



NOTES:

© COPYRIGHT - Studio Architecture Ltd
 This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION
 It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
 Any discrepancies should be relayed in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
 All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
 This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercede guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
 Client and Contractor to be aware of Construction & Design Management (CDM) duties.
 Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.



REVISIONS			
REV	DATE	DESCRIPTION	INIT



**LOCATION PLAN
 1:1250 @ A3**

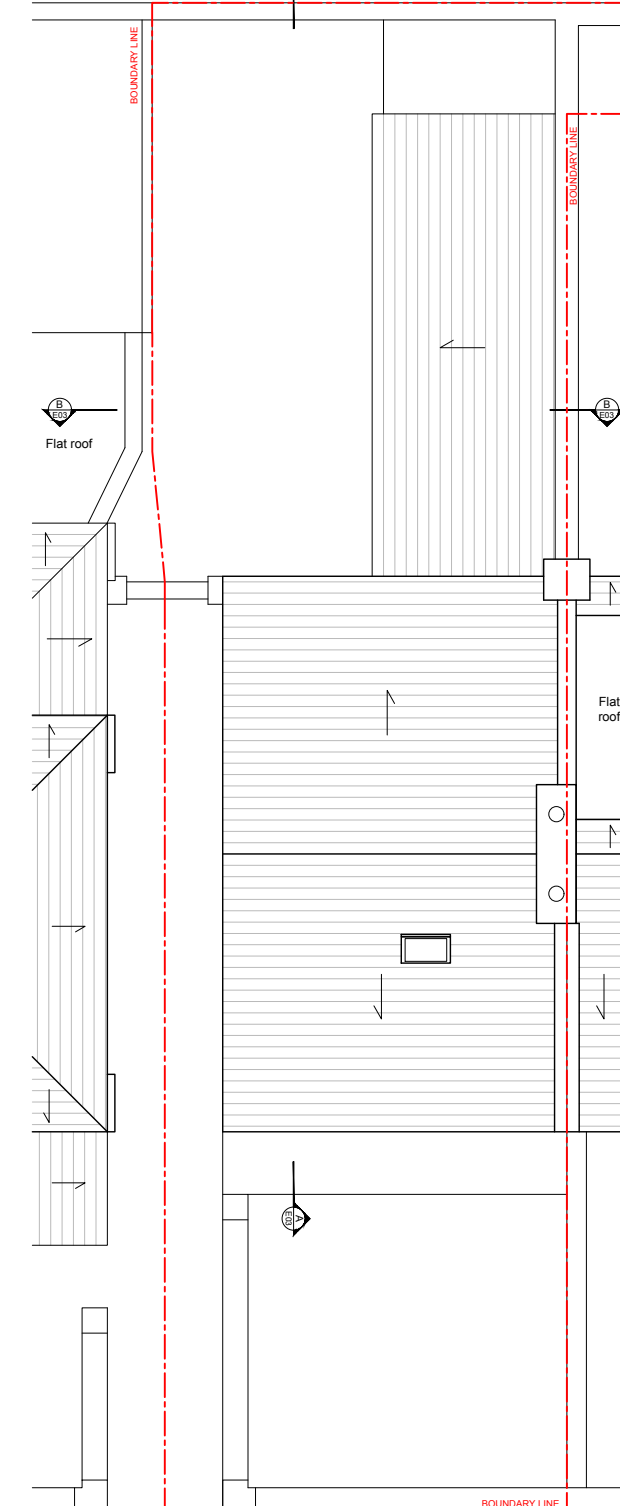
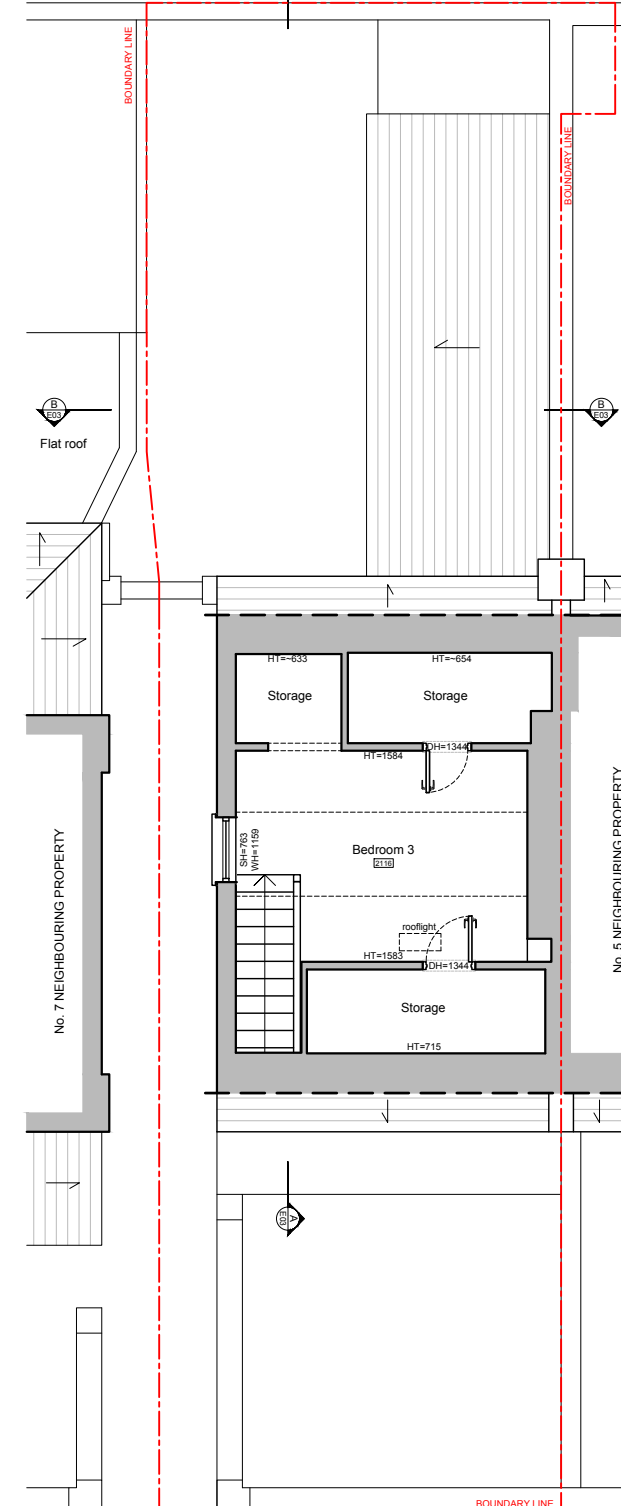
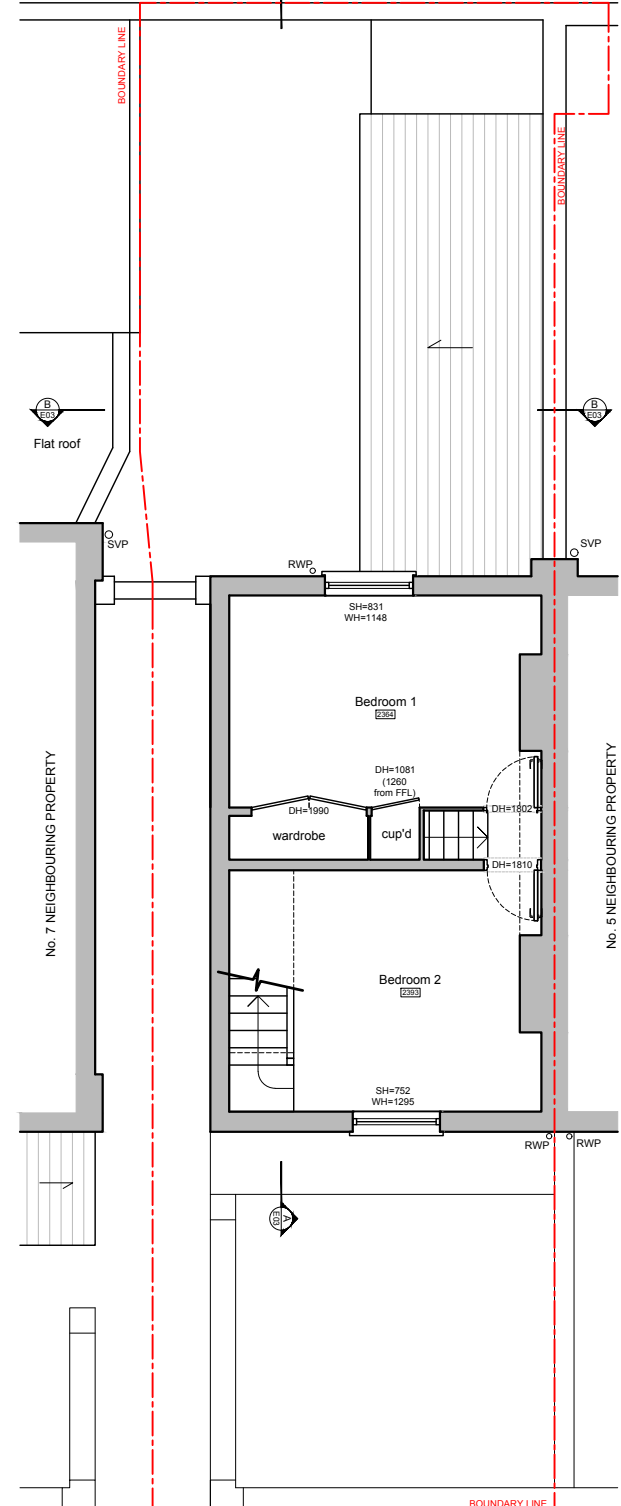
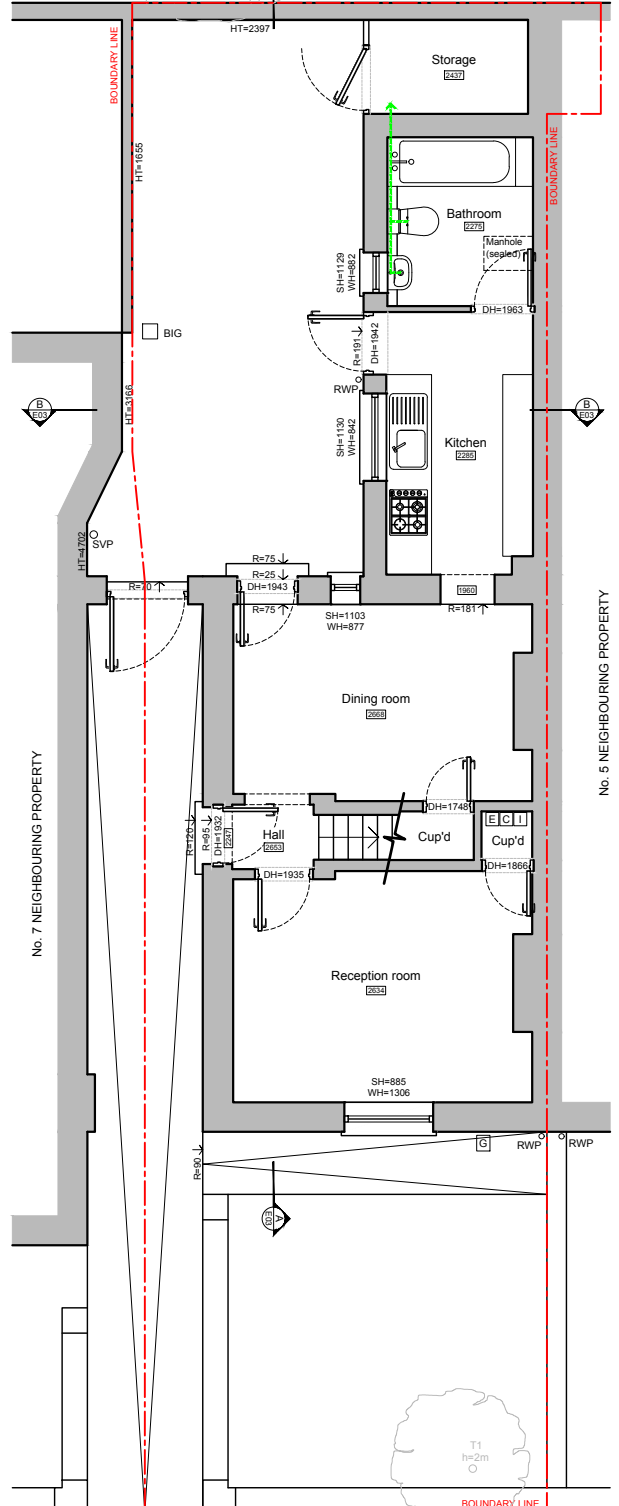
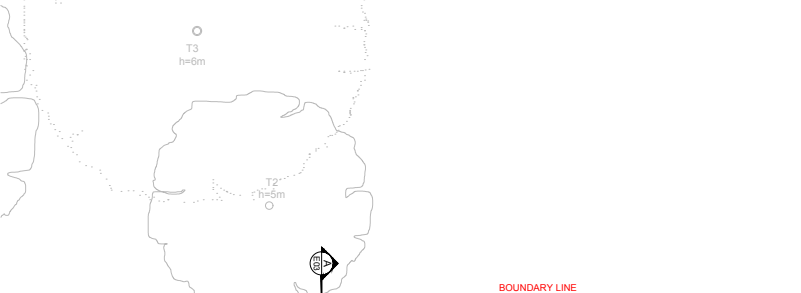
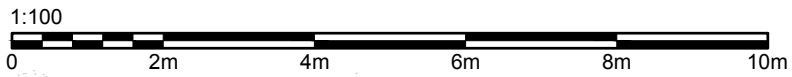


