

Flat A
32 Gaisford Street
London NW5 2ED

Design and Access, Heritage + Fire Statement
For Proposed Garden Room

Introduction:

This document has been written in support of the application for planning permission for the construction of a single storey garden room in the rear garden.

Site Description:

Flat A is the ground floor flat.

The surrounds are characterised by residential activities and buildings.

The site is in the Bartholomew Estate Conservation Area but is not listed.

Proposed Development:

It proposed to construct a single storey garden room adjacent to rear / north boundary.

Use:

The garden room will provide a home office and a space from which the garden can be enjoyed year round.

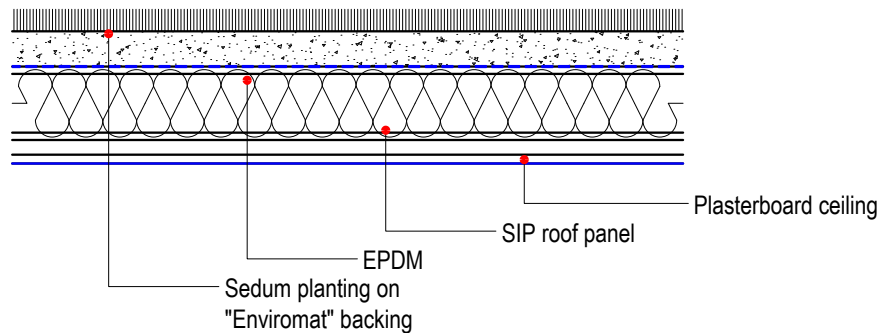
Materials:

Walls: The front elevation would be clad in Western Red Cedar.

All other elevations would be clad (with secret fixings) in cement particle board finished with grey “weather shield” paint.

Sliding doors and windows doors: Black uPVC frames fitted with clear double-glazed units.

Roof: “Green / living” Sedum roof as detailed below:



Sedum Roof Details

Notes re sedum roof:

Maintenance etc:

Enviomat is low maintenance with no need for daily watering and it doesn't need mowing or trimming.

Enviomat Natural Green Roof Feed should be applied (in accordance with the written instructions) in early spring when temperatures begin to rise, and again in early summer to encourage flowering.

Generally Enviomat is more likely to be damaged by too much watering than by too little.

Roof drainage outlets must be cleared out at least once a year.

Enviomat can survive for a month or with no watering if watering is required.

During a prolonged drought then twice weekly watering would be appropriate.

Weeding:

The sedum roof will be installed with a dense covering of plants. This makes it difficult for the majority of weeds to find a space to germinate in.

Any really persistent weeds can be pulled out by hand.

Planting mix + density:

90% coverage of mixed plant species, predominantly sedums.

Sown mix includes: Album, Ellacombianum, Floriferum, Hybr. Czar's Gold, Montanum, Kamtschaticum, Oreganum, Pulchellum, Reflexum, Rupestre Angelina, Sexangulare, Spurium 'coccineum' [Purple Carpet], Spurium, Spurium 'Summer Glory', Stenopetalum, Stoloniferum, Saxifraga granulata, Sedum Hispanicum

Rainwater goods: uPVC colour: Black

Sustainability:

The proposed building uses a “Modern Method of Construction” that provides a high level of thermal performance.

Trees:

Trees are shown on drawing nos. 22417-01 and a Arboricultural Impact Assessment and Method Statement has been submit to support this application.

Access and Parking:

The existing access arrangement will be maintained. The flat has no dedicated off-road parking space.

