

**Landscaping Plan Pursuant to Condition No. 9 of
Consent for Planning Application No. 2022/0706/P
5 7 Adamson Road London NW3 3HX dated 27 July 2023**

1 Condition 9

- 9 No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, A5, D1 and D2 of the London Borough of Camden Local Plan 2017.

2 Source information

- 2.1 Factual Site Investigation by The CDS Group FSI

Address: 5-7 Adamson Rd, Belsize Park, London NW3 3HX.

Date: 6th June 2023.

Reference: ES0060.

The CDS Group, Building 51, Wrest Park, Silsoe, Bedfordshire, MK45 4HS

W: www.thecdsgroup.co.uk

- 2.2 Basement Impact Assessment BIA

LBHGEO Consulting Engineers

Date: July 2023.

Reference LBH4690bia v1.1

- 2.3 Both documents were submitted to support the planning application.

3 Results from the FSI and BIA

3.1 The soils.

Depth (m bgl)	Soil Type	Description
GL to 0.30m	TOPSOIL	Black gravelly clayey TOPSOIL with brick and glass fragments
- 0.80m/1.00m	MADE GROUND	Dirty brown gravelly silty CLAY with brick fragments Over Reworked dirty orange-brown / grey mottled slightly gravelly silty CLAY. Gravels consist of fine to coarse sub-rounded flints. Rare brick fragments.
-2.00m+	Silty CLAY	Firm to stiff orange brown mottled grey slightly gravelly silty CLAY.

3.2 Groundwater – none.

3.3 Foundations

The proposed, relatively shallow excavations will not extend into the London Clay Formation proper.

The structural calculations specify a foundation depth of 0.45m.

4 Earthworks

4.1 The rear gardens slope up to the rear garden wall as shown on drawing 52. The gardens are surrounded by brick garden walls 0.3m thick; the rear wall is 1.5 m above ground level, the side walls are 1.5m at the rear and 1.85m at the front of the garden above ground level.

4.2 Soil removal

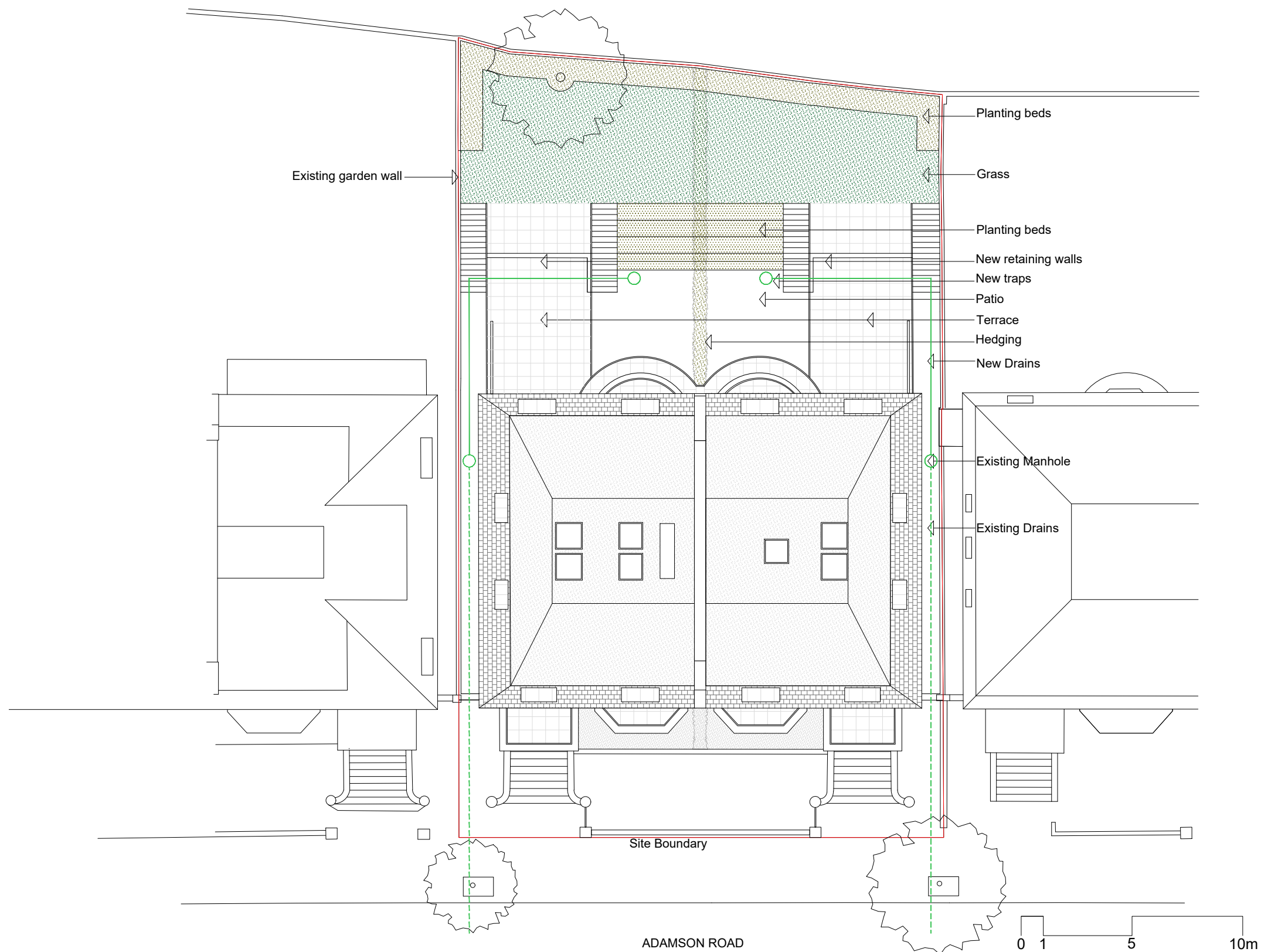
The topsoil will be removed and stored adjacent to the rear wall after removing large fragments of brick and glass etc. The made ground soil will be removed and stored separate from the topsoil adjacent to the rear wall after removing large fragments of brick and glass etc.