Produced on 18 April 2024 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.
 This map shows the area bounded by 525262 185070.525404 185070.525404 185212.525262 185212.525262 185070
 Crown copyright and database rights 2024 OS 100054135. Supplied by npsa ltd trading as UNPanningMaps.com a licensed Ordnance Survey partner (OS 100054135).
 Data licence expires 18 April 2025. Unique plan reference: v2a/1088468/1452362

**1 EMPIRE MEWS, LONDON SW16 2BF
 T: 020 8144 9935
 E: hello@studioarchitecture.co.uk
 www.studioarchitecture.co.uk**

PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	LOCATION PLAN

SCALE @ A3: 1:1250 DRAWN BY: PNN
 Date: April 2024 CHECKED BY: -
 DRAWING NO. 186- PLP REVISION: -



EXISTING GROUND FLOOR PLAN

EXISTING FIRST FLOOR PLAN

EXISTING SECOND FLOOR PLAN

EXISTING ROOF PLAN

NOTES:
 © COPYRIGHT - Studio Architecture Ltd
 This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION
 It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
 Any discrepancies should be relayed in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
 All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
 This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercede guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
 Client and Contractor to be aware of Construction & Design Management (CDM) duties.
 Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.

REVISIONS			
REV	DATE	DESCRIPTION	INIT.

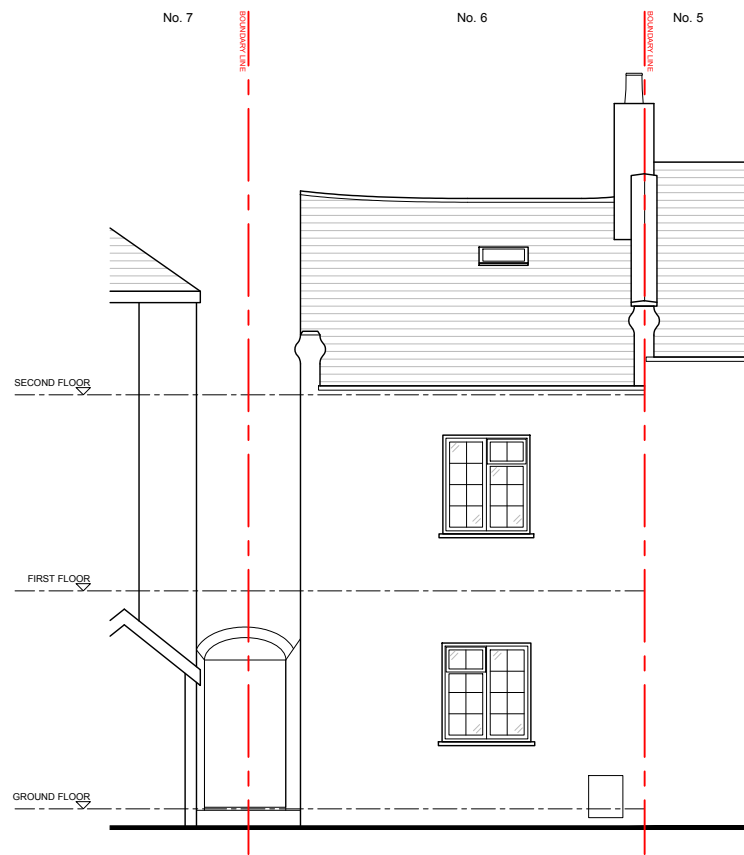


1 EMPIRE MEWS, LONDON SW16 2BF
 T: 020 8144 9935
 E: hello@studioarchitecture.co.uk
 www.studioarchitecture.co.uk

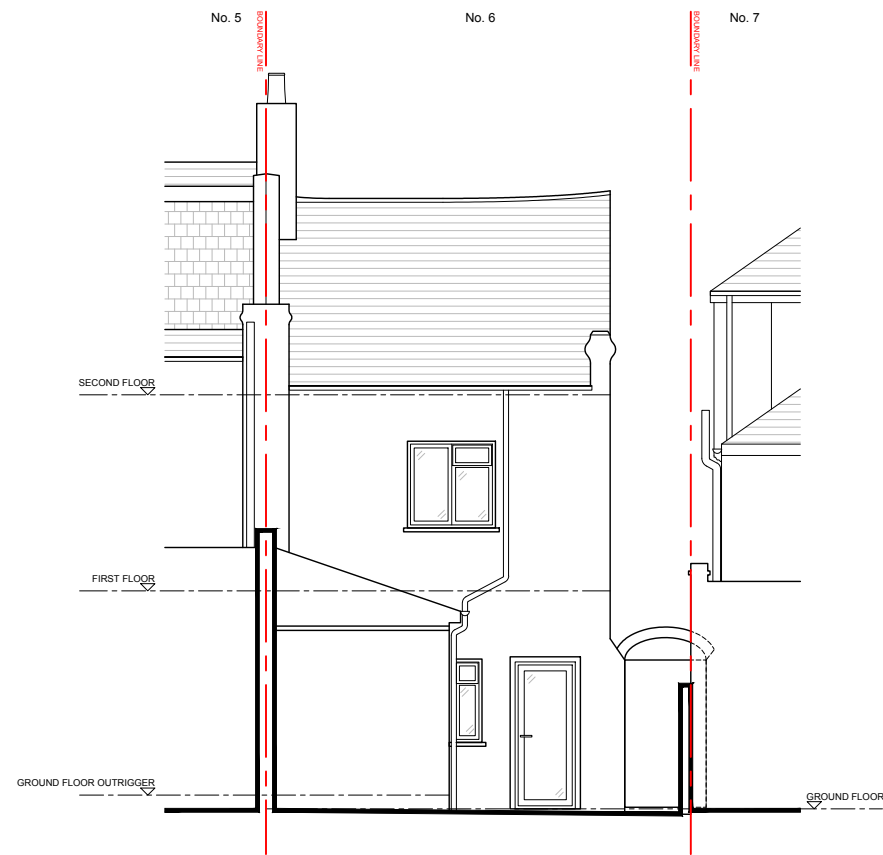
PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	EXISTING PLANS

SCALE @ A3: 1:100 DRAWN BY: AT
 Date: April 2024 CHECKED BY: PNN
 DRAWING NO. 186- E01 REVISION: -





EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

NOTES:

© COPYRIGHT - Studio Architecture Ltd
 This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION

It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
 Any discrepancies should be relayed in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
 All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
 This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercede guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
 Client and Contractor to be aware of Construction & Design Management (CDM) duties.
 Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.

REVISIONS			
REV	DATE	DESCRIPTION	INIT.



