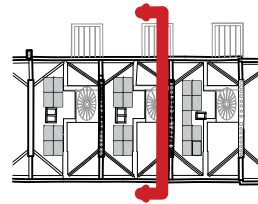


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 Only the original drawing should be used for construction. Contractors, subcontractors and suppliers must verify all dimensions and details on site before commencing any work or making any other drawings.
 All design drawings to be submitted to the architect/interior designer for comment prior to fabrication.
 This drawing to be made conformable with the architect's/interior designer's specifications.
 All quantities, schedules, structural, mechanical & electrical drawings and all dimensions are to be measured to the architect's/interior designer's drawings.
 Do not scale from this drawing. Dimensions are to be taken unless otherwise stated.
 All material elements and finishes as set out in the Design and Strategy Report. The only alternative components made to the standard of the best quality to be produced to the highest quality. Contact for order and approval of materials and finishes.
 Mark names on all drawings. All drawings must be submitted to the architect/interior designer for comment prior to fabrication. All drawings may be shown on drawings for design for coordination purposes. Review the drawings for any errors and omissions.

NOTES



Material key:

1. Existing Masonry / Render / Metalwork / Timber / Doors / Windows / Roof tiles to be cleaned, repaired, conserved, restored, painted as required.
2. Proposed new Brickwork to match existing London Stock (in a non-weathered state).
3. Proposed new painted Stucco / Render.
4. Proposed new painted timber Sash Windows / Doors.
5. Proposed new brickwork arches above openings.
6. Proposed new painted metal Balustrade / Railings.
7. Proposed new garden Staircase with painted metal Handrails / Balustrades.
8. Proposed new garden Staircase with painted metal Handrails / Balustrades.
9. Existing Sash windows, (refurbished if reconditioned if required) and fitted with rear fixed mirrored spandrels to ameliorate structure behind.
10. Access Ladders and Gentries for the purpose of roof access / maintenance / health & safety.
11. Lanterns reconditioned as required and to include translucent glazing.
12. New authentic, consistent chimney pots replacements as required.
13. Proposed Lead flat roof / similar.
14. Decking / Planting to flat roof areas.
15. Proposed PV Panels.
16. Blocked existing openings.
17. MVHR unit resting on supports.

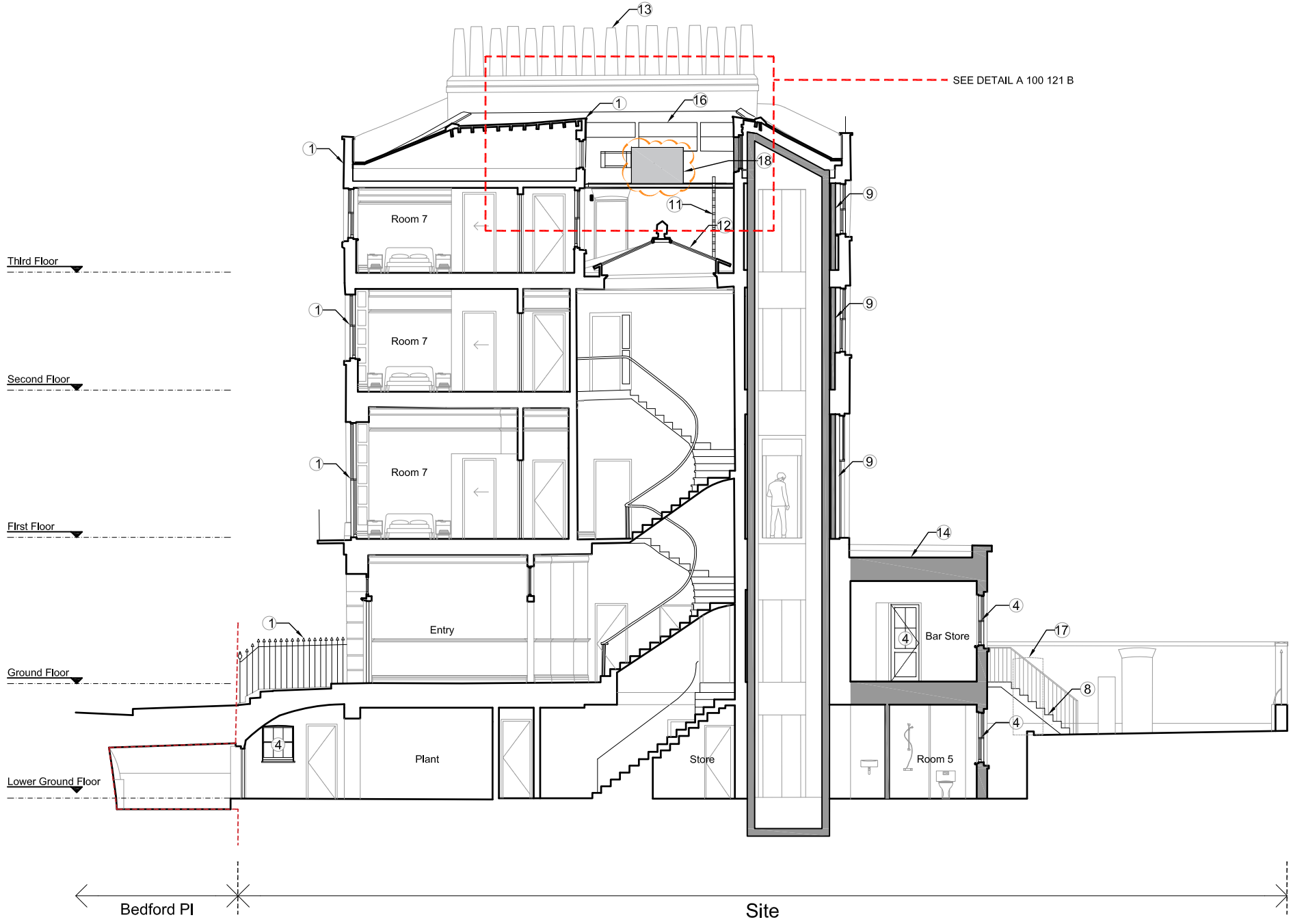
P3 - REVISIONS	04/03/24	AF
P2 - REVISIONS	23/01/24	AF
P1 - REVISIONS	15/01/23	DT
P0 - REVISIONS	15/01/23	DT
rev amendments	date	by

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 Proposed Section B-B
 drawing status

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scale	date	drawn by
1:50 @ A1	10.03.23	DT
1:100 @ A3		
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1890	A-100-121	P3



SEE DETAIL A 100 121 B

Thrd Floor

Second Floor

First Floor

Ground Floor

Lower Ground Floor

Bedford PI

Site

