

**Proposed Refurbishment & Extension of  
89-92 Guilford Street &  
1-4 Lansdowne Terrace  
London WC1N**

**Design & Access Statement**  
Appendices

Issue 02 - July 2024

**FOR PLANNING**

<b>Appendix 1</b>	<b>Architect's Drawings &amp; Photos / Burd Haward Architects</b>
<b>Appendix 2</b>	<b>Structural Engineer Report and Drawings / Price &amp; Myers</b>
<b>Appendix 3</b>	<b>Flood Risk Assessment and SUDS / Price &amp; Myers</b>
<b>Appendix 4</b>	<b>Preliminary Ecological Appraisal / MKA Ecology</b>
<b>Appendix 5</b>	<b>Sustainability Statement / Max Fordham LLP</b>
<b>Appendix 6</b>	<b>Acoustic Report / Max Fordham LLP</b>
<b>Appendix 7</b>	<b>Access Statement / Keith Garner</b>
<b>Appendix 8</b>	<b>Heritage Statement / Icenl</b>
<b>Appendix 9</b>	<b>Planning Fire Safety Strategy / Jensen Hughes</b>
<b>Appendix 10</b>	<b>Planning Statement / hgh Consulting</b>

# **Appendix 1: Architect's Drawings / Burd Haward Architects**

# Drawing Issue Sheet 1

2327\_Lansdowne & Guilford Townhouses Redevelopment

Issue date				0													
				5													
				0													
				7													
				2													
				4													
Drawing Title	Dwg No	Scale	Size														
Location Plan	2327_E000	1:625	A1	P1													
Existing Lower Ground Floor Plan	2327_E100	1:100	A1	P1													
Existing Ground Floor Plan	2327_E101	1:100	A1	P1													
Existing First Floor Plan	2327_E102	1:100	A1	P1													
Existing Second Floor Plan	2327_E103	1:100	A1	P1													
Existing Third Floor Plan	2327_E104	1:100	A1	P1													
Existing Roof Plan	2327_E105	1:100	A1	P1													
Existing Elevations	2327_E110	1:100	A1	P1													
External_Existing Photographs	2327_E130	NTS		P1													
Existing Ground Floor Detail	2327_E160	1:5	A3	P1													
Existing Wall to Floor Detail - Lansdowne Terrace	2327_E161	1:5	A3	P1													
Existing Roof Detail - Lansdowne Terrace	2327_E162	1:5	A3	P1													
Existing Wall to Floor Detail - Guilford Street	2327_E163	1:5	A3	P1													
Existing Roof Detail - Guilford Street	2327_E164	1:5	A3	P1													
Existing Window and Shutter Details	2327_E165	1:5	A3	P1													
90 Guilford Street Existing Plans	2327_E300	1:50	A1	P1													
90 Guilford Street Existing Elevations	2327_E310	1:50	A1	P1													
90 Guilford Street Existing Sections	2327_E320	1:50	A1	P1													
90 Guilford Street Existing Photos	2327_E330	NTS		P1													
92 Guilford Street Existing Plans	2327_E500	1:50	A1	P1													
92 Guilford Street Existing Elevations	2327_E510	1:50	A1	P1													
92 Guilford Street Existing Sections	2327_E520	1:50	A1	P1													
92 Guilford Street Existing Photos	2327_E530	NTS		P1													
1 Lansdowne Terrace Existing Plans	2327_E600	1:50	A1	P1													
1 Lansdowne Terrace Existing Elevations	2327_E610	1:50	A1	P1													
1 Lansdowne Terrace Existing Sections	2327_E620	1:50	A1	P1													
1 Lansdowne Terrace Existing Photos	2327_E630	NTS		P1													
3 Lansdowne Terrace Existing Plans	2327_E800	1:50	A1	P1													
3 Lansdowne Terrace Existing Elevations	2327_E810	1:50	A1	P1													
3 Lansdowne Terrace Existing Sections	2327_E820	1:50	A1	P1													
3 Lansdowne Terrace Existing Photos	2327_E830	NTS		P1													
Existing GIAs	2327_Existing Area Schedule	NTS	A4	P1													
Issued to:																	
Client	EK - UoL			X													
Project Manager	BC - CPC			X													
Cost Consultant	SW - CPC			X													
Structural Engineer	MB - P&M			X													
Services & Sustainability	JJ - MF			X													
Heritage Consultant	EW - Icen			X													
Planning Consultant	NB - HGH			X													
Fire Consultant	BA - JH			X													
Principal Design Advisor	NW - CPSUK			X													
Local Authority Planning / LB				X													
File Copy				X													
Format:																	
Full size hard copy																	
Reduction																	
DWG																	
PDF																	
Purpose:																	
Issued for: I= For Information; P= Planning; Q=Pricing; B= Building Regulations; T=For Tender; C=For Construction																	

Drawing Issue Sheet 2									
2327_Lansdowne & Guilford Townhouses Redevelopment									
Issue date				05/07/22					
Drawing Title	Dwg No	Scale	Size	A4					
Proposed Lower Ground Floor Plan	2327_P100	1:100	P1						
Proposed Ground Floor Plan	2327_P101	1:100	P1						
Proposed First Floor Plan	2327_P102	1:100	P1						
Proposed Second Floor Plan	2327_P103	1:100	P1						
Proposed Third Floor Plan	2327_P104	1:100	P1						
Proposed Fourth Floor Plan	2327_P105	1:100	P1						
Proposed Roof Plan	2327_P106	1:100	P1						
Proposed Elevations	2327_P110	1:100	P1						
Proposed Sections	2327_P120	1:100	P1						
Typical Lightwell and Vault	2327_P140	1:20	P1						
Typical Lightwell Door Details	2327_P141	1:10	P1						
Typical Rear Window and Door Details	2327_P142	1:10	P1						
Typical Front Window and Shuuter Details	2327_P143	1:10	P1						
Aerial view - existing & proposed	2327_P150	NTS	P1						
External Streetview 1/3 existing & proposed	2327_P151	NTS	P1						
External Streetview 2/3 existing & proposed	2327_P152	NTS	P1						
External Streetview 3/3 existing & proposed	2327_P153	NTS	P1						
Proposed Ground Floor Detail	2327_P160	1:5	A3	P1					
Proposed Wall to Floor Details	2327_P161	1:5	A3	P1					
Proposed Front Parapet Detail	2327_P162	1:5	A3	P1					
Proposed Mansard Roof Detail	2327_P163	1:5	A3	P1					
Proposed Rear Parapet Detail	2327_P164	1:5	A3	P1					
Proposed Window and Shutter Details	2327_P165	1:5	A3	P1					
90 Guilford Street Proposed Plans - LG/G/1st/2nd	2327_P300	1:50	P1						
91 Guilford Street Proposed Plans - 3rd/4th/Roof	2327_P301	1:50	P1						
90 Guilford Street Proposed Elevations	2327_P310	1:50	P1						
90 Guilford Street Proposed Sections	2327_P320	1:50	P1						
90 Guilford Street Front Door Details	2327_P340	1:10							
92 Guilford Street Proposed Plans - LG/G/1st/2nd	2327_P500	1:50	P1						
92 Guilford Street Proposed Plans - 3rd/4th/Roof	2327_P501	1:50	P1						
92 Guilford Street Proposed Elevations	2327_P510	1:50	P1						
92 Guilford Street Proposed Sections	2327_P520	1:50	P1						
92 Guilford Street Front Door Details	2327_P540	1:10	P1						
1 Lansdowne Terrace Proposed Plans -LG/G/1st/2nd	2327_P600	1:50	P1						
1 Lansdowne Terrace Proposed Plans -3rd/4th/Roof	2327_P601	1:50	P1						
1 Lansdowne Terrace Proposed Elevations	2327_P610	1:50	P1						
1 Lansdowne Terrace Proposed Sections	2327_P620	1:50	P1						
1 Lansdowne Terrace Front Door Details	2327_P640	1:10	P1						
3 Lansdowne Terrace Proposed Plans -LG/G/1st/2nd	2327_P800	1:50	P1						
3 Lansdowne Terrace Proposed Plans -3rd/4th/Roof	2327_801	1:50	P1						
3 Lansdowne Terrace Proposed Elevations	2327_P810	1:50	P1						
3 Lansdowne Terrace Proposed Sections	2327_P820	1:50	P1						
3 Lansdowne Terrace Front Door Details	2327_P840	1:10	P1						
Proposed Area Schedule	2327_PAAS		P1						
Proposed Unit mix plans - all floors	2327_P010		P1						
Issued to:									
Client	EK - UoL		X						
Project Manager	BC - CPC		X						
Cost Consultant	SW - CPC		X						
Structural Engineer	MB - P&M		X						
Services & Sustainability	JJ - MF		X						
Heritage Consultant	EW - Icenl		X						
Planning Consultant	NB - HGH		X						
Fire Consultant	BA - JH		X						
Principal Design Advisor	NW- CPSUK		X						
Local Authority Planning / LB			X						



Key:

- Site Boundary  
— Other land in applicant's  
ownership

P1	05.07.24	LC	LC
Amended site boundary to rear courtyard			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

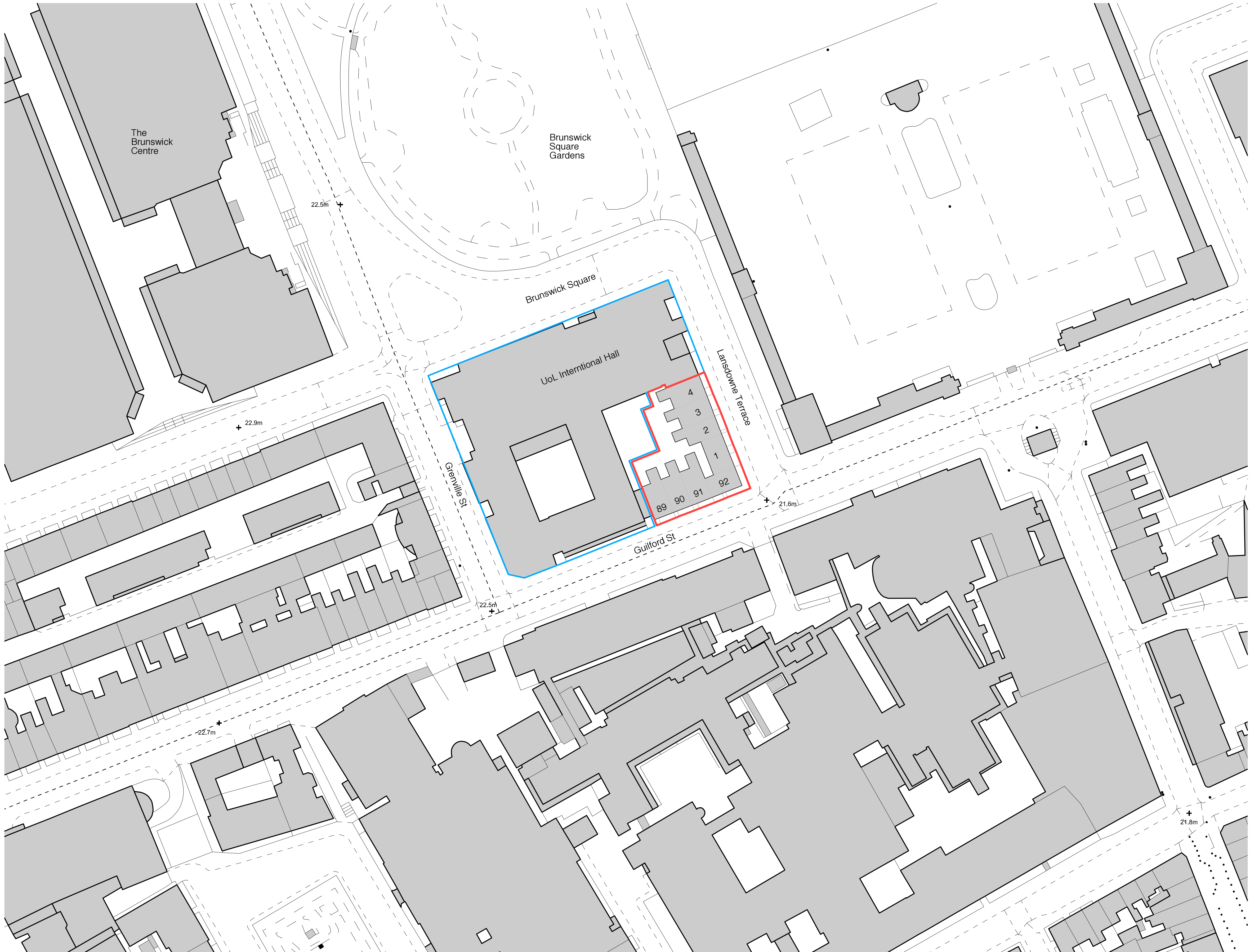
**Location Plan**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E000\_P1**

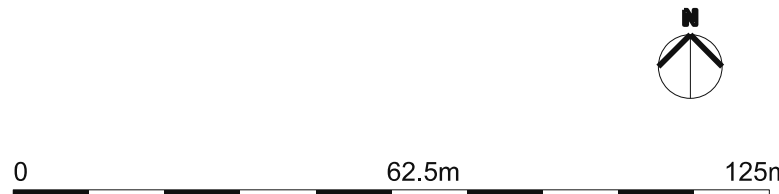
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1:1250 at A3  
Date: 27.10.23  
Drawn: HH

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Location Plan







## General notes

See dwgs E300, 500, 600 & 800 for detailed notes.

Externally:

Carefully remove modern paint finishes in lightwells.

Remove existing modern gates to lightwell vaults.

Dismantle & remove external walkway canopy in courtyard.

Lift existing rear courtyard paving within site area to enable new services installations and planting where shown.

Carefully remove all modern external doors at lower ground floor.

Carefully remove all sash windows on front elevation inc. window bars at LGF.

Carefully remove all sash windows & frames, alter & adapt existing structural openings on rear elevation to suit new window / door sizes.

Carefully remove rainwater goods to rear elevation.

Carefully strip off existing cement render to rear elevation where present.

Internally:

Carefully strip out internal stud partitions, internal doors, skirtings, architraves, fixtures & fittings inc. bathrooms and kitchens etc where required to suit new layout.

Carefully strip off internal wall finishes back to brick along inside face of external wall at street elevation.

Strip off all modern floor coverings, tiles etc, down to floor joists/slab.

Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services installations.

Carefully break out and remove existing floor slab & screed in basement. Reduce dig down to formation level for new slab, foundations & below ground services installations.

Carefully take down all ceiling linings back to joists and remove existing insulation between joists.

Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

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Unless otherwise stated, this drawing is for information only.  
Do not scale from this drawing except for planning purposes.  
All dimensions to be checked on site

## Key:

- Existing retained
- Existing removed/adapted
- Building entrance
- Unit front door
- Carefully break out existing floor slab
- Remove existing rear courtyard paving where shown
- Site boundary

P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

## Lower Ground Existing Plan and Stripping Out

Lansdowne and Guilford Townhouses Redevelopment, WC1N

2327\_E100\_P1

Scale: 1:100 at A1  
1:200 at A3  
Date: 15.09.23  
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Ground Floor

General notes

See dwgs E300, 500, 600 & 800 for detailed notes.

Externally:

Carefully remove all sash windows on front elevation inc. window bars at LGF.

Carefully remove all sash windows & frames, alter & adapt existing structural openings on rear elevation to suit new window / door sizes.

Carefully remove all rainwater goods to rear elevation.

Carefully strip off existing modern cement render to rear elevation where present.

Internally:

Carefully strip out internal stud partitions, internal doors, skirtings, architraves, fixtures & fittings inc. bathrooms and kitchens etc where required to suit new layout.

Carefully strip off internal wall finishes back to brick along inside face of external wall at street elevation.