1 EMPIRE MEWS, LONDON SW16 2BF
 T: 020 8144 9935
 E: hello@studioarchitecture.co.uk
 www.studioarchitecture.co.uk

PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	EXISTING ELEVATIONS

SCALE @ A3: 1:100 DRAWN BY: AT
 Date: April 2024 CHECKED BY: PNN
 DRAWING NO. 186- E02 REVISION: -



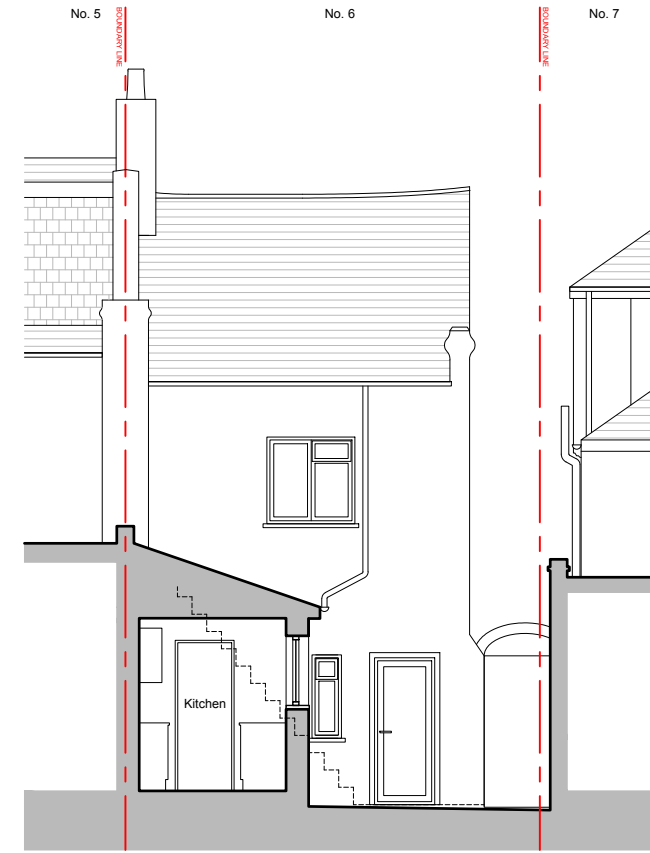
NOTES:

© COPYRIGHT - Studio Architecture Ltd
 This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION
 It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
 Any discrepancies should be relayed in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
 All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
 This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercede guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
 Client and Contractor to be aware of Construction & Design Management (CDM) duties.
 Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.



EXISTING SECTION A-A



EXISTING SECTION B-B

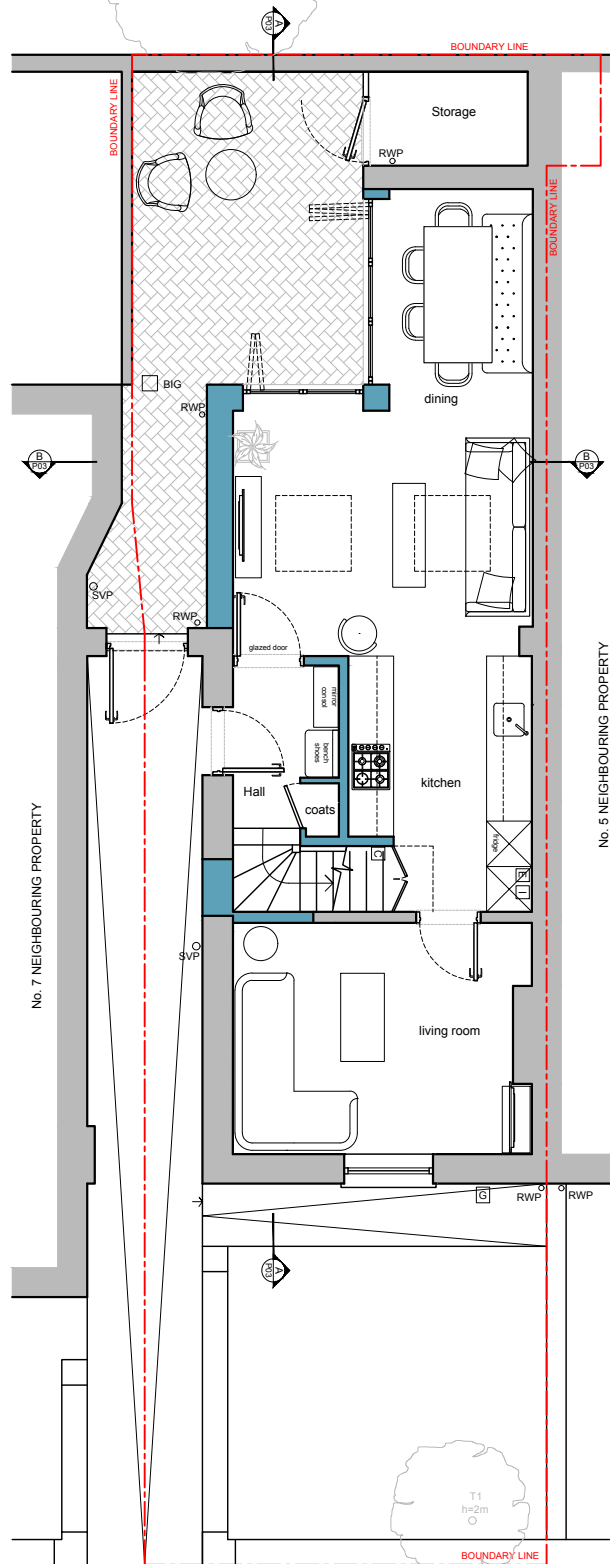
REVISIONS			
REV	DATE	DESCRIPTION	INIT.



