground floor.

Architectural Plans

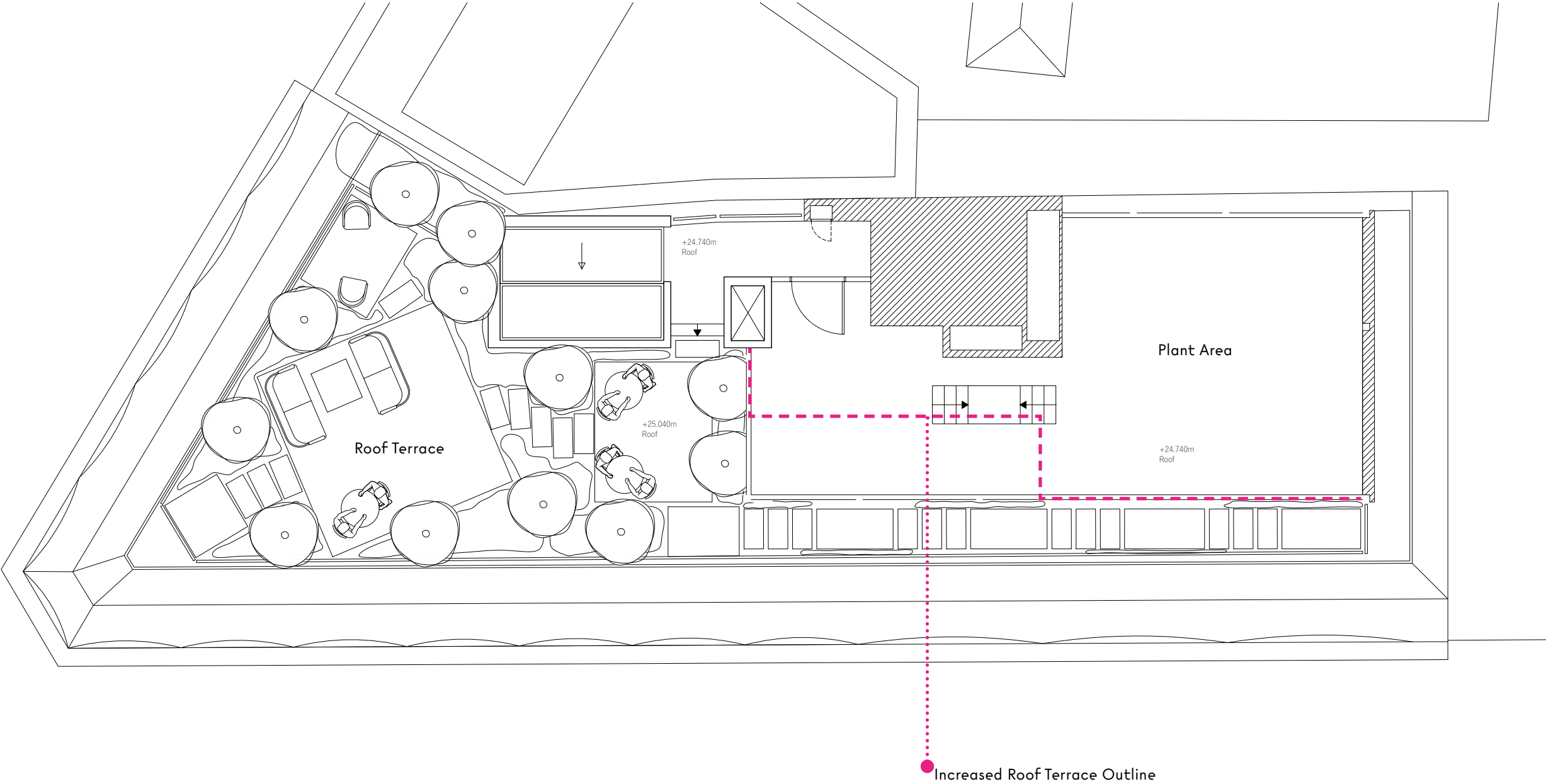
2.2 Revised Ground Floor Plan



Note: Column positions are indicative and subject to further structural survey and design development.