Strip off all modern floor coverings, tiles etc, down to floor joists/slab.

Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services installations.

Remove modern staircases within outrigger extensions.

Carefully take down all ceiling linings back to joists and remove existing insulation between joists.

Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

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Key:

- Existing retained
- Existing removed/adapted
- Building entrance
- Unit front door
- Existing box shutters retained & refurbished

P1	05.07.24	LC	NI
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A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

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Planning

Ground Floor Existing Plan  
and Stripping Out  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

2327\_E101\_P1

Scale: 1:100 at A1  
1:200 at A3  
Date: 15.09.23  
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First Floor

General notes

See dwgs E300, 500, 600 & 800 for detailed notes.

Externally:

Carefully remove all sash windows on front elevation inc. window bars at LGF.

Carefully remove all sash windows & frames, alter & adapt existing structural openings on rear elevation to suit new window / door sizes.

Carefully remove all rainwater goods to rear elevation.

Carefully strip off existing modern cement render to rear elevation where present.

Internally:

Carefully strip out internal stud partitions, internal doors, skirtings, architraves, fixtures & fittings inc. bathrooms and kitchens etc where required to suit new layout.

Carefully strip off internal wall finishes back to brick along inside face of external wall at street elevation.

Strip off all modern floor coverings, tiles etc, down to floor joists/slab.

Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services installations.

Remove modern staircases within outrigger extensions.

Carefully take down all ceiling linings back to joists and remove existing insulation between joists.

Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

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Key:

- Existing retained
- Existing removed/adapted
- Building entrance
- Unit front door
- Existing box shutters retained & refurbished

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A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

First Floor Existing Plan  
and Stripping Out  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

2327\_E102\_P1

Scale: 1:100 at A1  
1:200 at A3  
Date: 15.09.23  
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0 4m 10m





General notes

See dwgs E300, 500, 600 & 800 for detailed notes.

Externally:

Carefully remove all sash windows on front elevation inc. window bars at LGF.

Carefully remove all sash windows & frames, alter & adapt existing structural openings on rear elevation to suit new window / door sizes.

Carefully remove all rainwater goods to rear elevation.

Carefully strip off existing modern cement render to rear elevation where present.

Internally:

Carefully strip out internal stud partitions, internal doors, skirtings, architraves, fixtures & fittings inc. bathrooms and kitchens etc where required to suit new layout.

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Strip off all modern floor coverings, tiles etc, down to floor joists/slab.

Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services installations.

Remove modern staircases within outrigger extensions.

Carefully take down all ceiling linings back to joists and remove existing insulation between joists.

Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

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Key:

- Existing retained
- Existing removed/adapted
- Building entrance
- Unit front door
- Existing box shutters retained & refurbished

P1	05.07.24	LC	NI
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A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

Second Floor Existing Plan  
and Stripping Out  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

2327\_E103\_P1

Scale: 1:100 at A1  
1:200 at A3  
Date: 15.09.23  
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**General notes**

See dwgs E300, 500, 600 & 800 for detailed notes.

Externally:

Carefully remove all sash windows on front elevation inc. window bars at LGF.

Carefully remove all sash windows & frames, alter & adapt existing structural openings on rear elevation to suit new window / door sizes.

Carefully remove all rainwater goods to rear elevation.

Carefully strip off existing modern cement render to rear elevation where present.

Internally:

Carefully strip out internal stud partitions, internal doors, skirtings, architraves, fixtures & fittings inc. bathrooms and kitchens etc where required to suit new layout.

Carefully strip off internal wall finishes back to brick along inside face of external wall at street elevation.

Strip off all modern floor coverings, tiles etc, down to floor joists/slab.

Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services installations.

Remove modern staircases within outrigger extensions.

Carefully take down all ceiling linings back to joists and remove existing insulation between joists.

Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

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All dimensions to be checked on site

- Key:**
- Existing retained
  - Existing removed/adapted
  - Building entrance
  - Unit front door

P1	05.07.24	LC	NI
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A	27/10/23	HH	CB
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For  
Planning

**Third Floor Existing Plan  
and Stripping out**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

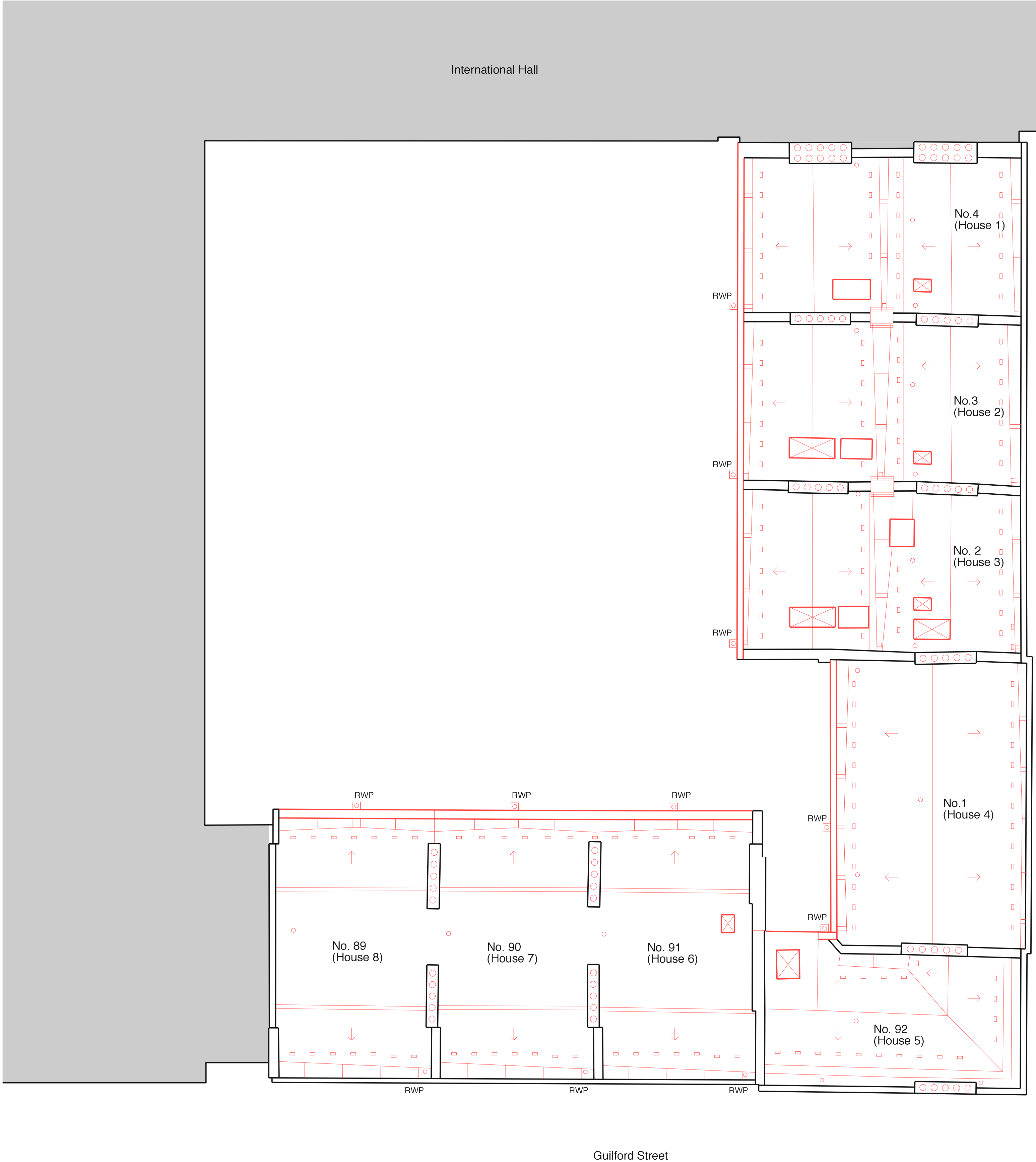
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Third Floor



Roof Plan

General notes

- Strip off all roof coverings inc. rooflights &hatches, slates, battens, felt - down to existing structure.
- Carefully remove existing concrete copings, flashings and chimney pots.
- Dismantle roof structure to allow new mansard construction.
- Carefully remove rainwater goods throughout.
- Existing chimney flues to be surveyed & cleared

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All dimensions to be checked on site

Key:

- Existing retained
- Existing removed/adapted

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Existing Roof Plan and Stripping Out  
Lansdowne and Guilford Townhouses Redevelopment, WC1N

2327\_E105\_P1

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Date: 27.10.23  
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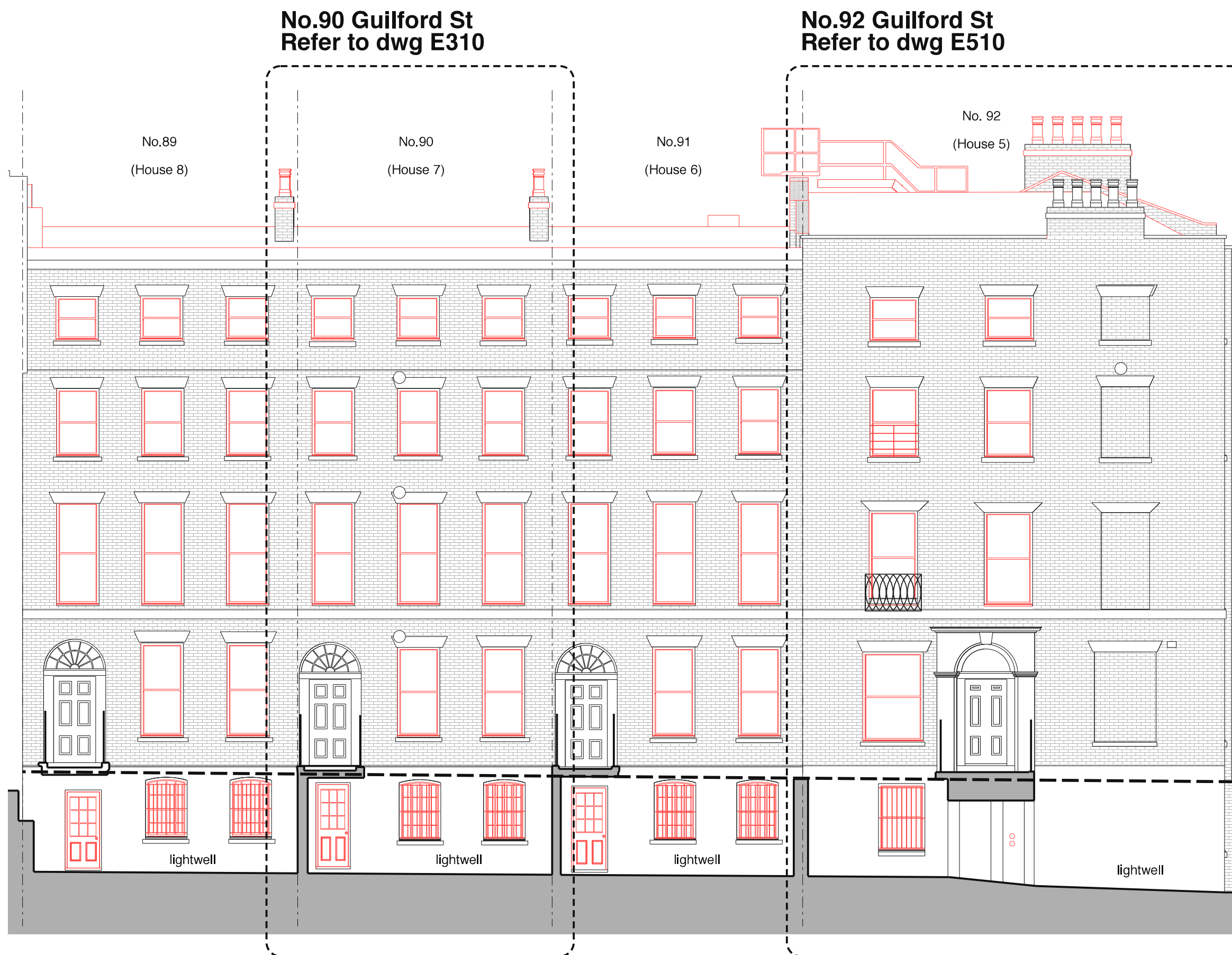
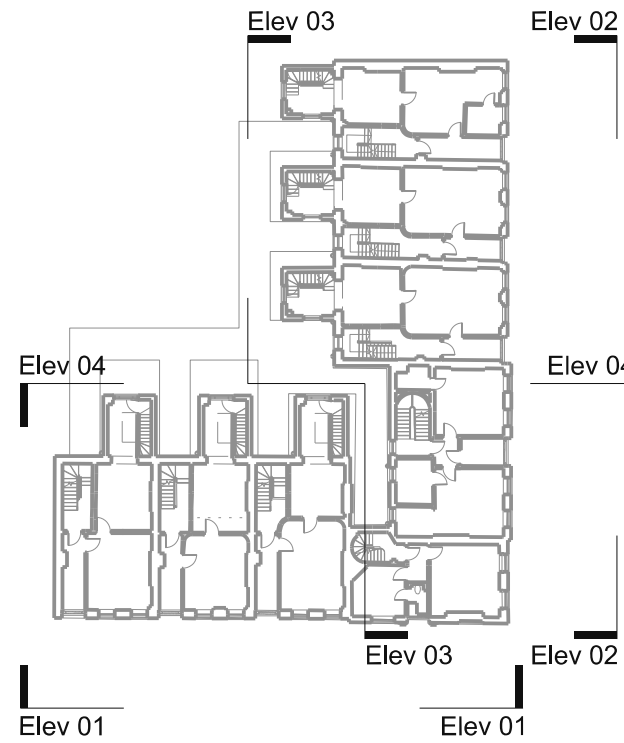
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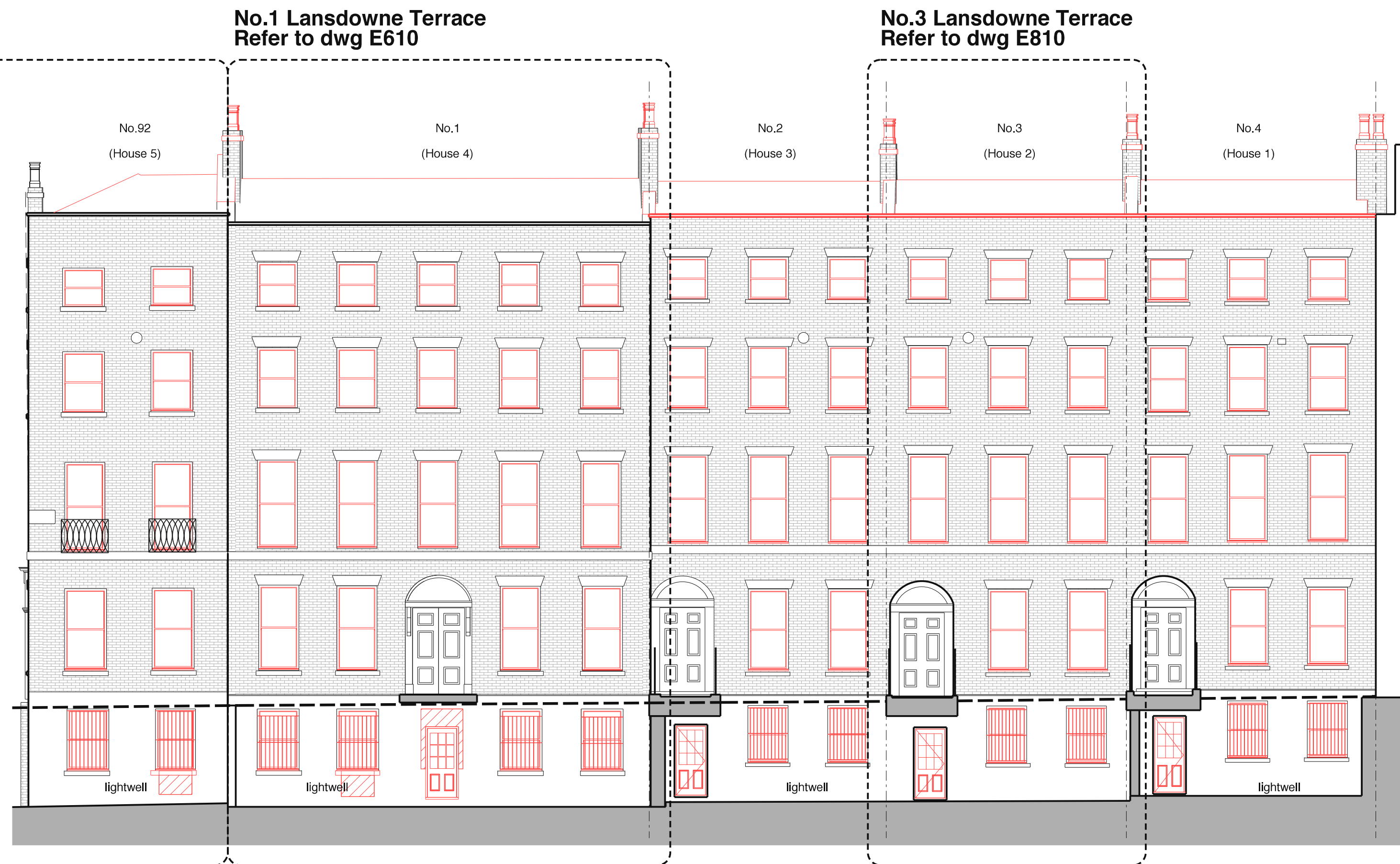