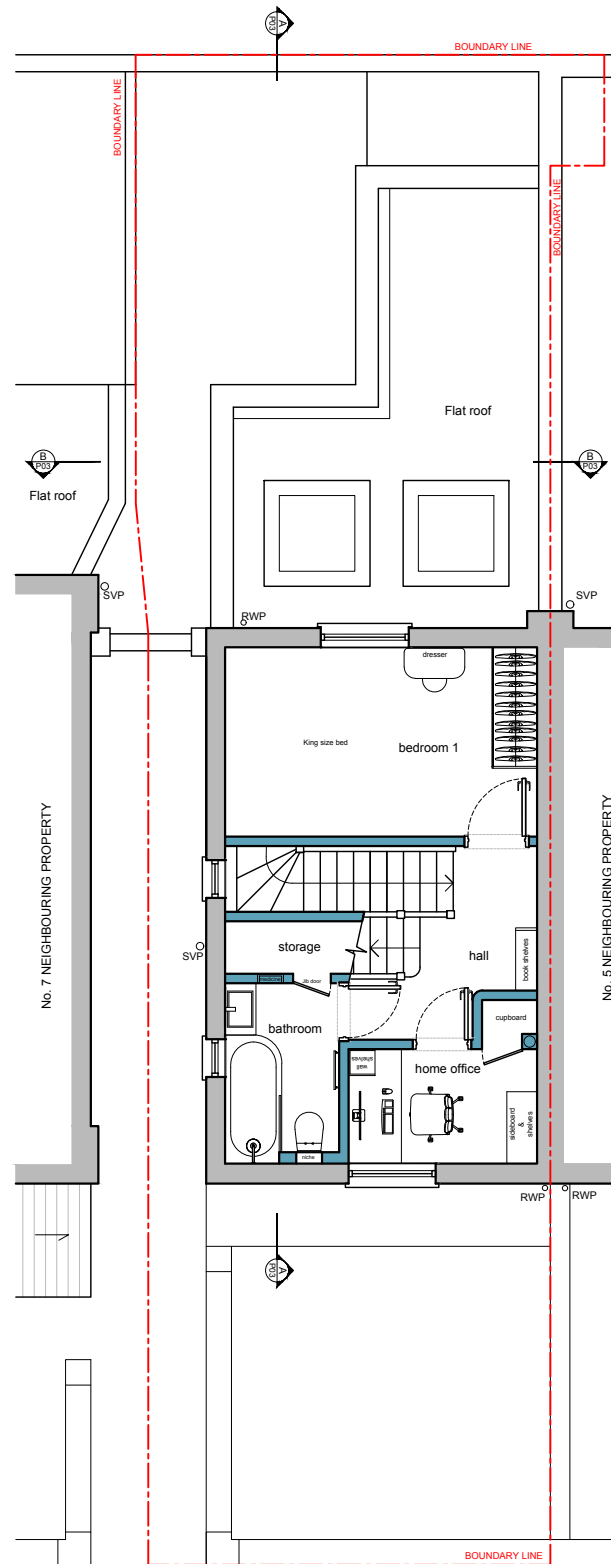
1 EMPIRE MEWS, LONDON SW16 2BF
 T: 020 8144 9935
 E: hello@studioarchitecture.co.uk
 www.studioarchitecture.co.uk

PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	EXISTING SECTIONS

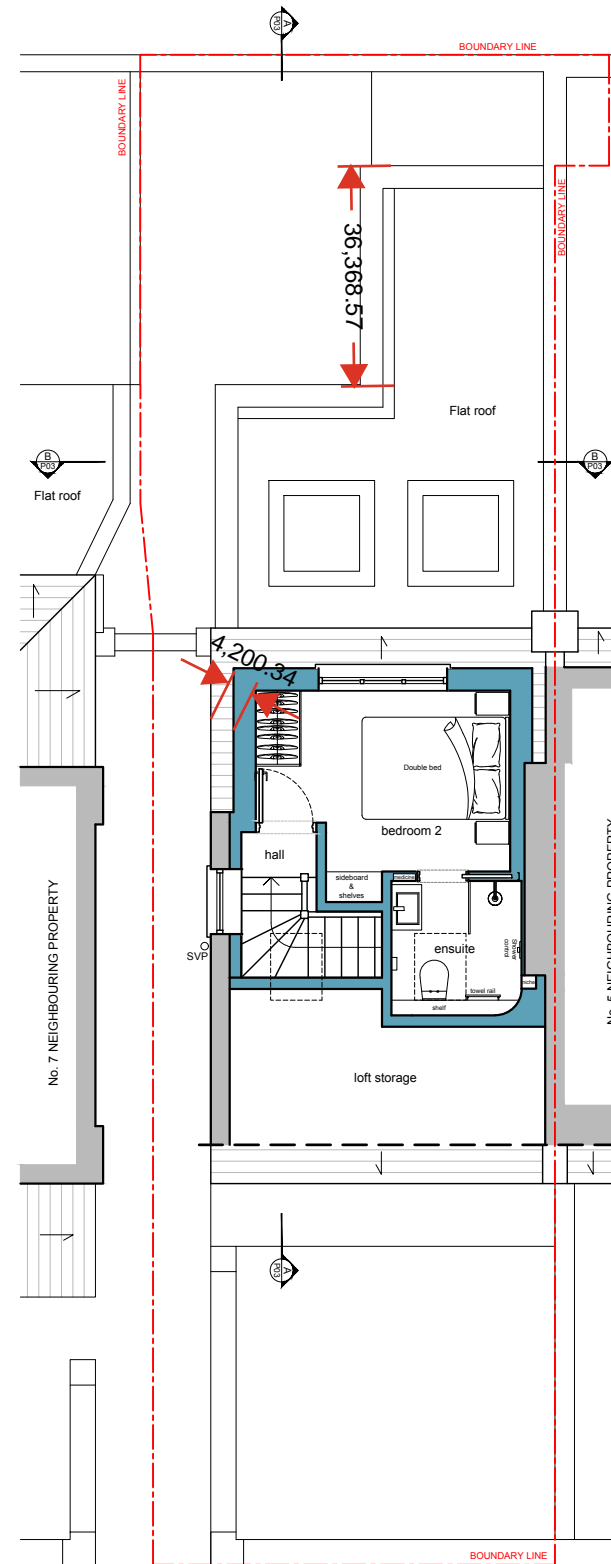
SCALE @ A3: 1:100 DRAWN BY: AT
 Date: April 2024 CHECKED BY: PNN
 DRAWING NO. 186- E03 REVISION: -