Architectural Plans

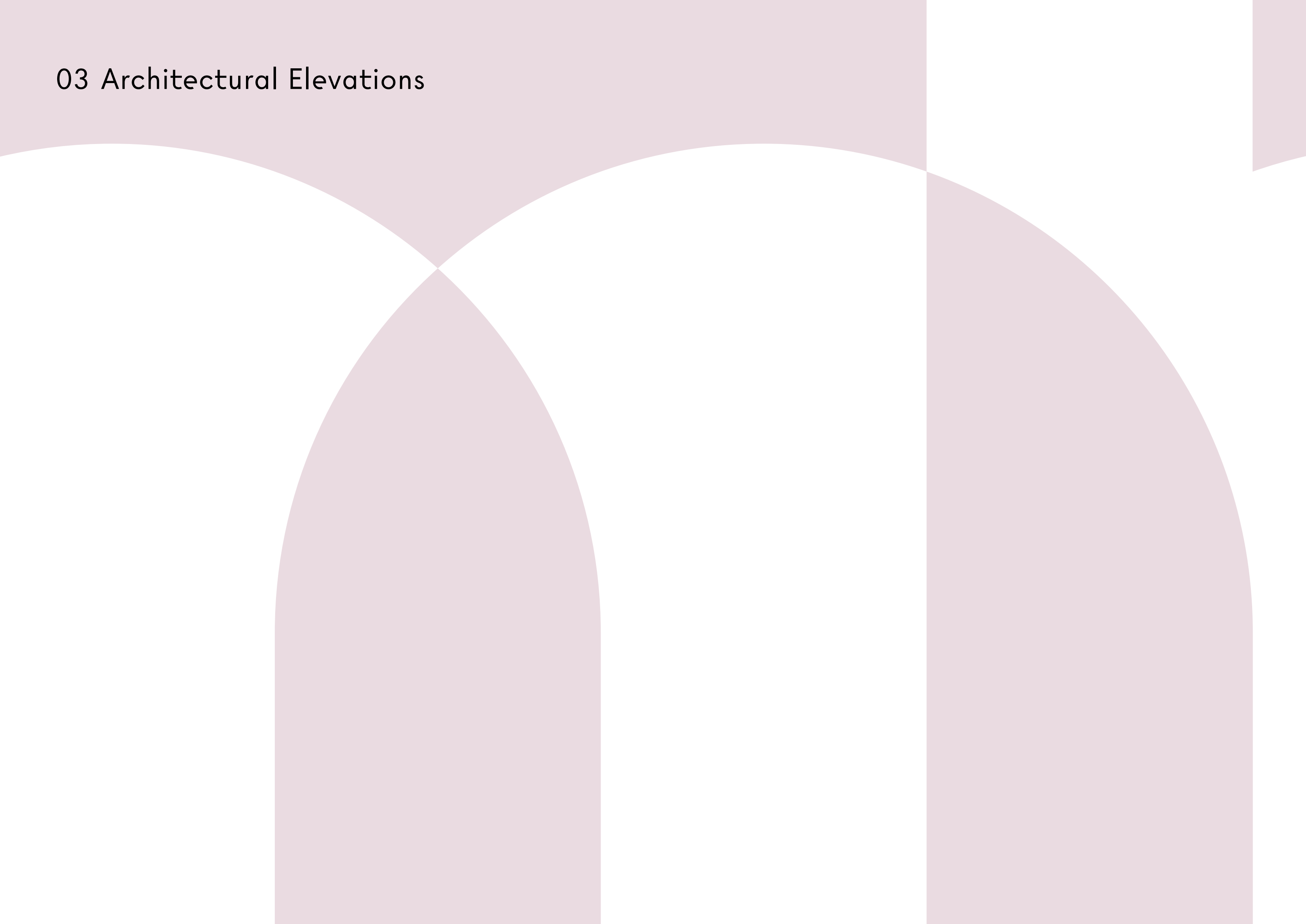
2.3 Approved Roof Plan



2.4 Revised Roof Plan



03 Architectural Elevations



Architectural Elevations

3.1 Approved Elevation A



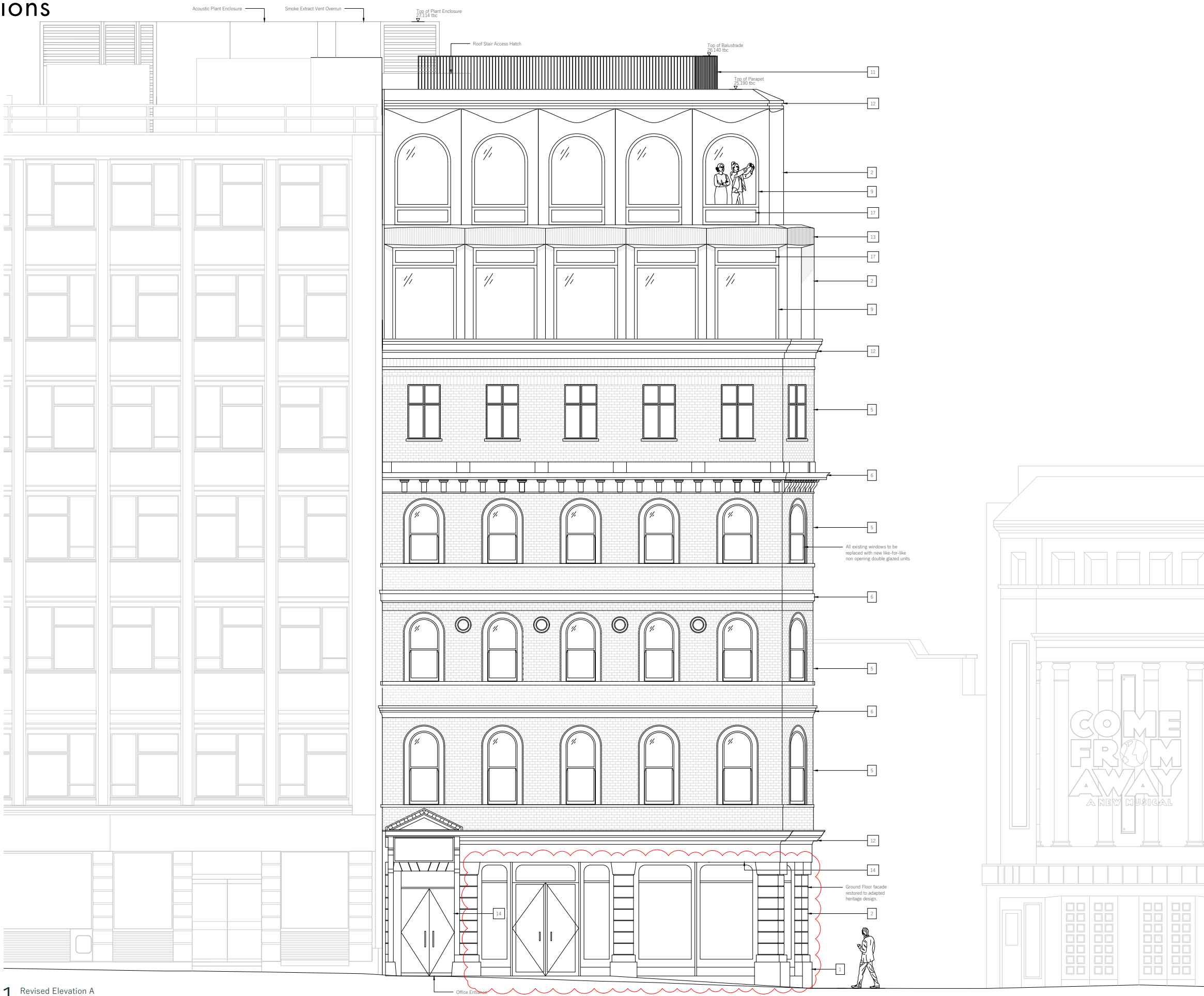
Notes:

- 1) Red honed finish granite
- 2) Pale red sandstone
- 3) Champagne gold sandblasted metal finish
- 4) Glazed door with medium taupe metal frame
- 5) Original brick, repointed
- 6) Original stone
- 7) Double glazed heritage style windows
- 8) Original soldier course brick, repointed
- 9) Medium taupe metal framed glazing
- 10) Medium taupe timber windows
- 11) Medium taupe metal balustrade
- 12) New precast cornice
- 13) Pale red fluted sandstone
- 14) Champagne gold sandblasted metal finish to reveal/soffit
- 15) Brick cladding
- 16) Brick soldier course
- 17) Medium taupe metal panel