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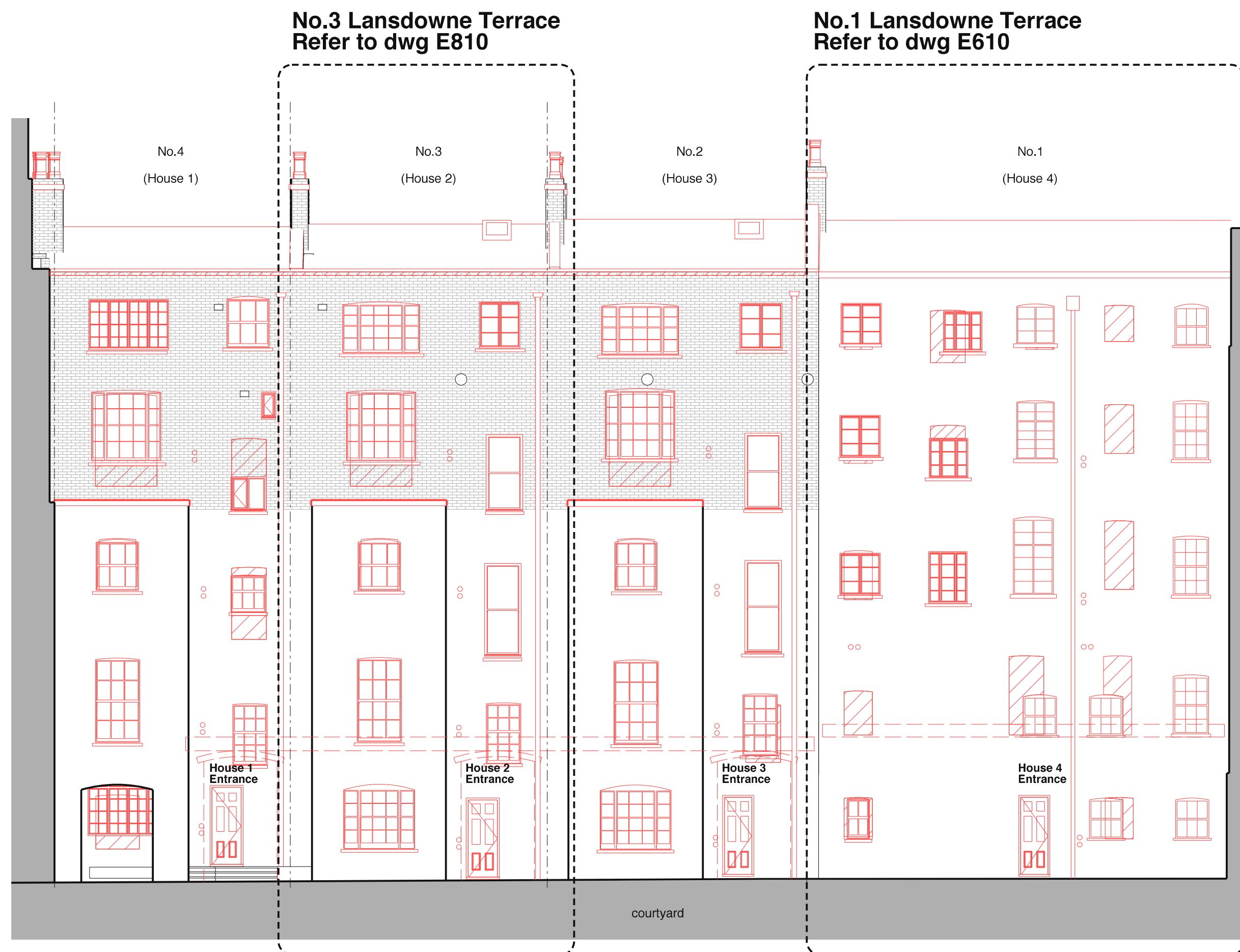
- Existing retained
- Existing removed/adapted
- Existing removed fabric



Elevation 01 - Guilford St



Elevation 02 - Lansdowne Terrace



Elevation 03 - Rear of Lansdowne Terrace



Elevation 04 - Rear of Guilford St

P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

**Existing Elevations**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E110\_P1**

Scale: 1:100 at A1  
1:200 at A3  
Date: 27.10.23  
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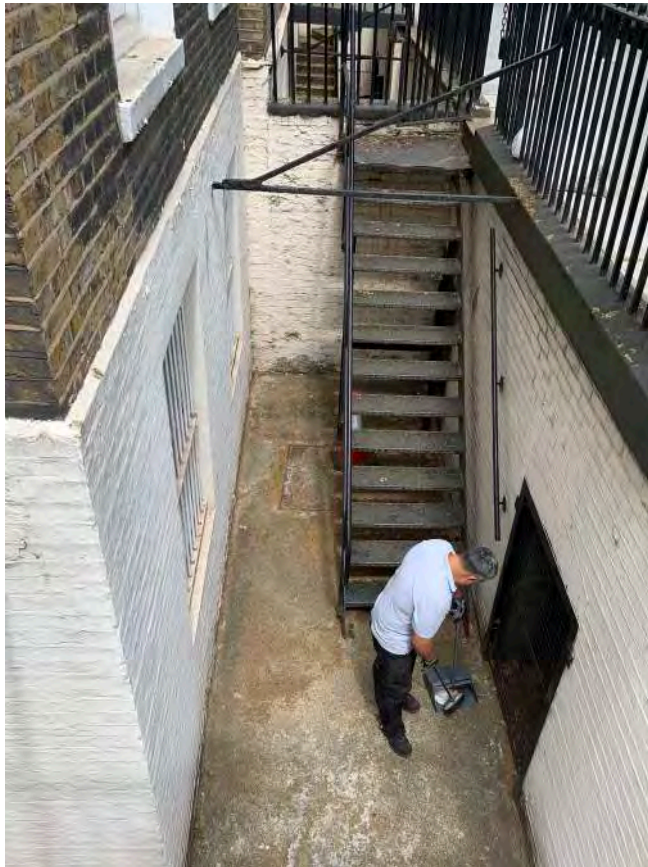
89 Guilford Street - view from street



2 & 3 Lansdowne Terrace - view from street



Front door of no. 3 Guilford Street



View looking into 92 Guilford Street lightwell



No 1 Lansdowne Terrace - lightwell and gates to vaults



Canopy in courtyard covering entrance to house 3



Rear courtyard shared with International Hall with covered walkway between houses



Existing planting in rear courtyard

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information only.  
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purposes.  
All dimensions to be checked on site.

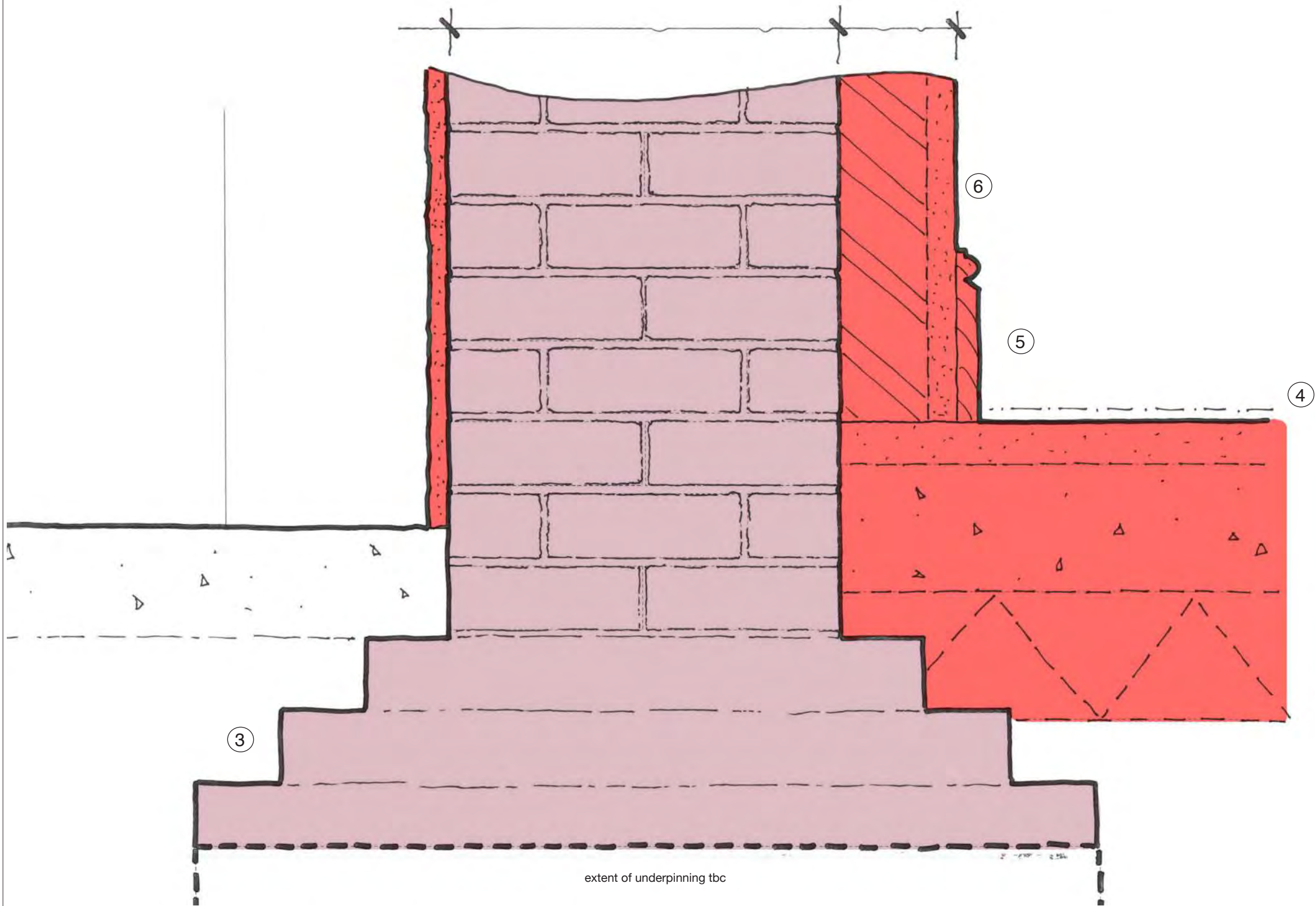
P1	05/07/24	AB	NI
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A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning  
**External  
Existing Photos**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N  
**2327\_E130\_P1**  
Scale: NTS  
Date: 27.10.23  
Drawn: HH

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existing fabric to be  
removed



**KEY**

1. modern render over brick - visible cracking
2. surface varies - generally concrete but some flagstones on Lansdowne Terrace
3. corbelled brick footings, with partial underpinning (extent tbc)
4. modern sand : cement screed (nom. 50mm thick) on modern reinforced concrete slab (nom. 150mm thick)
5. modern skirting, floor & wall finishes throughout
6. historic drawings suggest some walls have been faced with new masonry
7. modern plaster finishes & cornices direct to masonry
8. modern plasterboard finishes & cornices fixed over older timber stud framing
9. modern plasterboard ceiling linings on suspended ceiling system
10. upper ceiling linings - sometimes modern lath & plaster, sometimes plasterboard