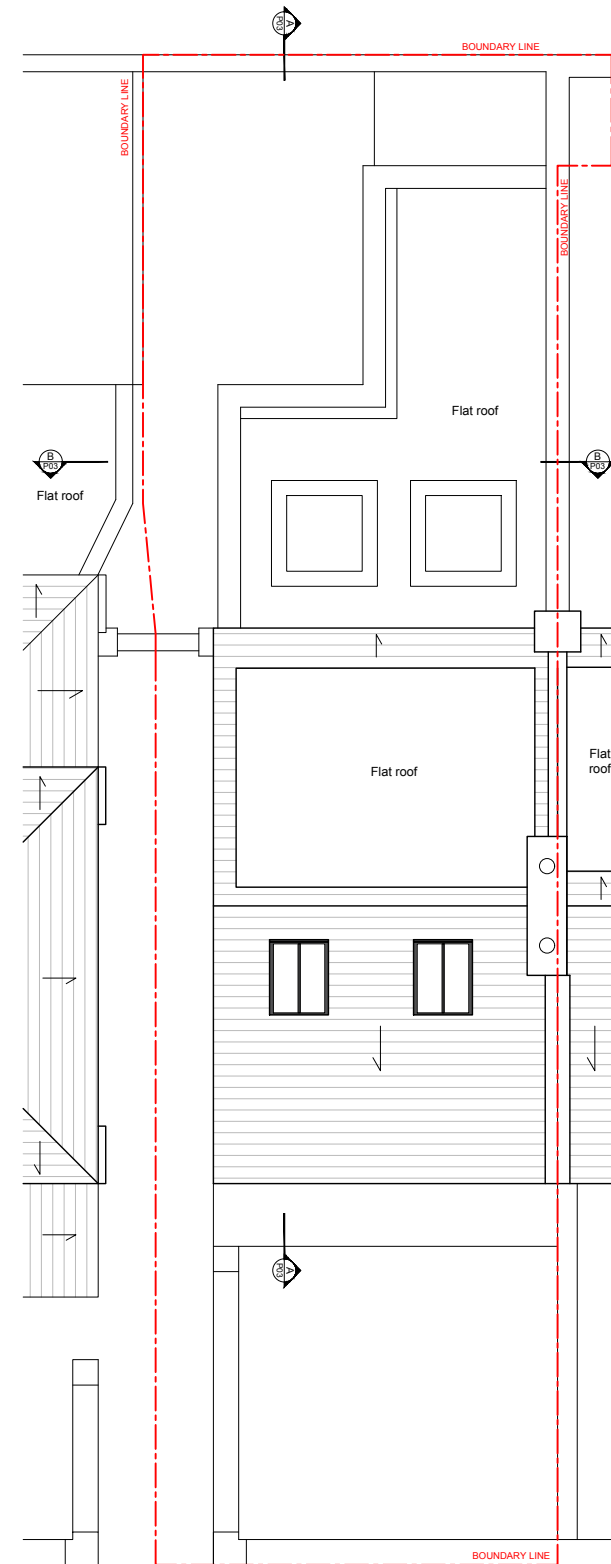
PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



PROPOSED ROOF PLAN

NOTES:

© COPYRIGHT - Studio Architecture Ltd
 This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION
 It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
 Any discrepancies should be drawn in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
 All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
 This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercede guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
 Client and Contractor to be aware of Construction & Design Management (CDM) duties.
 Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.

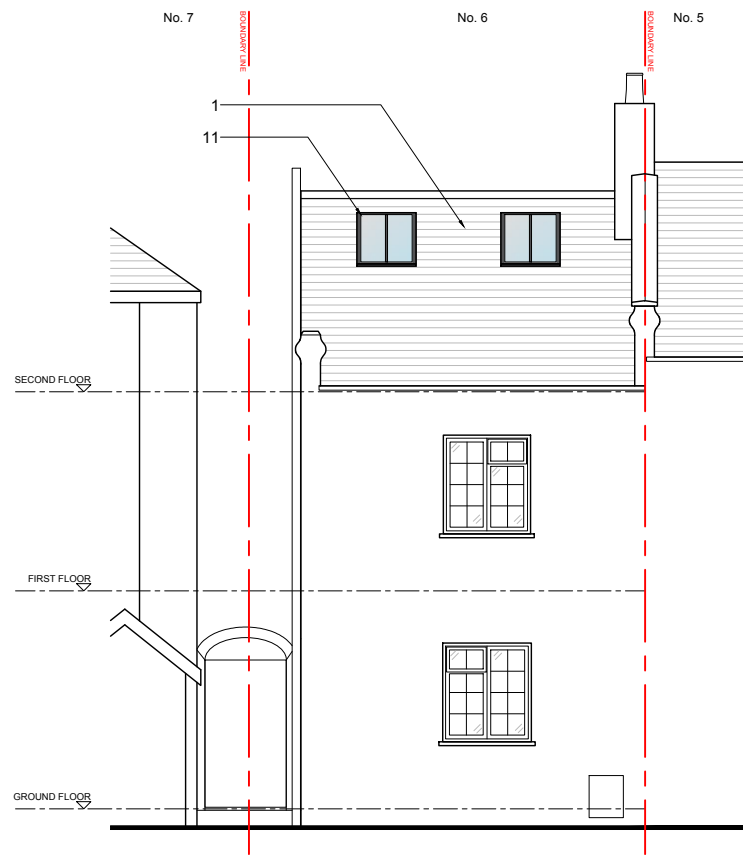
REVISIONS			
REV	DATE	DESCRIPTION	INIT
A	01.08.2024	Loft dormer set in at boundary & loft dormer window width.	PNN



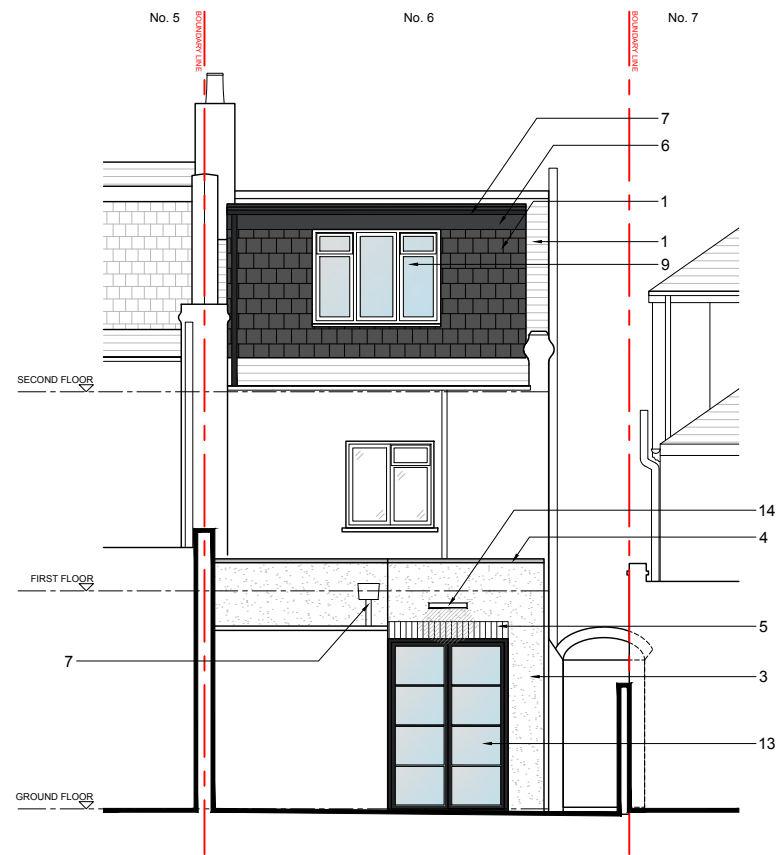
1 EMPIRE MEWS, LONDON SW16 2BF
 T: 020 8144 9935
 E: hello@studioarchitecture.co.uk
 www.studioarchitecture.co.uk

PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	PROPOSED PLANS
SCALE @ A3:	1:100
DATE:	June 2024
DRAWN BY:	PNN
CHECKED BY:	-
DRAWING NO.	186- P01
REVISION:	A





PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

- 1 Slate tiles to match existing.
- 2 White stucco render to match existing.
- 3 Textured white render to rear ground floor.
- 4 50mm concrete coping stone to parapet.
- 5 Brick soldier course header to door apertures.
- 6 Black timber fascias.
- 7 UPVC black half round gutters, hoppers and downpipes to match existing.
- 8 Black UPVC soil and vent pipe to extend 900mm above any window opening within 3 metres.
- 9 White frame timber casement windows to match existing. Windows to side elevation to be obscured glazing and non opening below 1.7m from internal floor level.
- 11 Velux conservation rooflights.
- 12 Timber frame 6 panel entrance door with fanlight.
- 13 Charcoal black aluminium frame bifolding doors with heritage glazing bars.
- 14 Soft down facing wall mounted light above rear garden doors.