Waste and Recycling:

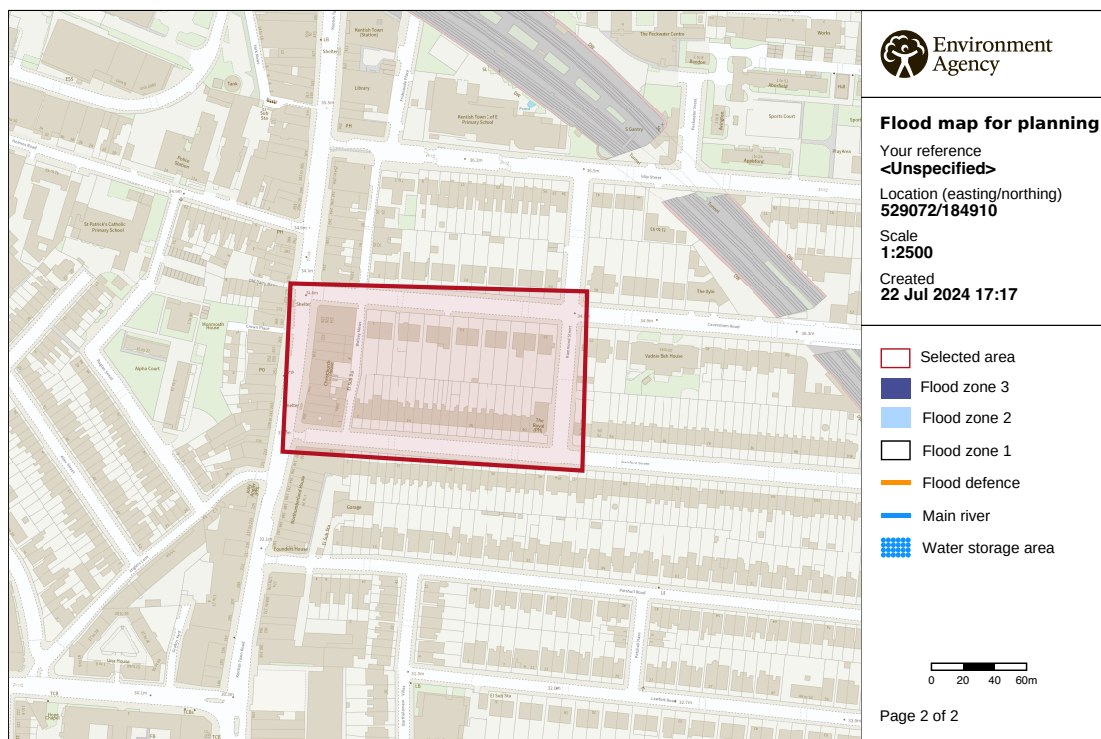
The facilities in the host dwelling will be used.

Surface + Foul Water:

Surface water will be discharged into a water butt for future use in the garden. The building will not create any foul water.

Flood Risk Assessment:

The application site is within Land designated “Flood Zone 1” an area with a low probability of flooding.



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CIL: As the proposed floor area will be less than 100 sqm a CIL payment will not be payable.

Residential Amenity + Privacy:

The location and size mean there will not be an unacceptable impact on daylight / outlook etc to habitable rooms of neighbouring properties.

Heritage Statement:

The Bartholomew Estate Conservation Area was designated on 04/02/1992. And is a compact and well preserved Victorian residential development.

The original development was constructed during a 20 year period with clearly defined boundaries. The land is generally flat and has an urban grain.

Gaisford Street has a defined parapet with valley roofs set behind and the street scene is well preserved.

The Bartholomew Estate Conservation Area has no Article 4 direction prohibiting the addition of outbuildings to the rear of properties.

Assessment of the proposal:

The location, scale and appearance of the proposal have been designed to ensure that the host dwelling, neighbouring properties and the wider street scene of the Conservation Area are respected.

Being located in the rear garden the proposed garden room will not impact the street scene.

The use of a green living room will mean that the any visual impact of neighbouring will be minimal.

The proposal should therefore be considered to preserve the character and appearance of the Conservation Area.

Fire Statement:

The proposed works to the garden area are classed as a “minor development” and will not change or increase the risk of fire within the building as it is separated from the main building.

A Smoke Alarm will be installed in the Garden Room and the proposed escape route will always be unobstructed.

Materials used on the development will be certified to the latest standards and fit for purpose in accordance with Building Regulations.

Access for emergency services will not be altered because of these works.

Fire escape routes in / for the entire building will not be blocked because of this Garden Room.

The escape route in case of fire will be via the doors which lead directly into the garden.