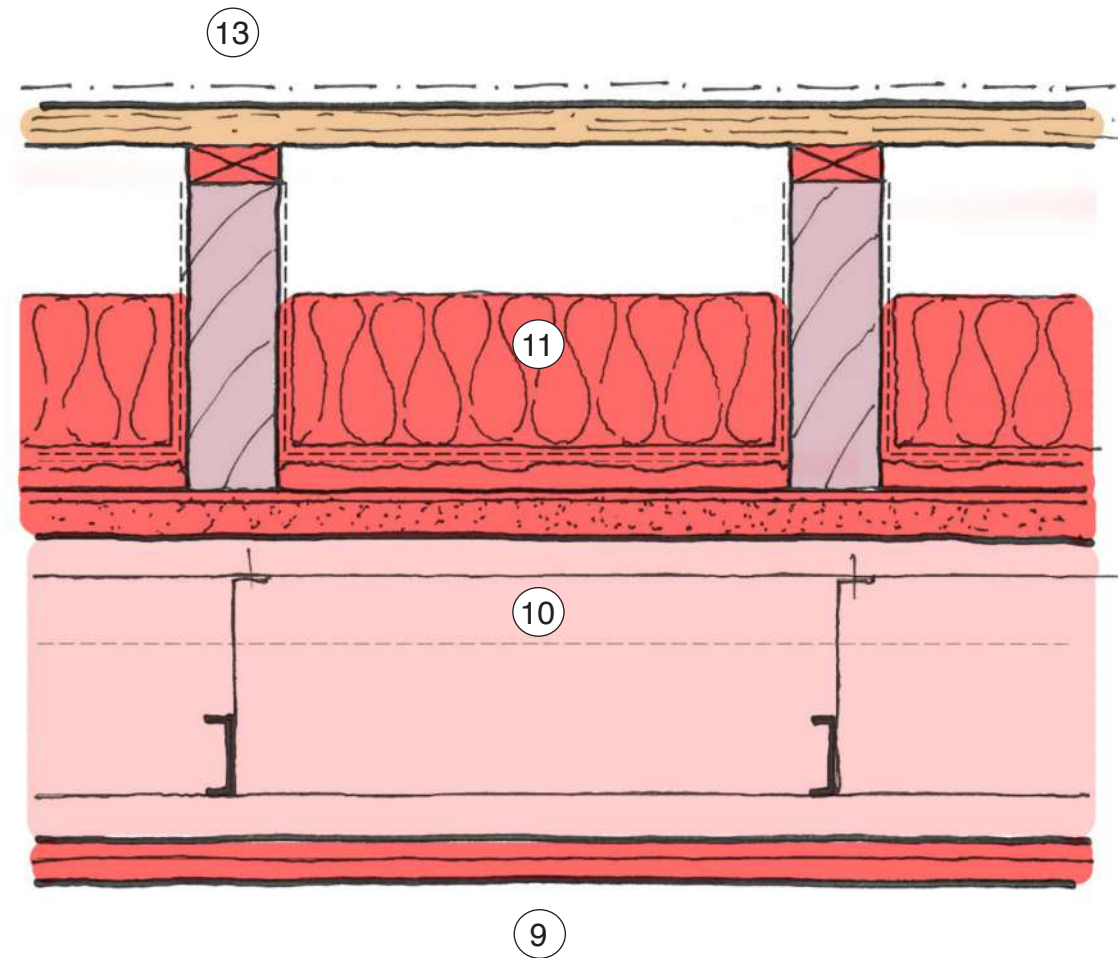
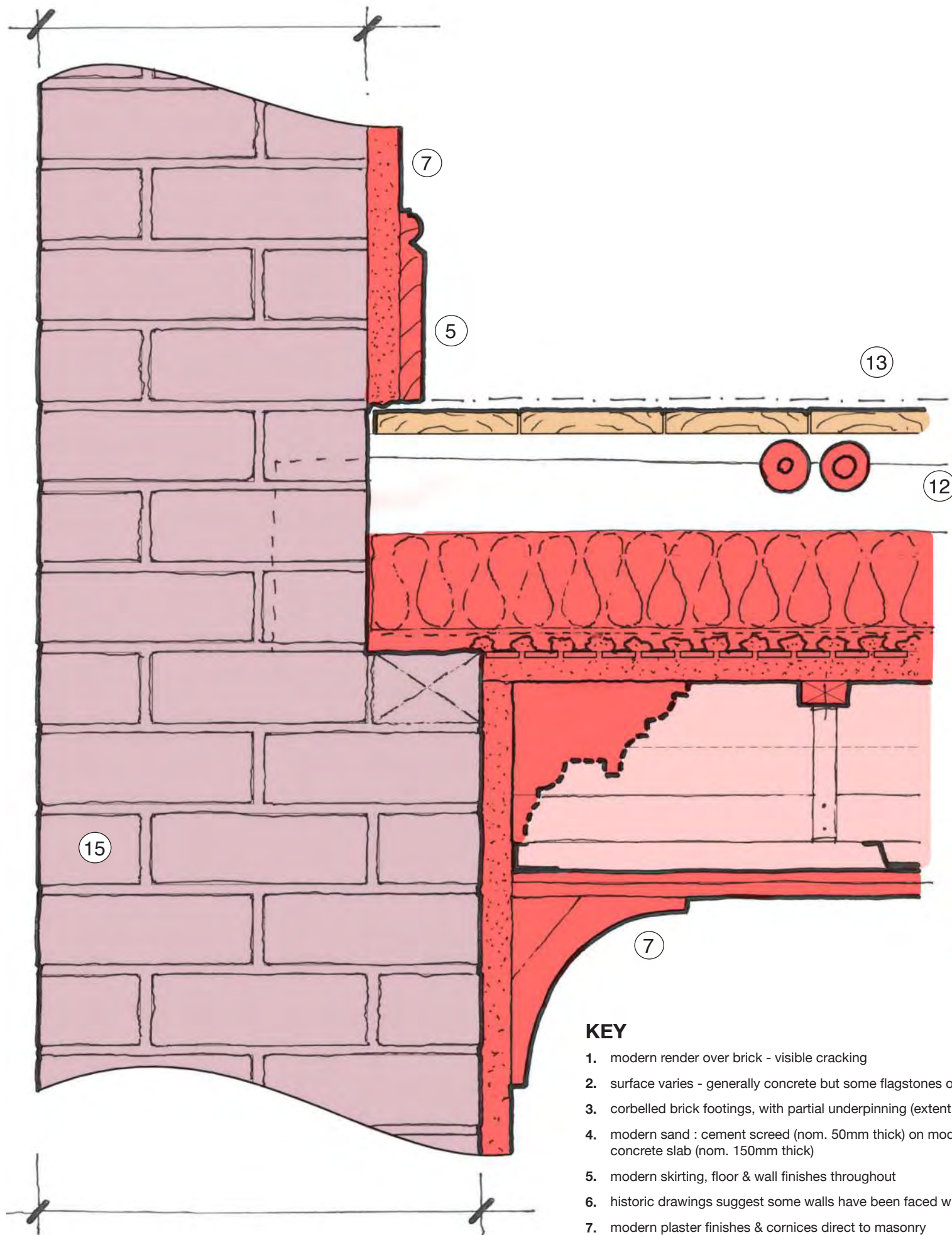
11. modern acoustic insulation (not consistent) fitted between joists on wire mesh support
12. existing services in firing zone & notched over joists
13. existing floorboards on s/w firings (varying in thickness between 50-100mm) over existing joists
14. modern plasterboard ceilings fixed to rafters
15. brick external walls repaired to SE details - mix of brick type and sizes reflects extent of alterations over time - wall thickness reduces up the building
16. non-original gutter linings & flashings
17. fully modern 'trussed' roof construction, supported on modern steel beams
18. mixture of modern and historic timber, significantly altered and repaired with new steel element
19. non-original slate roof on battens, with impermeable sarking membrane
20. modern cement render

P1	05.07.24	NI	CB
Revision	Date	By	Checked

For  
Planning  
**Existing Ground Floor  
Detail**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N  
**2327\_E160\_P1**  
Scale: 1 : 5 @ A3  
Date: 05.07.24  
Drawn: NI



existing fabric to be  
removed



### KEY

1. modern render over brick - visible cracking
2. surface varies - generally concrete but some flagstones on Lansdowne Terrace
3. corbelled brick footings, with partial underpinning (extent tbc)
4. modern sand : cement screed (nom. 50mm thick) on modern reinforced concrete slab (nom. 150mm thick)
5. modern skirting, floor & wall finishes throughout
6. historic drawings suggest some walls have been faced with new masonry
7. modern plaster finishes & cornices direct to masonry
8. modern plasterboard finishes & cornices fixed over older timber stud framing
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20. modern cement render

Existing Wall / Floor Details at Lansdowne Terrace

P1	05.07.24	NI	CB
Revision	Date	By	Checked

For  
Planning  
Existing Wall/Floor Details -  
Lansdowne Terrace  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E161\_P1**

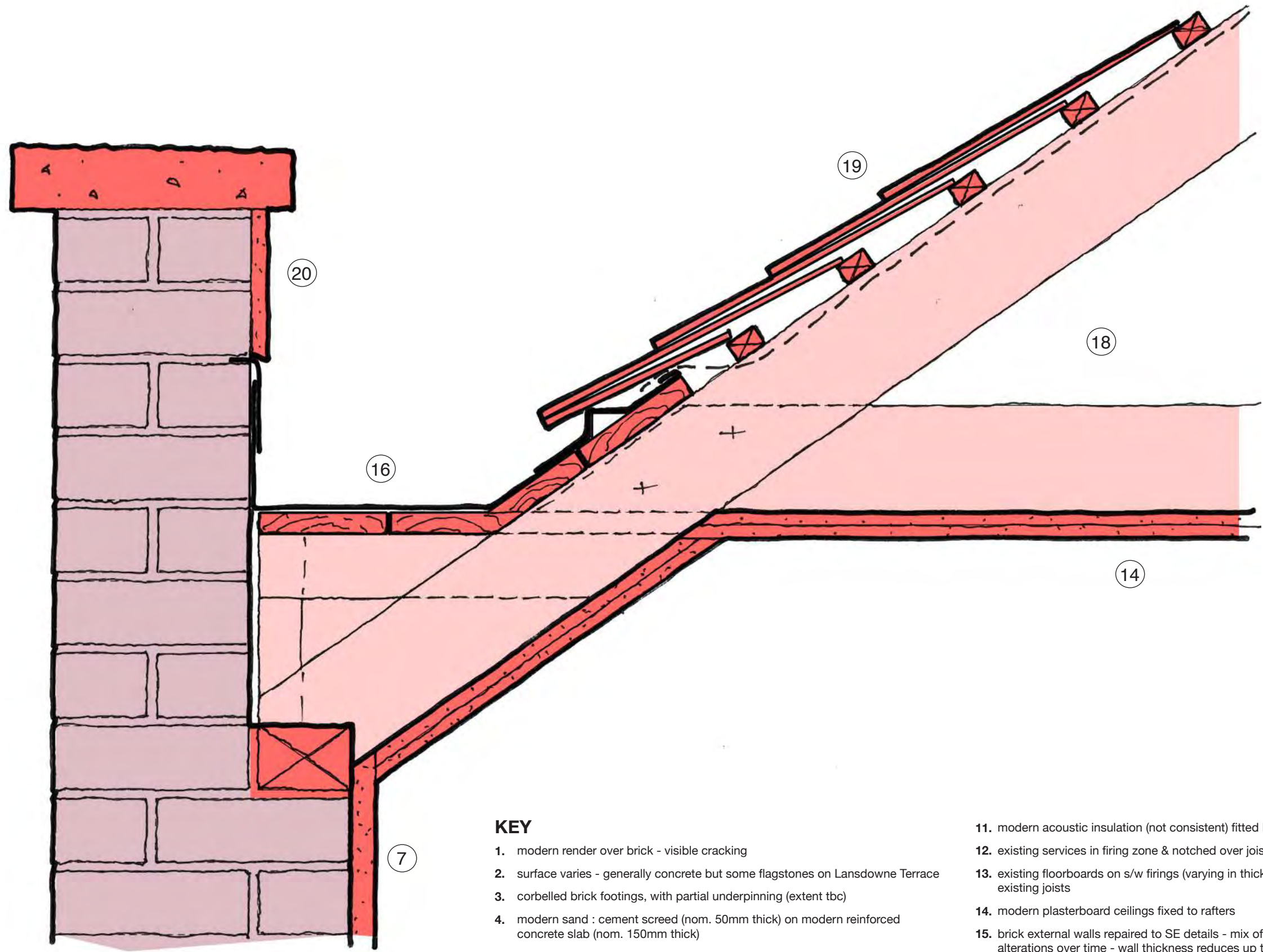
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Date: 05.07.24  
Drawn: NI

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existing fabric to be  
removed



**KEY**

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19. non-original slate roof on battens, with impermeable sarking membrane
20. modern cement render

P1	05.07.24	NI	CB
Revision	Date	By	Checked

For  
Planning  
**Existing Roof Detail -  
Lansdowne Terrace**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E162\_P1**

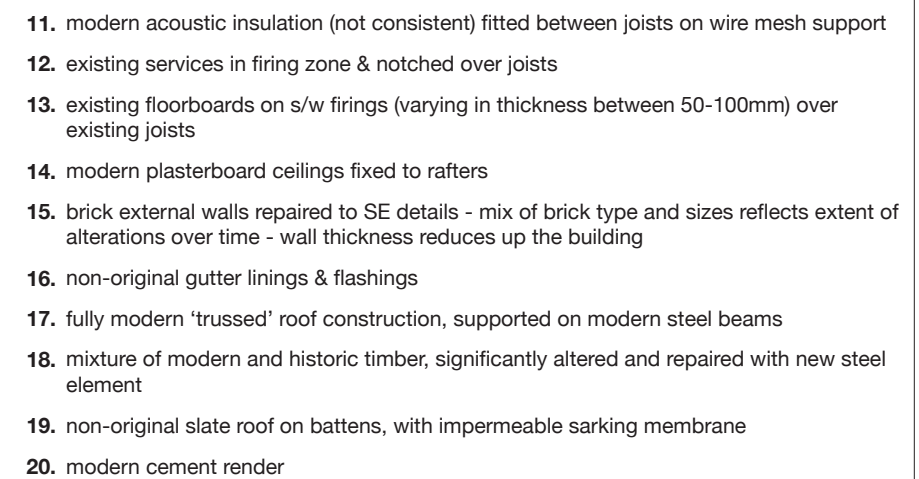
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Date: 05.07.24  
Drawn: NI

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9. modern plasterboard ceiling linings on suspended ceiling system
10. upper ceiling linings - sometimes modern lath & plaster, sometimes plasterboard



# For Planning

**Existing Wall/Floor Detail -  
Guilford Street**

Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

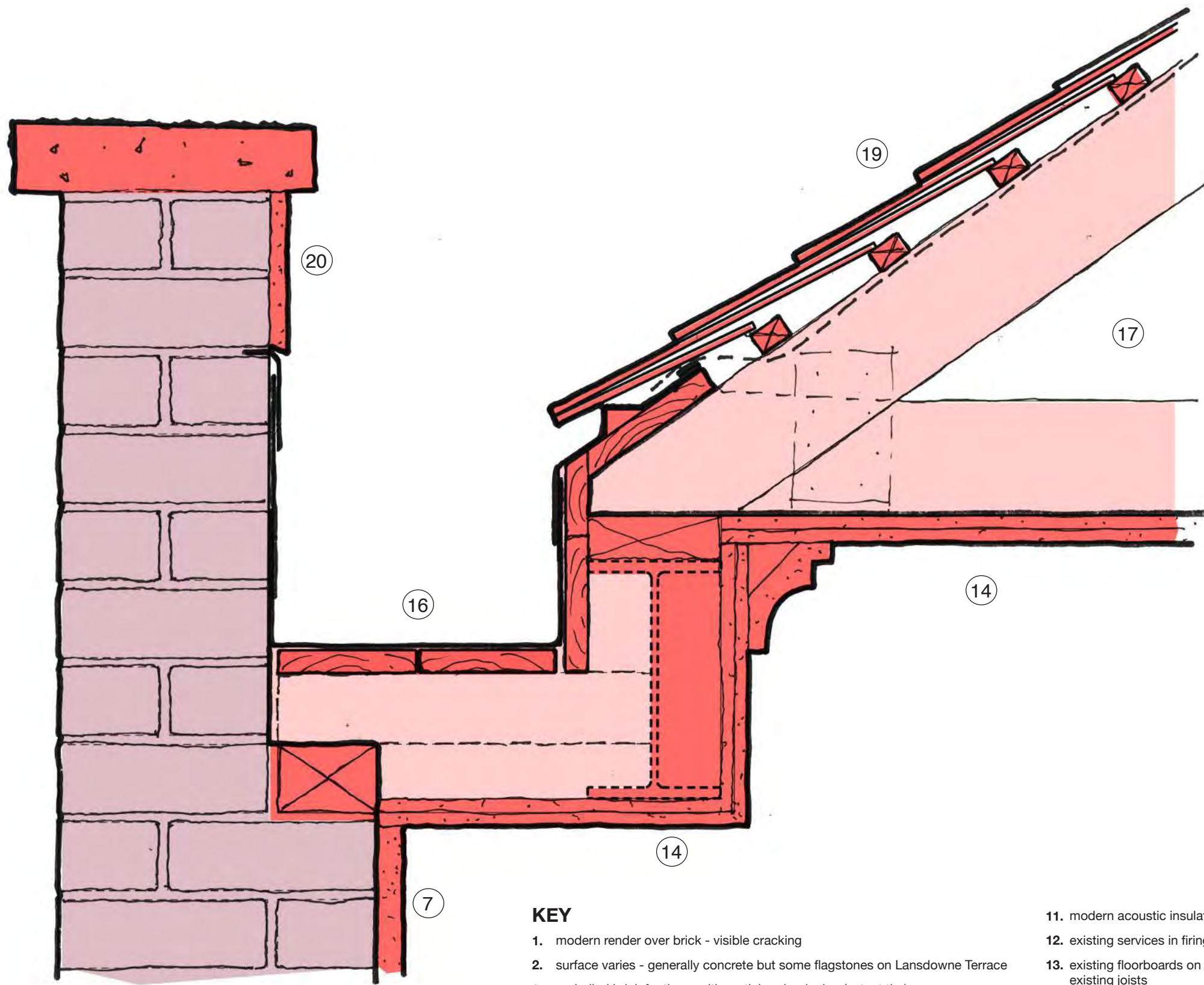
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Date: 05.07.24  
Drawn: NI