NOTES:

© COPYRIGHT - Studio Architecture Ltd
 This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION

It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
 Any discrepancies should be relayed in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
 All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
 This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercede guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
 Client and Contractor to be aware of Construction & Design Management (CDM) duties.
 Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.

REVISIONS			
REV	DATE	DESCRIPTION	INIT
A	01.08.2024	Loft dormer set in at boundary & loft dormer window width.	PNN



1 EMPIRE MEWS, LONDON SW16 2BF
 T: 020 8144 9935
 E: hello@studioarchitecture.co.uk
 www.studioarchitecture.co.uk

PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	PROPOSED ELEVATIONS

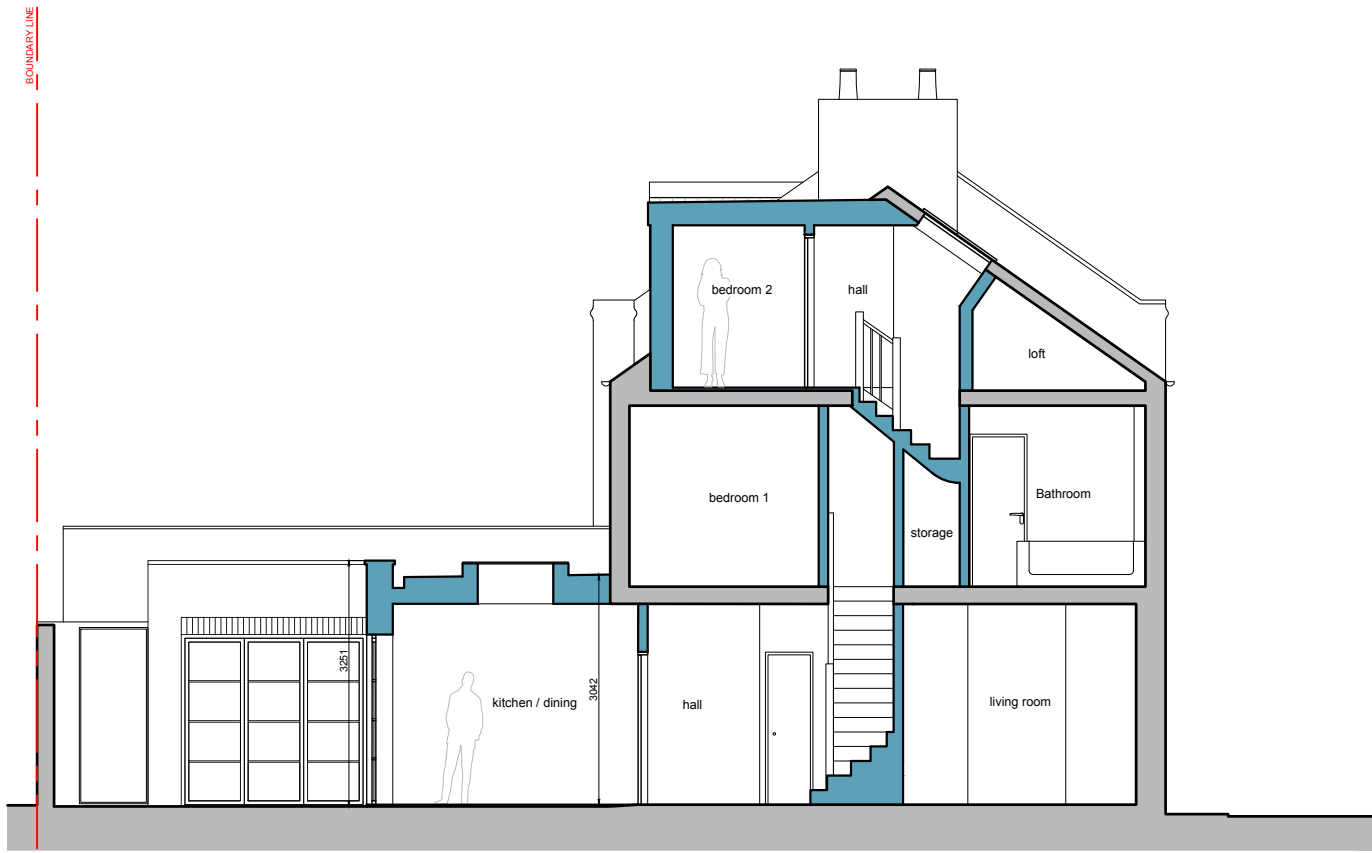
SCALE @ A3: 1:100 DRAWN BY: PNN
 Date: June 2024 CHECKED BY: -
 DRAWING NO. 186- P02 REVISION: A



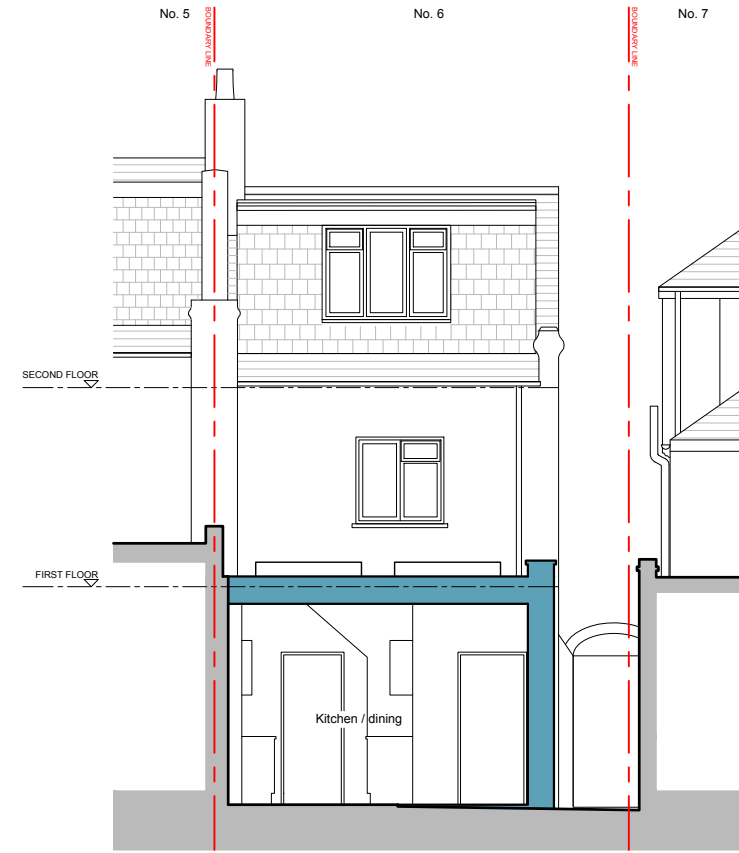
NOTES:

© COPYRIGHT - Studio Architecture Ltd
 This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION
 It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
 Any discrepancies should be relayed in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
 All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
 This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercede guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
 Client and Contractor to be aware of Construction & Design Management (CDM) duties.
 Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.



PROPOSED SECTION A-A



PROPOSED SECTION B-B

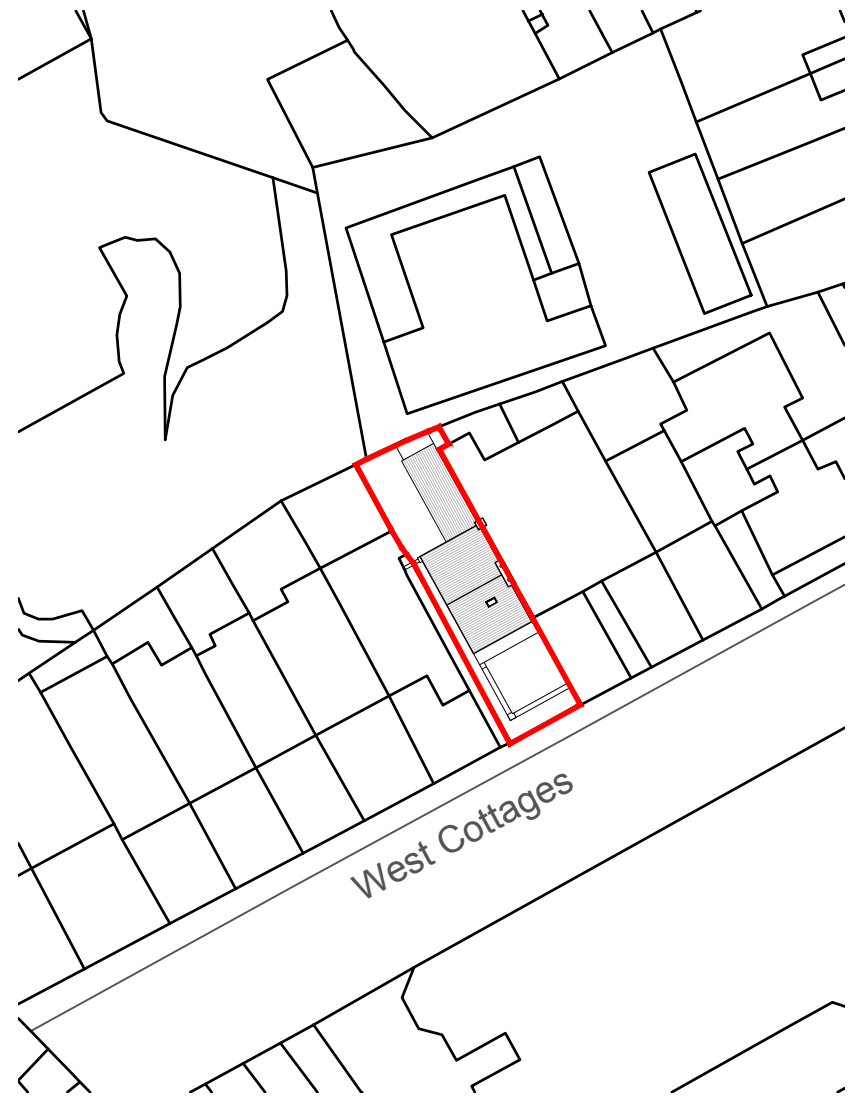
REVISIONS			
REV	DATE	DESCRIPTION	INIT
A	01.08.2024	Loft dormer set in at boundary & loft dormer window width.	PNN



1 EMPIRE MEWS, LONDON SW16 2BF
 T: 020 8144 9935
 E: hello@studioarchitecture.co.uk
 www.studioarchitecture.co.uk

PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	PROPOSED SECTIONS

SCALE @ A3: 1:100 DRAWN BY: PNN
 Date: June 2024 CHECKED BY: -
 DRAWING NO. 186- P03 REVISION: A



EXISTING SITE PLAN
1:500 @ A3



PROPOSED SITE PLAN
1:500 @ A3

NOTES:

© COPYRIGHT - Studio Architecture Ltd
This drawing remains the property of Studio Architecture Ltd © and must not be copied or otherwise reproduced. As long as the Company has received the payment of any fees properly due and owing, the Company grants a licence to the Client to copy and use the documents for the purposes of the project only (excluding any extension of the project). The Company is not liable for any use of the documents for any purpose other than that for which they were prepared.

IMPORTANT INFORMATION
It is the contractor's responsibility to check and verify all dimensions, levels and sewer invert levels on site prior to commencing works.
Any discrepancies should be relayed in writing immediately. No dimensions to be scaled from this drawing for the purpose of construction.
All details are subject to full opening up on works on site. The contractor is solely responsible for the design and carrying out of all temporary works on site. Work should comply in all respects with the current Building Regulations and latest Codes of Practice.
This drawing must be read and checked with all structural engineer's specifications and relevant specialist drawings. Structural engineers calculations to supercode guidance notes. If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately.
Client and Contractor to be aware of Construction & Design Management (CDM) duties.
Property owner to ensure that all aspects on the 'party wall act 1996' are complied with prior to any works commencing on site.

REVISIONS			
REV	DATE	DESCRIPTION	INIT
A	01.08.2024	Dormer wall set away from boundary	PNN



1 EMPIRE MEWS, LONDON SW16 2BF
T: 020 8144 9935
E: hello@studioarchitecture.co.uk
www.studioarchitecture.co.uk

PLANNING ISSUE	
CLIENT:	D. SYKES
PROJECT:	Loft conversion, rear extension & internal alterations
ADDRESS:	6 West Cottages, West End Lane London NW6 1RJ
TITLE:	EXISTING & PROPOSED SITE PLANS
SCALE @ A3:	1:500
DATE:	June 2024
DRAWN BY:	PNN
CHECKED BY:	-
DRAWING NO.	186- P04
REVISION:	A