Architectural Elevations

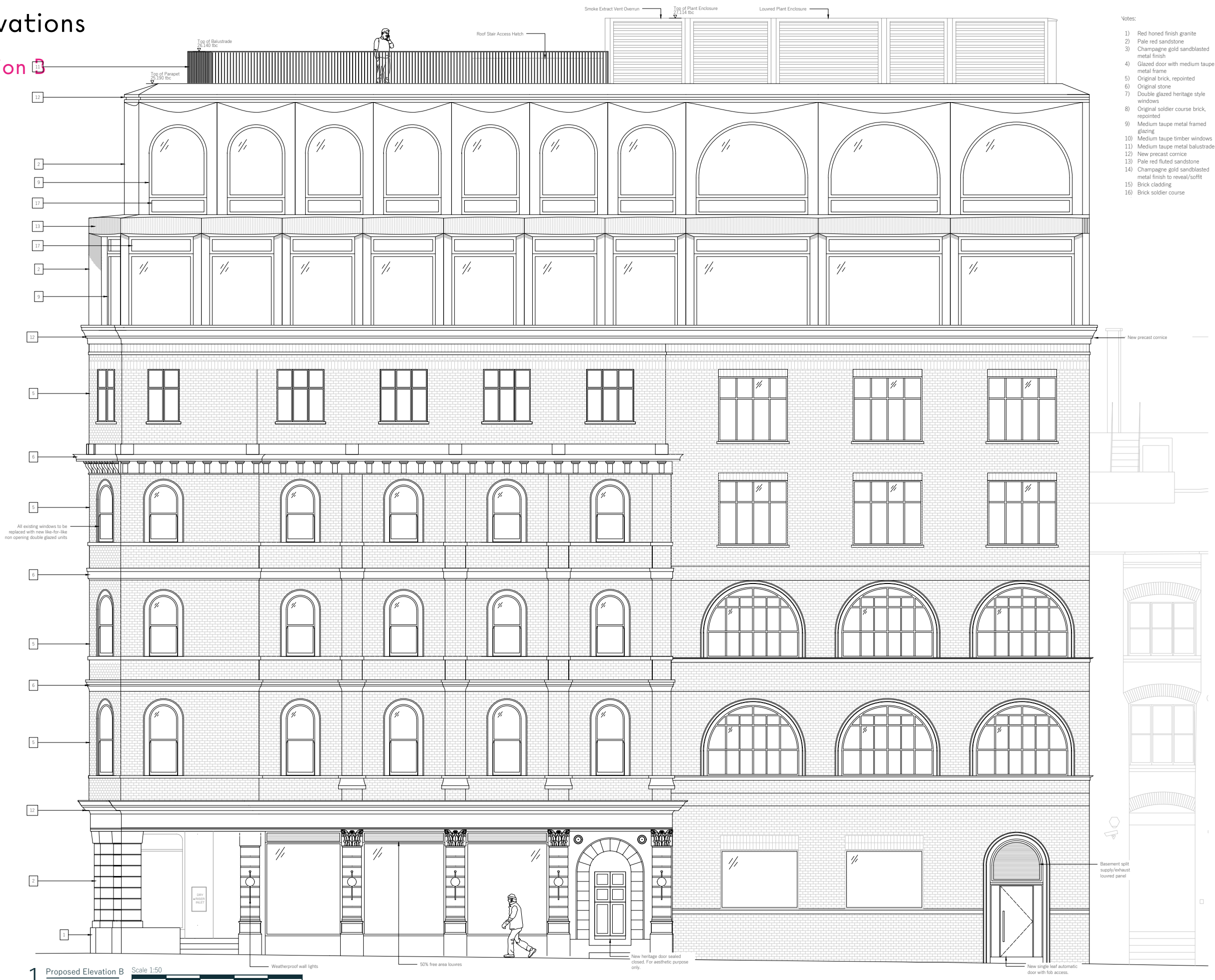
3.2 Revised Elevation A



1 Revised Elevation A

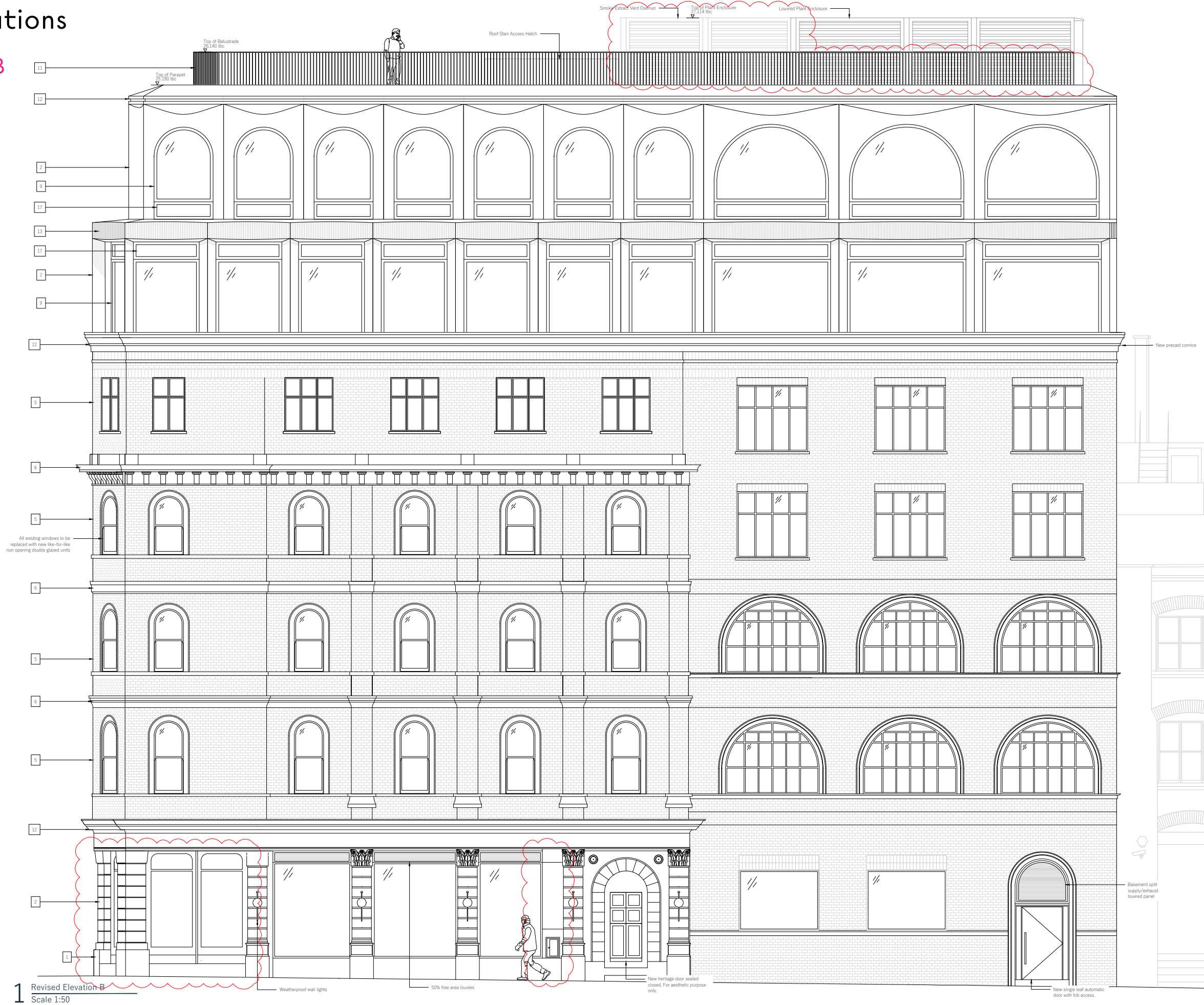
Architectural Elevations

3.3 Approved Elevation B



Architectural Elevations

3.4 Revised Elevation B



04 Ground Floor Visualisations









Approved Proposal





Approved Proposal




05 Roof Landscape Render



Roof Landscape Render

5.1 Revised Roof Plan





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