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 London, N7 9DP  
 T +44 20 7482 9243  
 E [studio@burdhaward.com](mailto:studio@burdhaward.com)



existing fabric to be  
removed



**KEY**

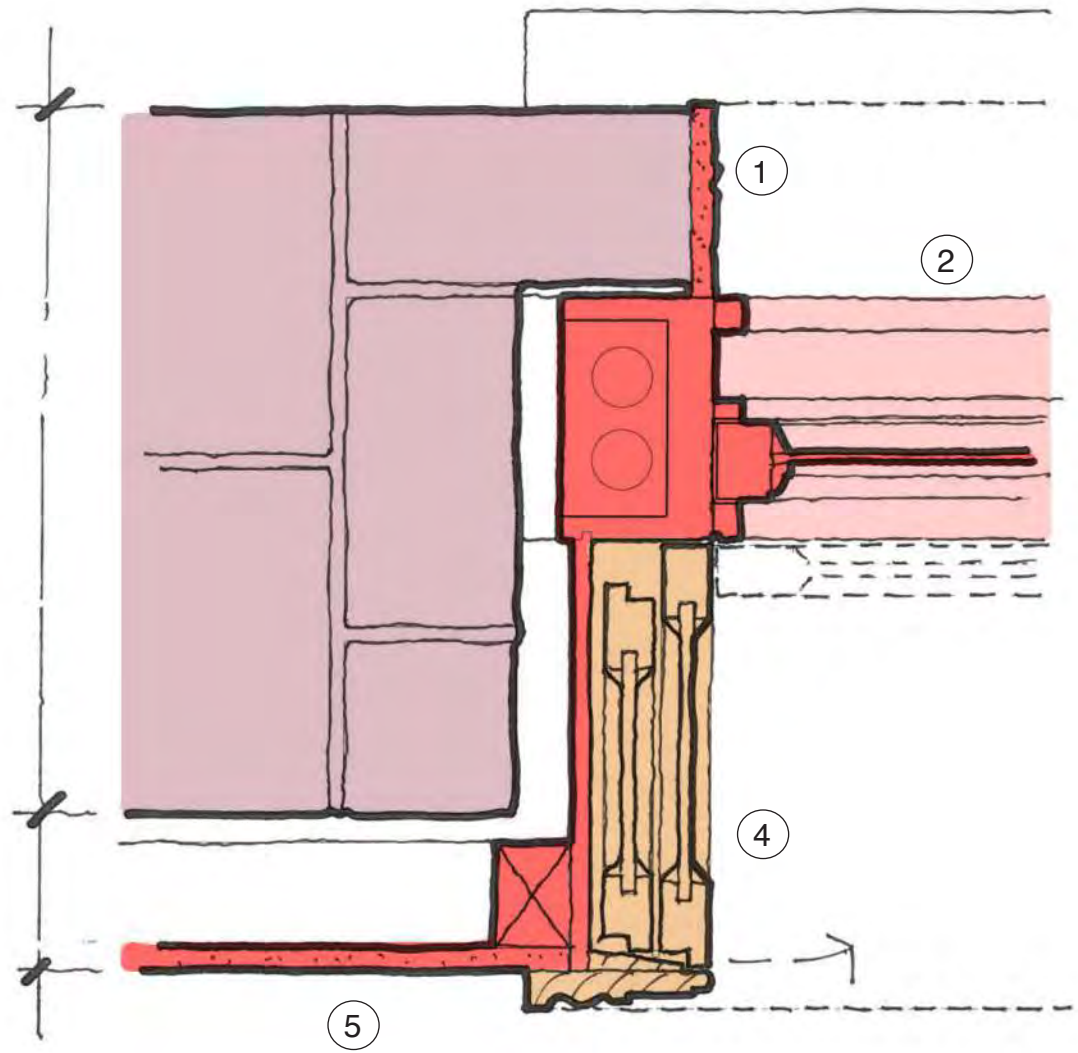
1. modern render over brick - visible cracking
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20. modern cement render

P1	05.07.24	NI	CB
Revision	Date	By	Checked

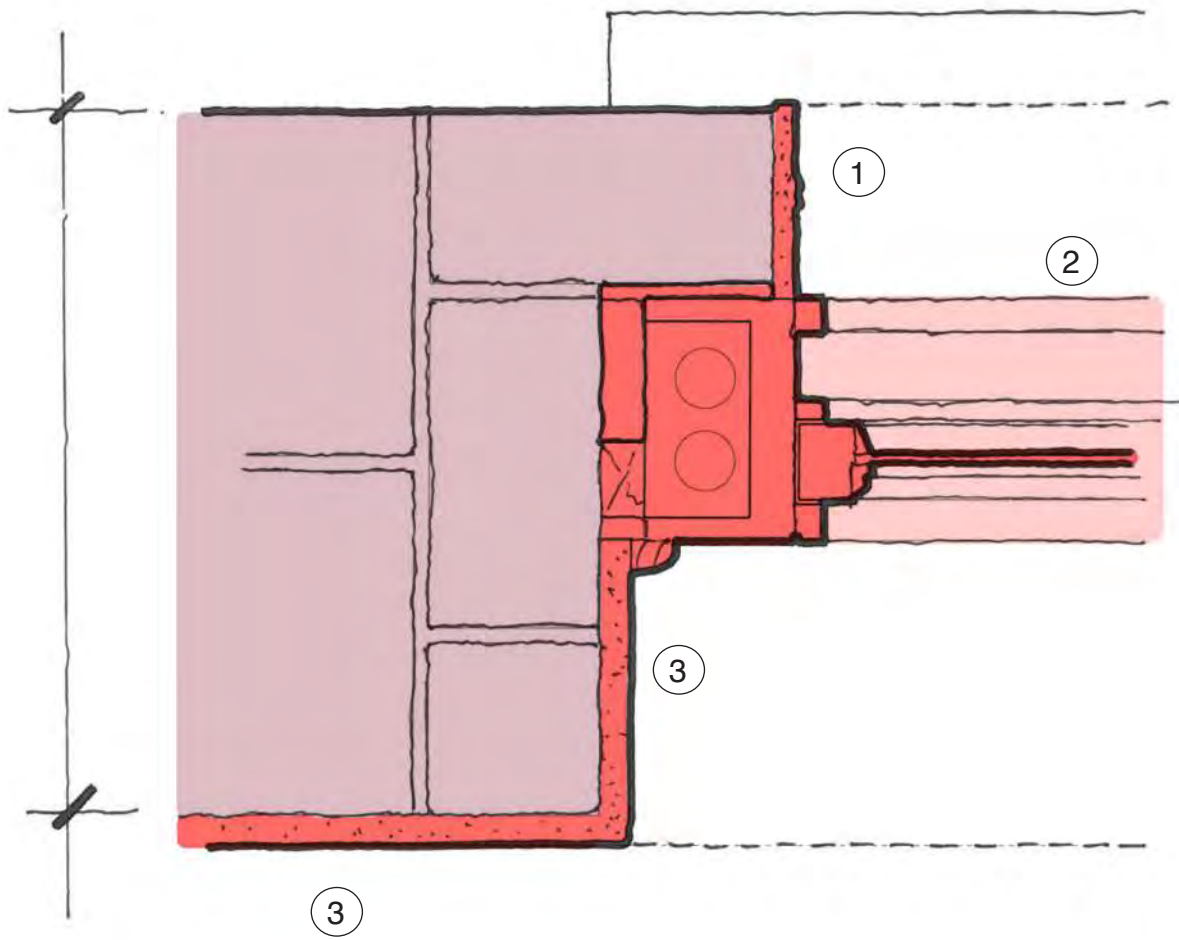
For  
Planning  
**Existing Roof Detail -  
Guilford Street**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N  
**2327\_E164\_P1**  
Scale: 1 : 5 @ A3  
Date: 05.07.24  
Drawn: NI

existing fabric to be  
removed



Front Elevation at Guilford Street

Typical Existing Window and Shutter Details



Front Elevation at Lansdowne Terrace / Rear Elevation Generally

KEY

1. modern stucco to reveal, painted
2. non-original sash window
3. modern plaster finish direct to masonry
4. historic box shutter and lining
5. modern plaster / plasterboard finish on older timber stud framing

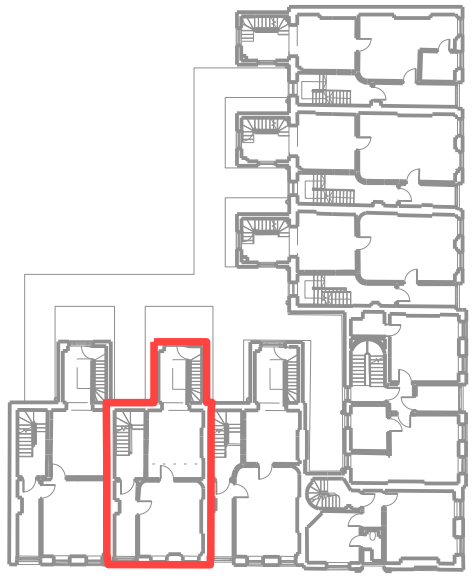
P1	05.07.24	NI	CB
Revision	Date	By	Checked

For  
Planning  
Existing Window and  
Shutter Details  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

2327\_E165\_P1

Scale: 1 : 5 @ A3  
Date: 05.07.24  
Drawn: NI





## Key:

- Existing retained
- Existing removed
- Existing walls / fabric to be removed / adapted
- Existing concrete slab broken out and excavated
- Building entrance
- Unit front door
- Existing box shutters retained & refurbished

P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

## No.90 Guilford Street Existing Floor Plans

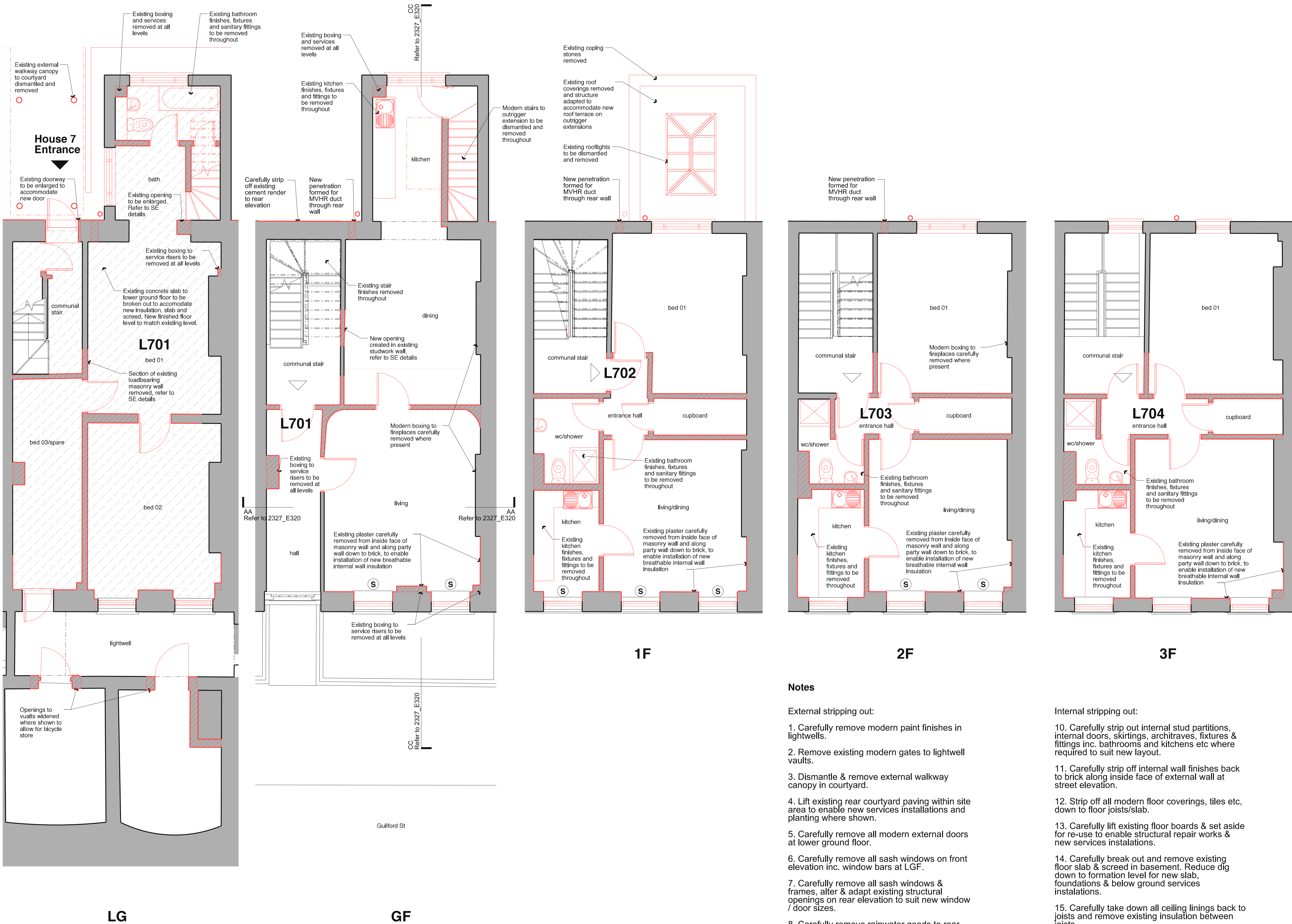
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

## 2327\_E300\_P1

Scale: 1:50 at A1  
1:100 at A3  
Date: 27.10.23  
Drawn: HH

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London NW5 2DX  
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E studio@burdhaward.com



## Notes

### External stripping out:

- Carefully remove modern paint finishes in lightwells.
- Remove existing modern gates to lightwell vaults.
- Dismantle & remove external walkway canopy in courtyard.
- Lift existing rear courtyard paving within site area to enable new services installations and planting where shown.
- Carefully remove all modern external doors at lower ground floor.
- Carefully remove all sash windows on front elevation inc. window bars at LGF.
- Carefully remove all sash windows & frames, alter & adapt existing structural openings on rear elevation to suit new window / door sizes.
- Carefully remove rainwater goods to rear elevation.
- Carefully strip off existing cement render to rear elevation where present.

