

KEY

Ownership Boundary Line (all other land shown south of blue line on plan is within applicants control).

Application boundary.

DEMOLITION KEY:

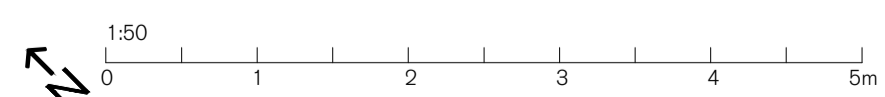
Walls / elements to be carefully demolished and adjoining elements to be made good where necessary.

Existing door proposed to be removed. Refer to door schedule for additional details. Frame replacement to be based on building control requirements - to be resolved under condition.

Existing ceilings carefully removed.

With exception of works to parapet gulleys, tile replacement, and cast iron air bricks, all external works have already secured Full Planning & Listed Building Consent under application refs. 2022/2858/P and 2022/3388/L. They have been detailed on the plans for completeness.

All external fabric repairs have already secured Listed Building Consent 2022/1811/L.



SPRATLEY & PARTNERS
 7 CENTENARY BUSINESS PARK, STATION ROAD, HENLEY-ON-THAMES, OXFORDSHIRE RG9 1DS. 01491 411277
 ISSUED ONLY FOR THE PURPOSE INDICATED. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. ALL DIMENSIONS TO BE CHECKED ON SITE. THIS DRAWING IS COPYRIGHT.

REV.	ISSUED	DESCRIPTION	DRAWN	CHECKED
L2	26.07.24	General note updated.		
-	-	-	-	-
-	-	-	-	-

PROJECT	DESCRIPTION	DATE	SCALE AT A1	JOB NO
HOLBORN LINKS PROJECT 5 20-22 SP & 46-47 BS	22 SP DEMOLITION LOWER GROUND FLOOR RCP	JUNE '21	1:50	21.865
CLIENT	EDR	DRAWN	CHECKED	REV
		CW	CK	L2

STATUS	DRAWING NO
PLANNING	PL.11360

S
& P