During excavations for the rear extension, sufficient made ground soil will be retained for the infill while the rest of the soil will be disposed off-site. The retaining walls for the extension, the steps and the planting beds will be constructed.

Drainage of water from the terraces and from the hydrostatic pressure waterproofing of the extensions will be via the existing drains as shown on drawing 91.

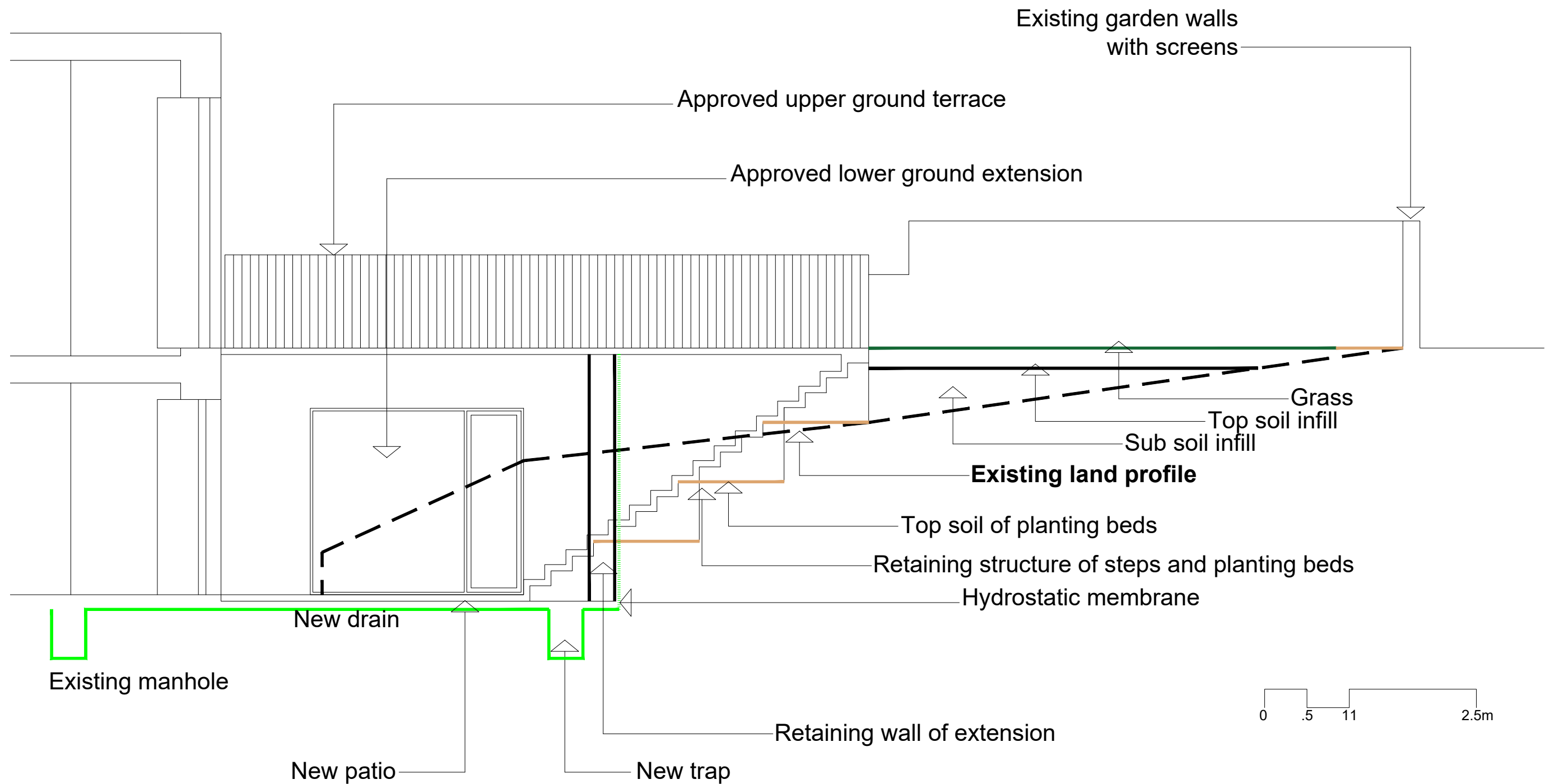
The made ground soil will be back filled and the topsoil levelled on top and in the planting beds. Paving slabs will be laid on the patio areas and terraces as shown on drawing 92.

4.4 Front gardens and side passages – no landscaping will take place.



5-7 ADAMSON ROAD, NW3 3HX
PLANNING APPROVAL No.
2022/0706/P
LANDSCAPING & DRAINAGE

91



5-7 ADAMSON ROAD, NW3 3HX
 PLANNING APPROVAL No.
 2022/0706/P
 GARDEN CROSS SECTION

92

SCALE: 1/200 ON A3
 DATE: 25-09-2023