### Internal stripping out:

- Carefully strip out internal stud partitions, internal doors, skirtings, architraves, fixtures & fittings inc. bathrooms and kitchens etc where required to suit new layout.
- Carefully strip off internal wall finishes back to brick along inside face of external wall at street elevation.
- Strip off all modern floor coverings, tiles etc, down to floor joists/slab.
- Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services instalations.
- Carefully break out and remove existing floor slab & screed in basement. Reduce dig down to formation level for new slab, foundations & below ground services installations.
- Carefully take down all ceiling linings back to joists and remove existing insulation between joists.
- Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

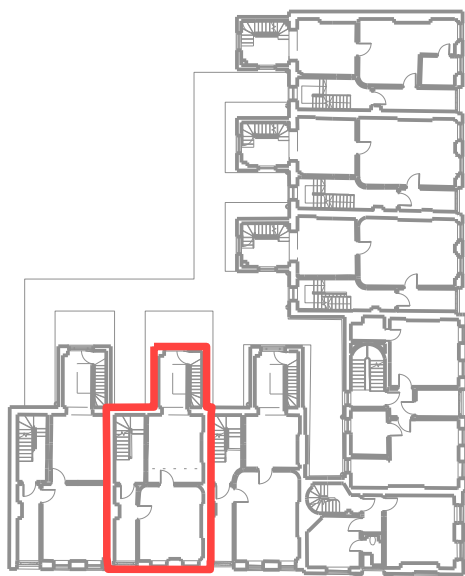
0 2m 5m





## Key:

- Existing retained
- Existing removed/adapted
- Existing removed fabric



P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

**No.90 Guilford Street  
Existing Elevations**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E310\_P1**

Scale: 1:50 at A1  
1:100 at A3  
Date: 25.10.23  
Drawn: HH

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No. 89

No. 90  
(House 7)

No. 91

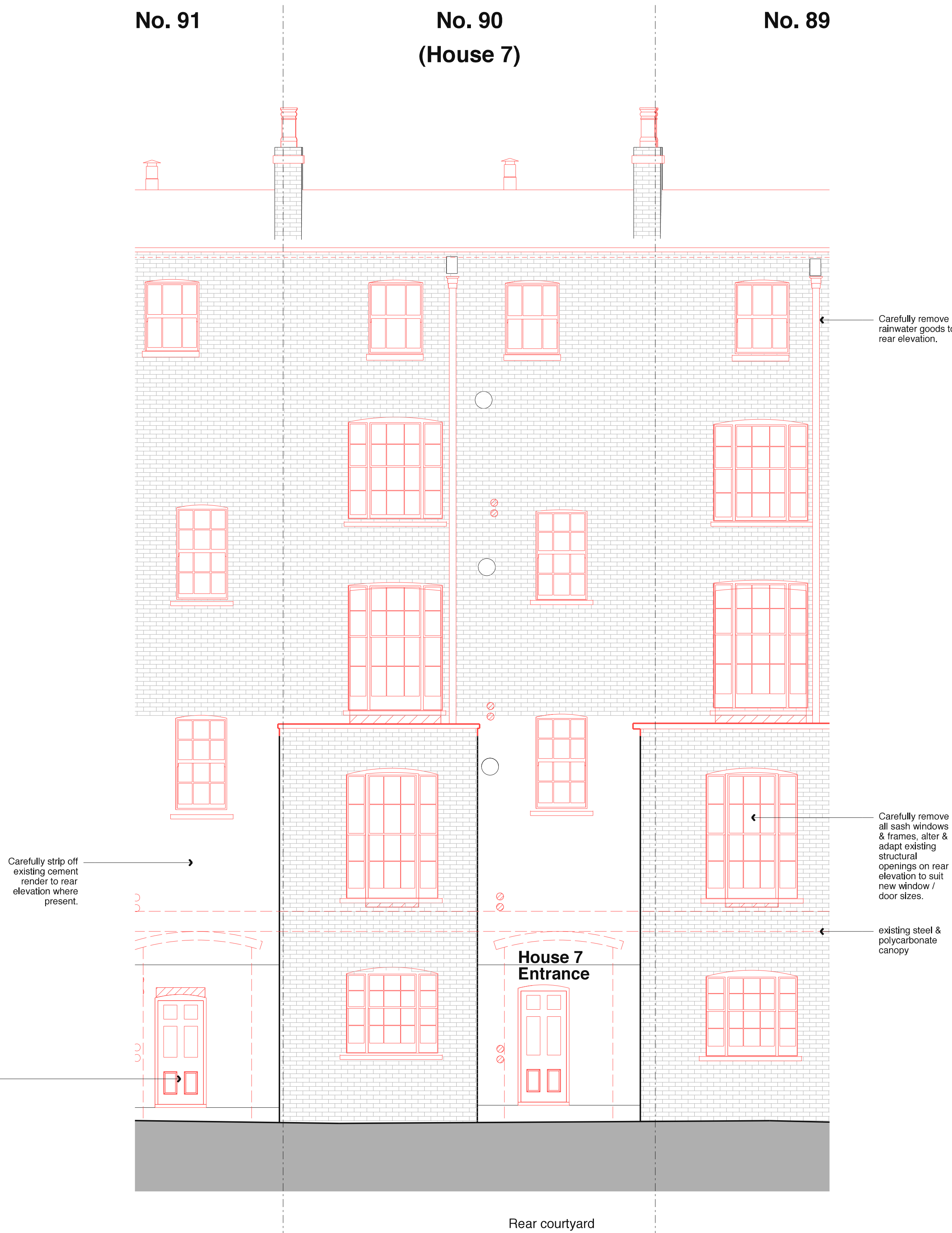


Front Elevation

No. 91

No. 90  
(House 7)

No. 89

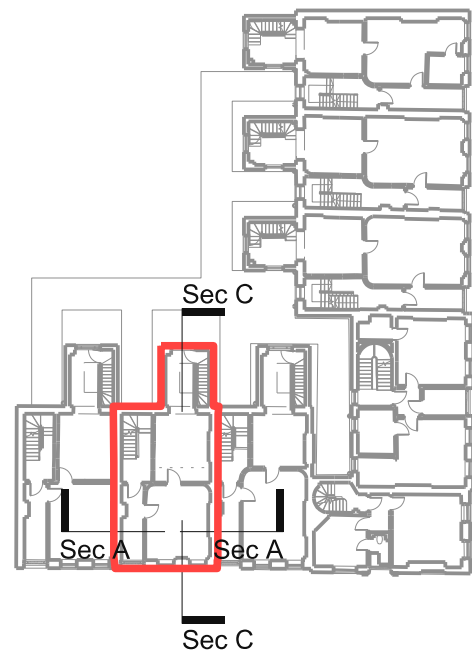


Rear Elevation

0 2m 5m

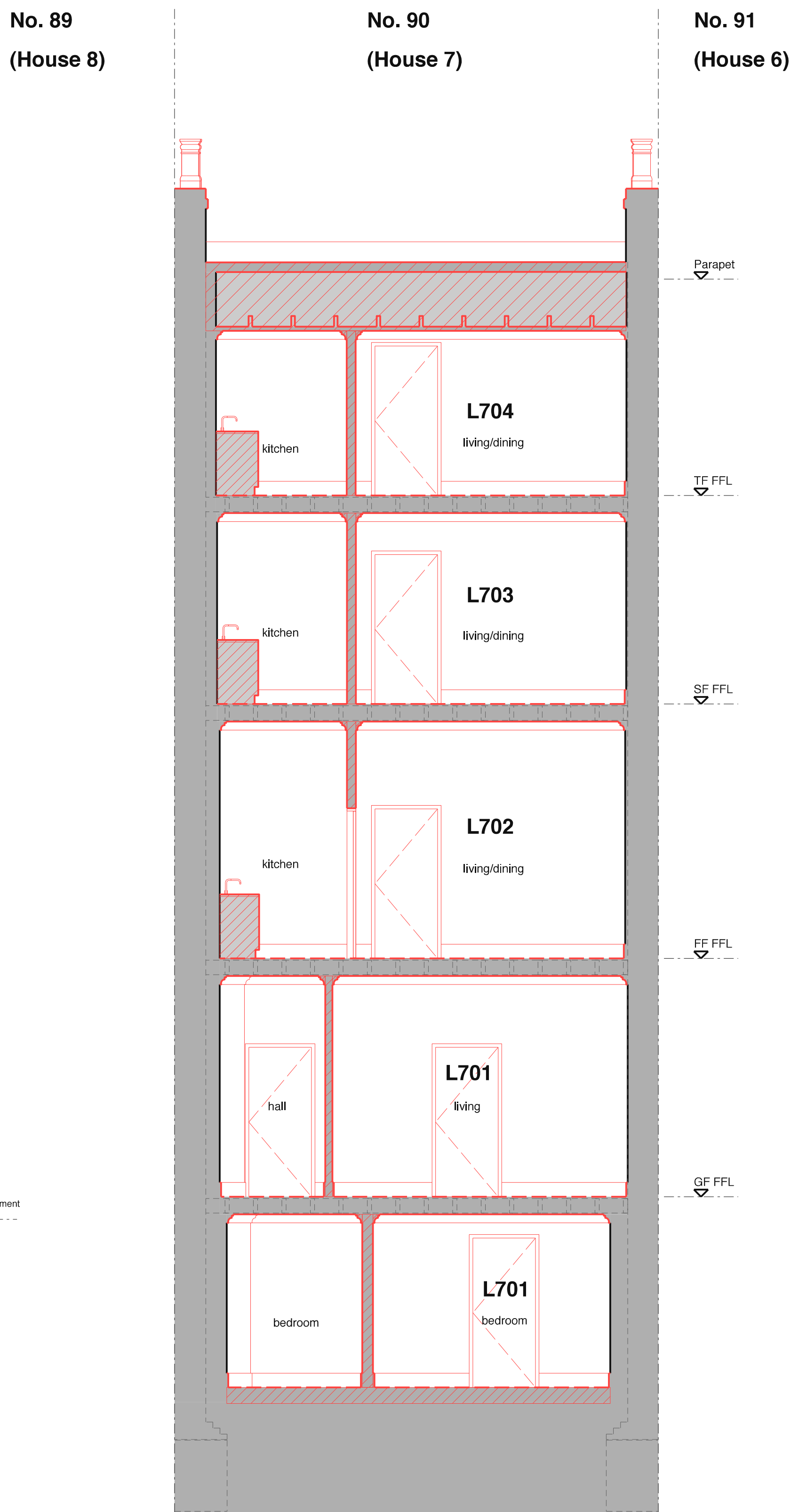
Key:

- Existing
- Existing removed/adapted
- Existing walls / roof removed
- Existing floorboards  
carefully lifted and set aside



Section CC

No. 90 Guilford St Existing Sections



Section AA



P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

No.90 Guilford Street  
Existing Sections  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

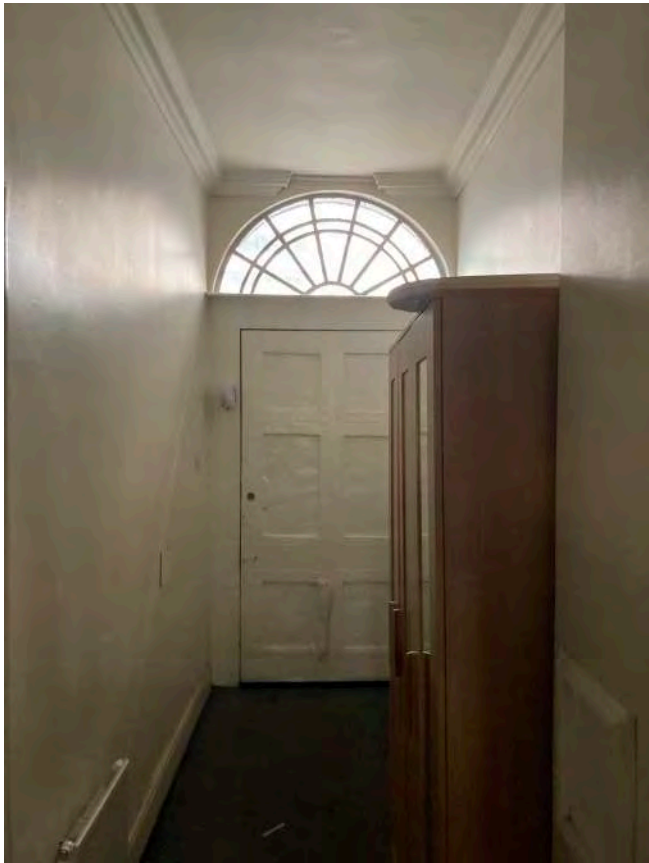
2327\_E320\_P1

Scale: 1:50 at A1  
1:100 at A3  
Date: 27.10.23  
Drawn: HH

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Original front doors out of use and hallways used as storage



Original box shutters remain in Ground Floor primary room



Original box shutters remain in 1st Floor primary room



2000s outriggers used to house internal stair and kitchen



Houses are entered at rear Lower Ground level, via the central courtyard



Lower ground rooms with external doors to lightwell being used as bedrooms



Downstand beams in second floor rear rooms indicate possible original structural layout



Internal windows required where outrigger layout blocks natural light to inner rooms

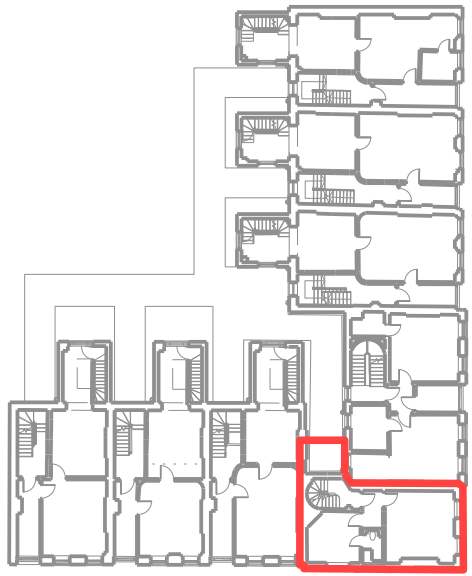
Copyright Burd Haward Architects Ltd.  
Unless otherwise stated, this drawing is for information only.  
Do not scale from this drawing except for planning purposes.  
All dimensions to be checked on site.

P1	05/07/24	AB	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning  
**No.90 Guilford Street**  
**Existing Photos**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N  
**2327\_E330\_P1**  
Scale: NTS  
Date: 27.10.23  
Drawn: HH

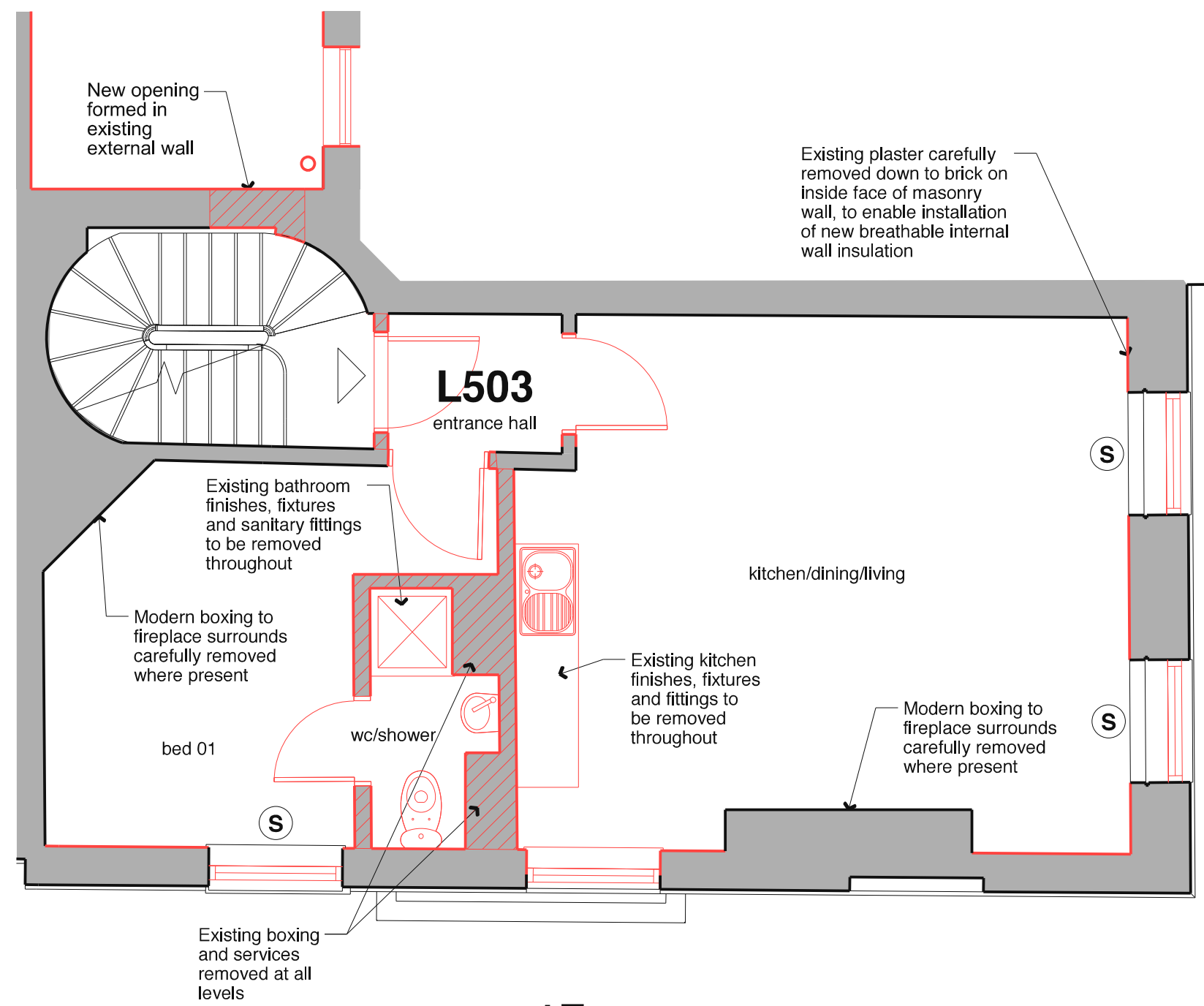
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London, N7 9DP  
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E studio@burdhaward.com



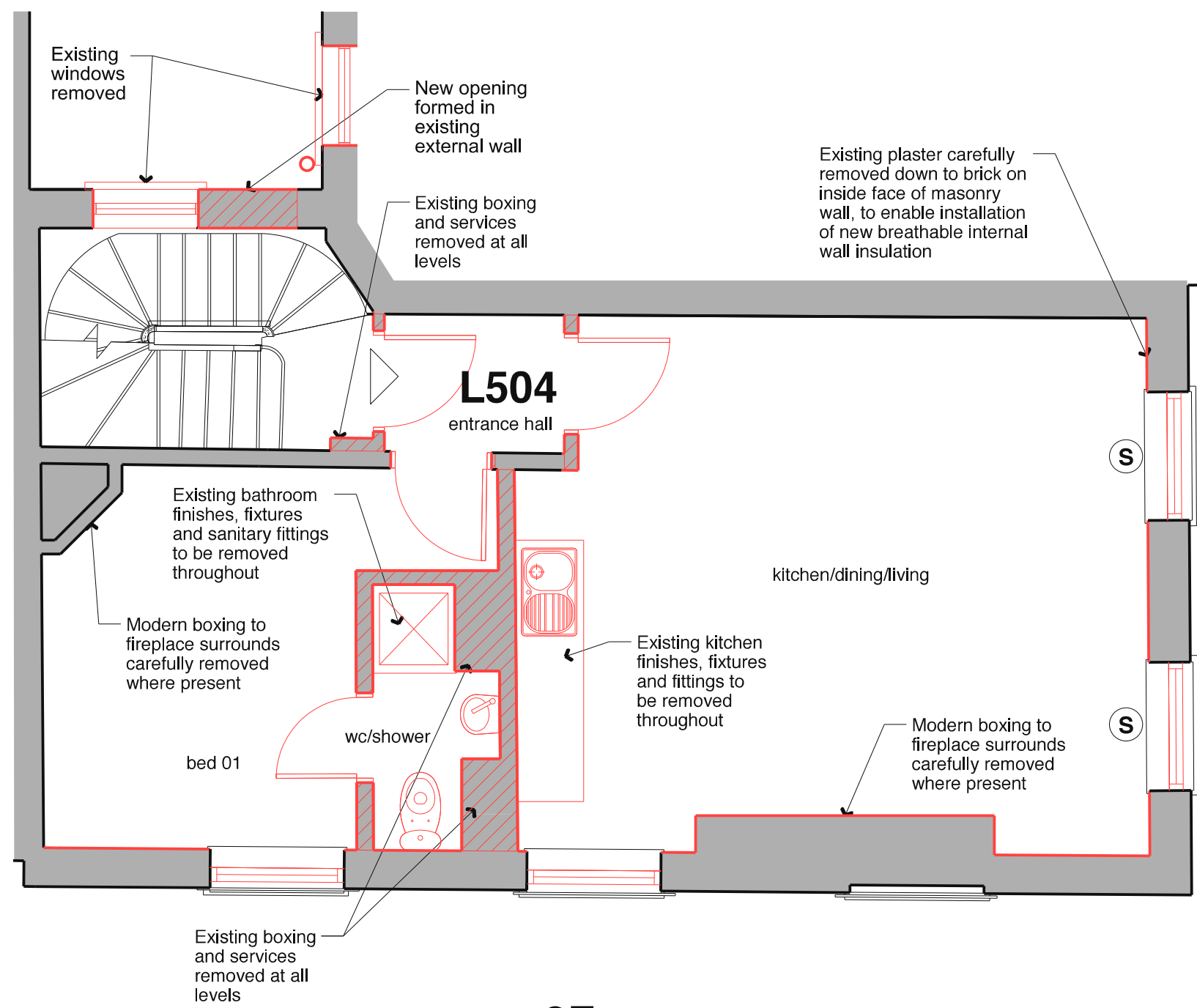


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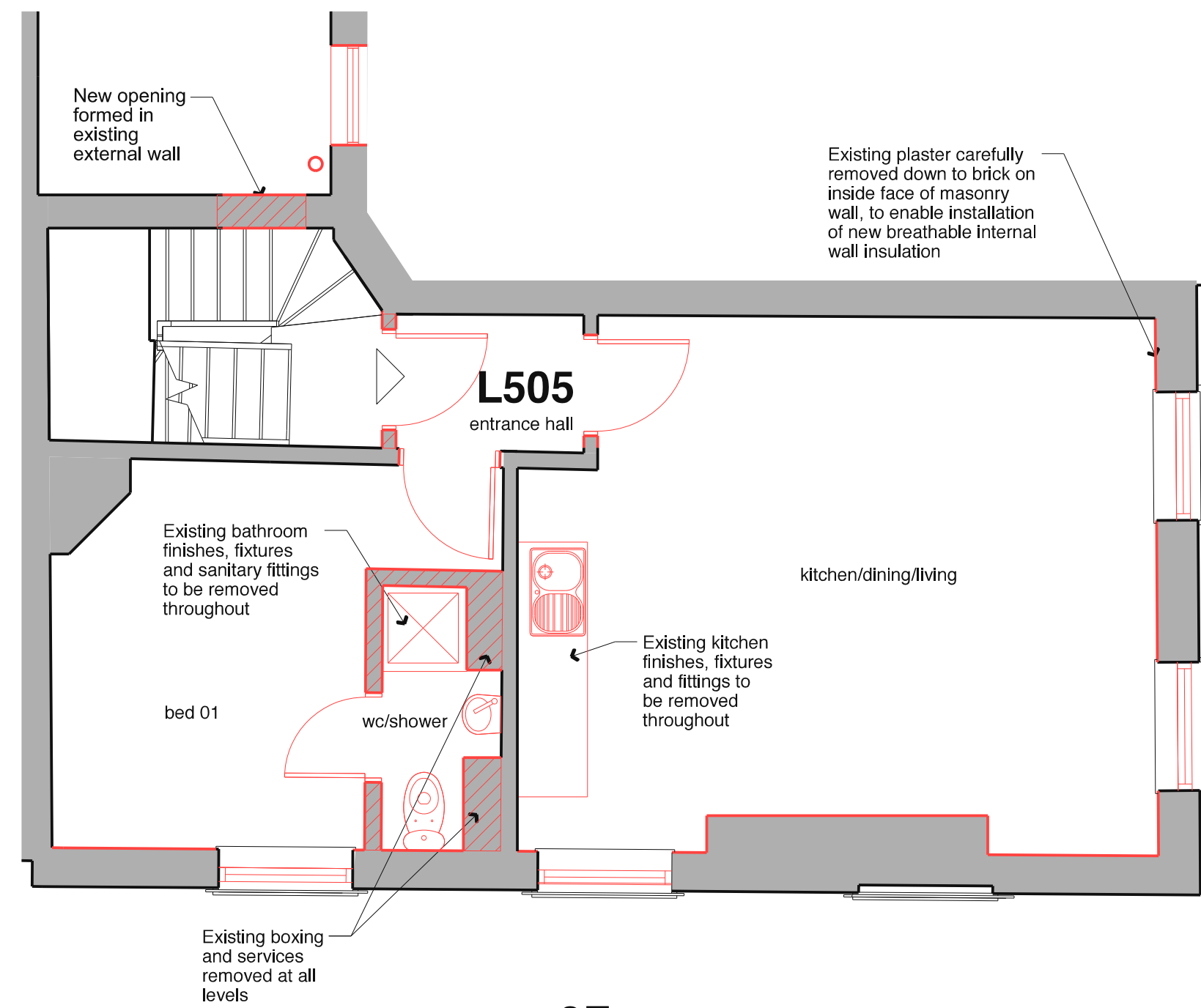
- Existing retained
- Existing removed
- Existing walls / fabric to be removed / adapted
- Existing concrete slab broken out and excavated
- Building entrance
- Unit front door
- Existing box shutters retained & refurbished



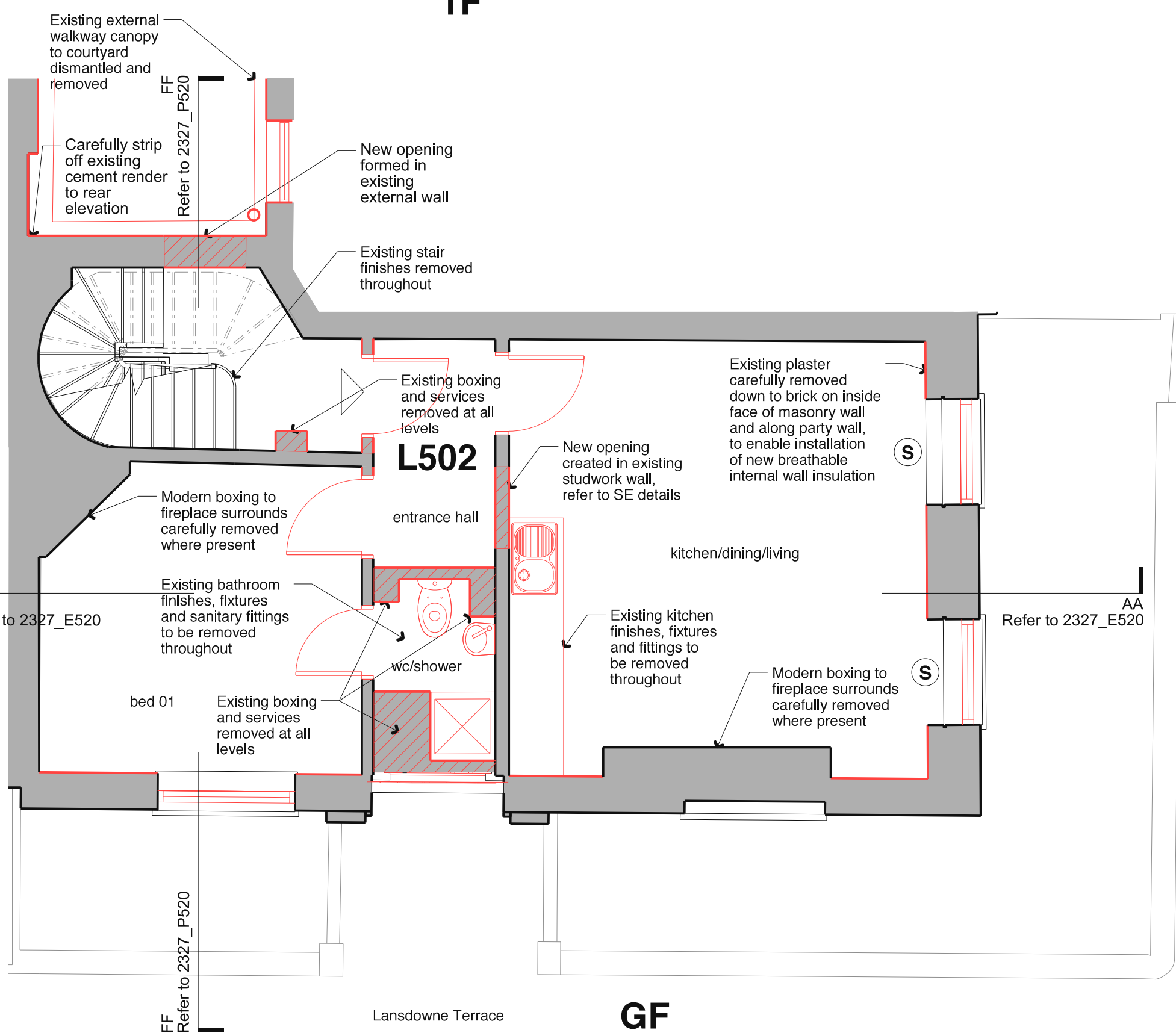
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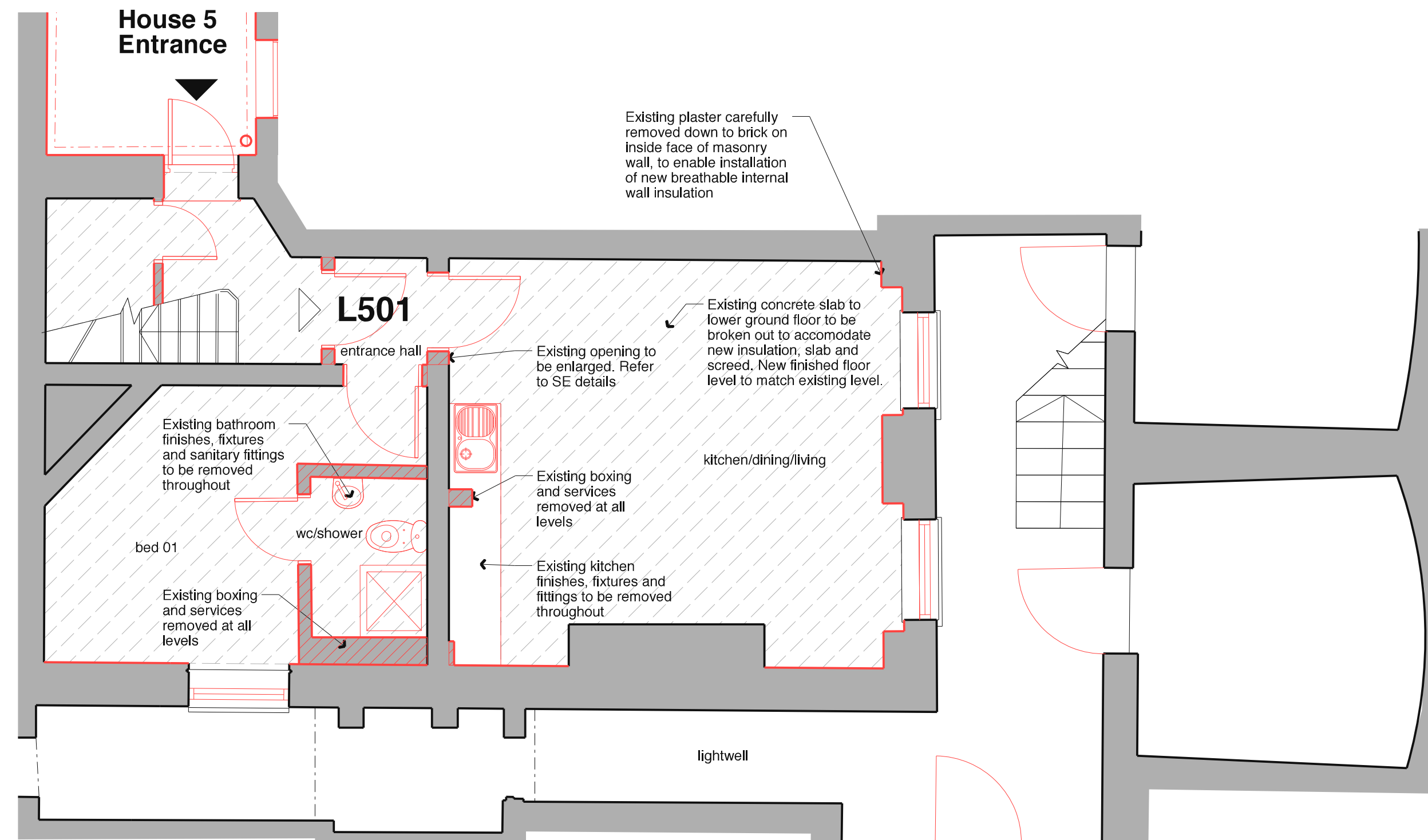
2F



3F



GF



LG

## Notes:

External stripping out:

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- Carefully remove all modern external doors at lower ground floor.
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- Carefully remove rainwater goods to rear elevation.
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- Carefully strip off internal wall finishes back to brick along inside face of external wall at street elevation.
- Strip off all modern floor coverings, tiles etc, down to floor joists/slab.
- Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services instalations.
- Carefully break out and remove existing floor slab & screed in basement. Reduce dig down to formation level for new slab, foundations & below ground services instalations.
- Carefully take down all ceiling linings back to joists and remove existing insulation between joists - subject to findings during initial investigation works. NOTE: House No. 92 has the highest potential for retained original fabric, including cornicing and original lathe and plaster walls.
- Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

**92 Guilford Street**  
**Existing Floor Plans**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E500\_P1**

Scale: 1:50 at A1  
1:100 at A3  
Date: 27.10.23  
Drawn: HH

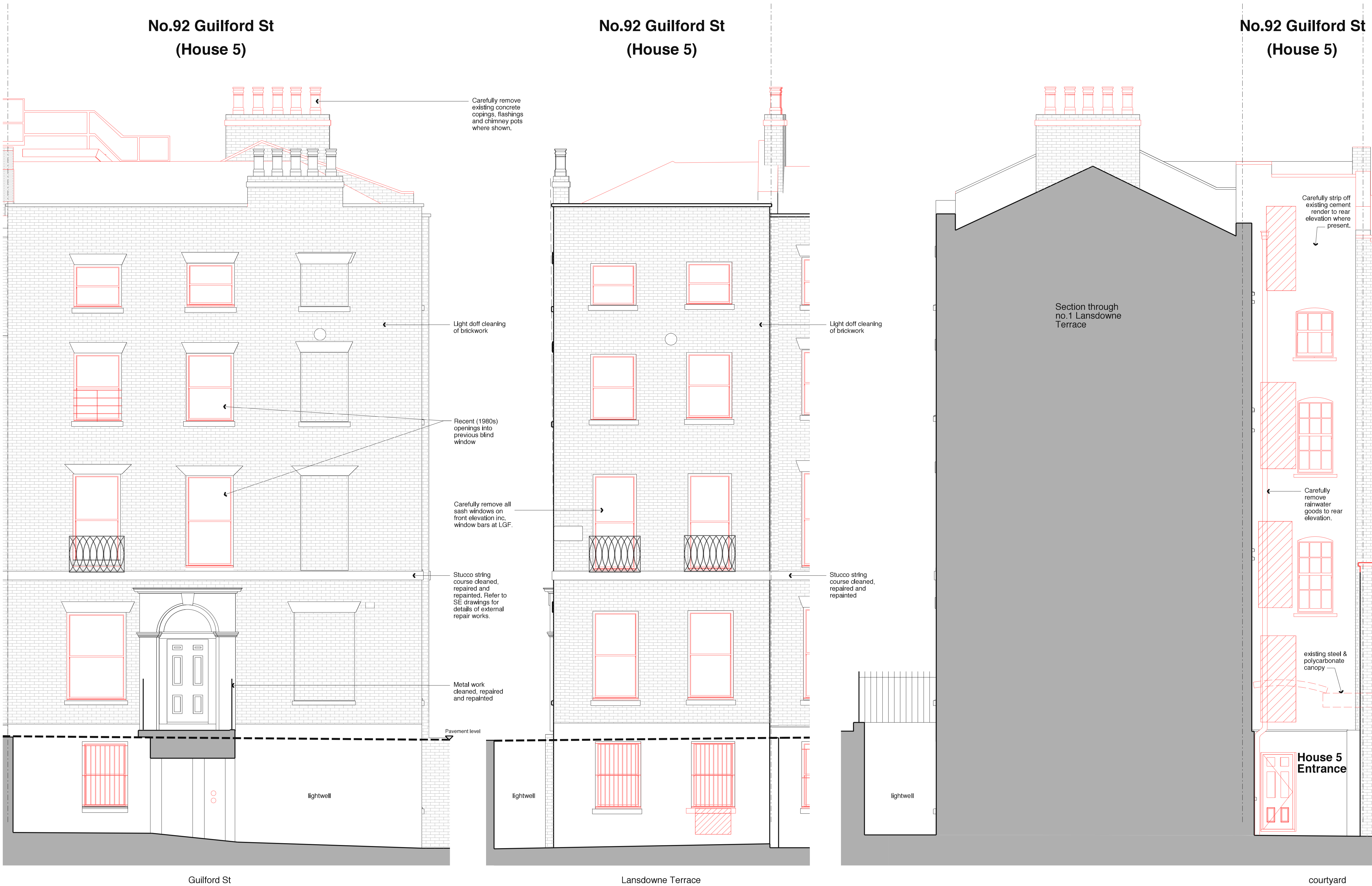
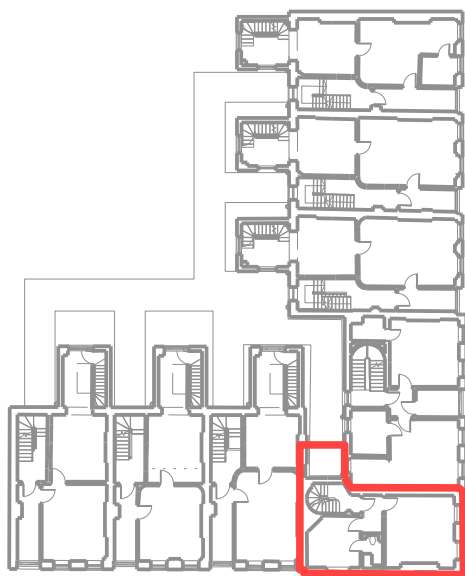
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Key:

- Existing retained  
— Existing removed/adapted  
Existing removed fabric



Front Elevation

No.92 Guilford St Existing Elevations

Side Elevation

Rear Elevation

P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

**No.92 Guilford St  
Existing Elevations**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E510\_P1**

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Date: 27.10.23  
Drawn: HH

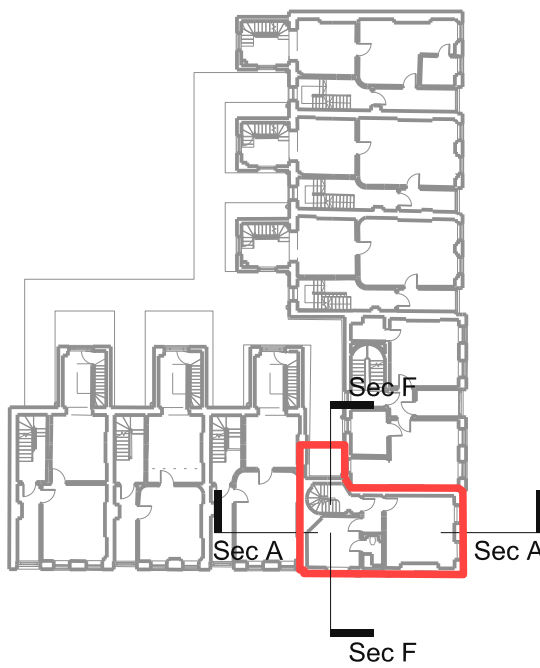
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0 2m 5m

Key:

- Existing
- Existing removed/adapted
- Existing walls / roof removed
- Existing floorboards  
carefully lifted and set aside



P1	05.07.24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

**No.92 Guilford St  
Existing Sections**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E520\_P1**

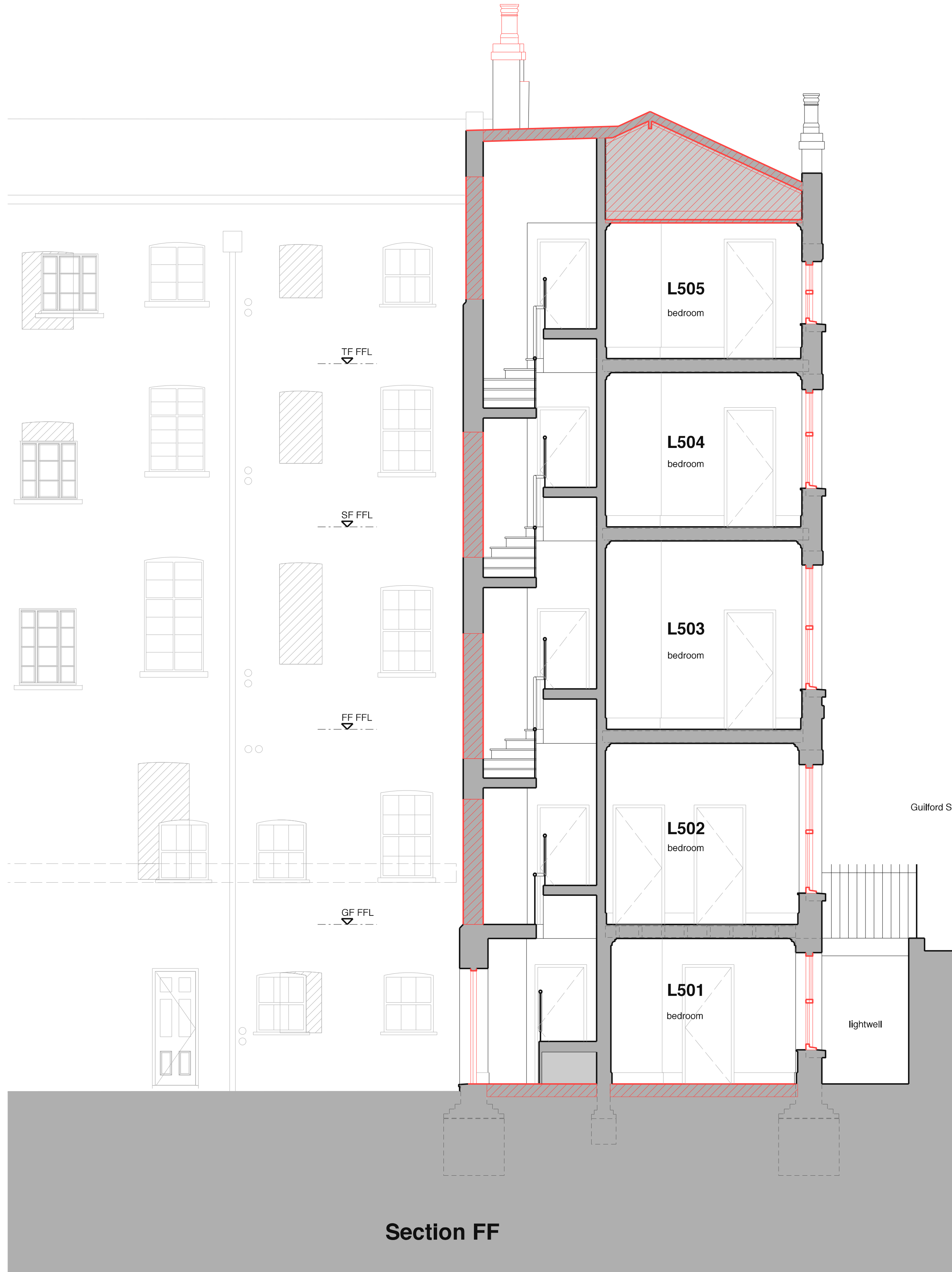
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Date: 27.10.23  
Drawn: HH

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Section AA



Section FF

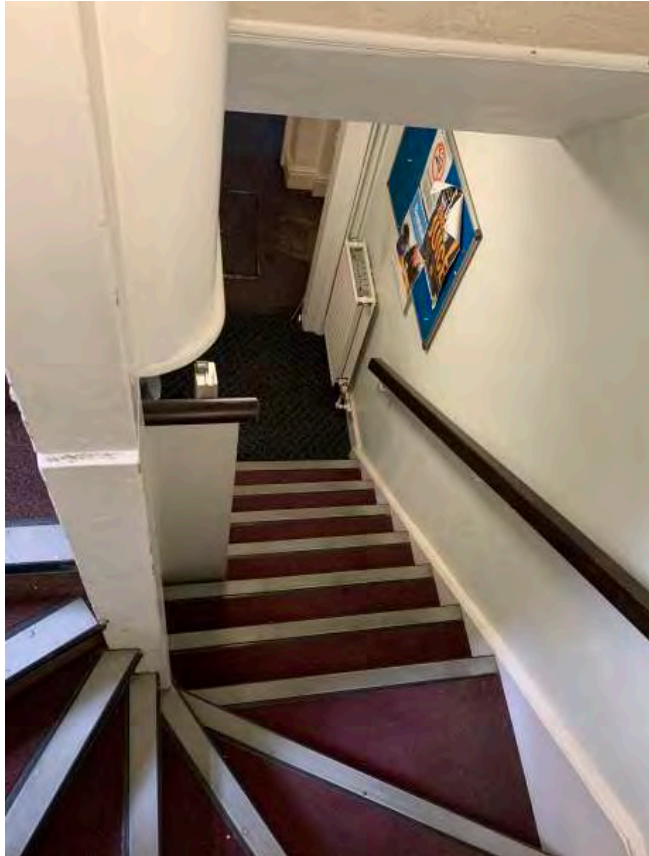
No.92 Guilford St Existing Sections

0 2m 5m

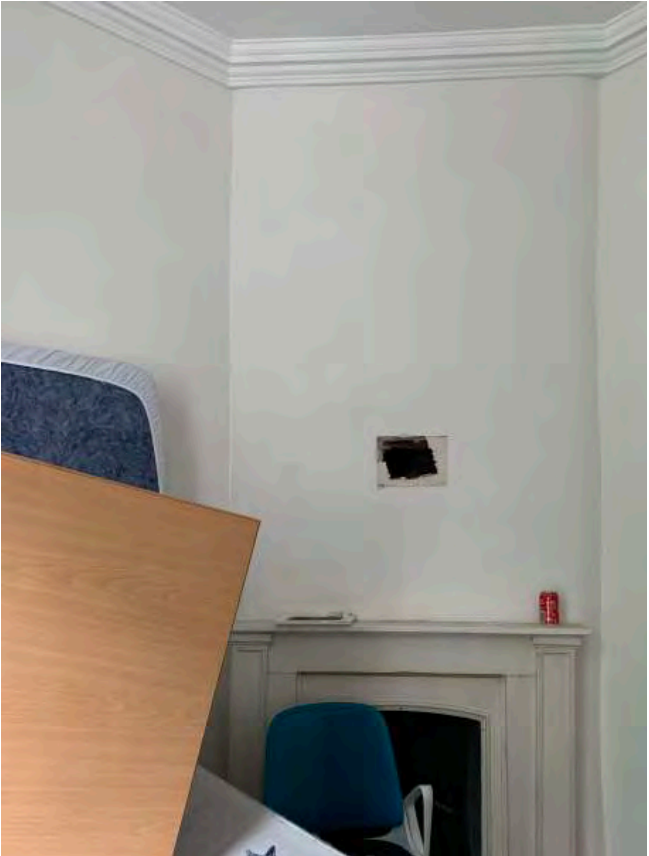




No.92 has prominent corner position and was lived in by James Burton (developer/builder of these houses). It has enhanced external detail and some remaining (presumed) original ironmongery at 1st floor



Lower-ground portion of stair is modern rebuild



Some surviving decorative fabric such as dentil corning at ground floor



Upper-floors stair is historic but has been subject to a significant structural support system



Bathroom blocks the original front door and is in sever state of disrepair



Original box shutters remain at 1st



Former blind windows were opened in 1980s

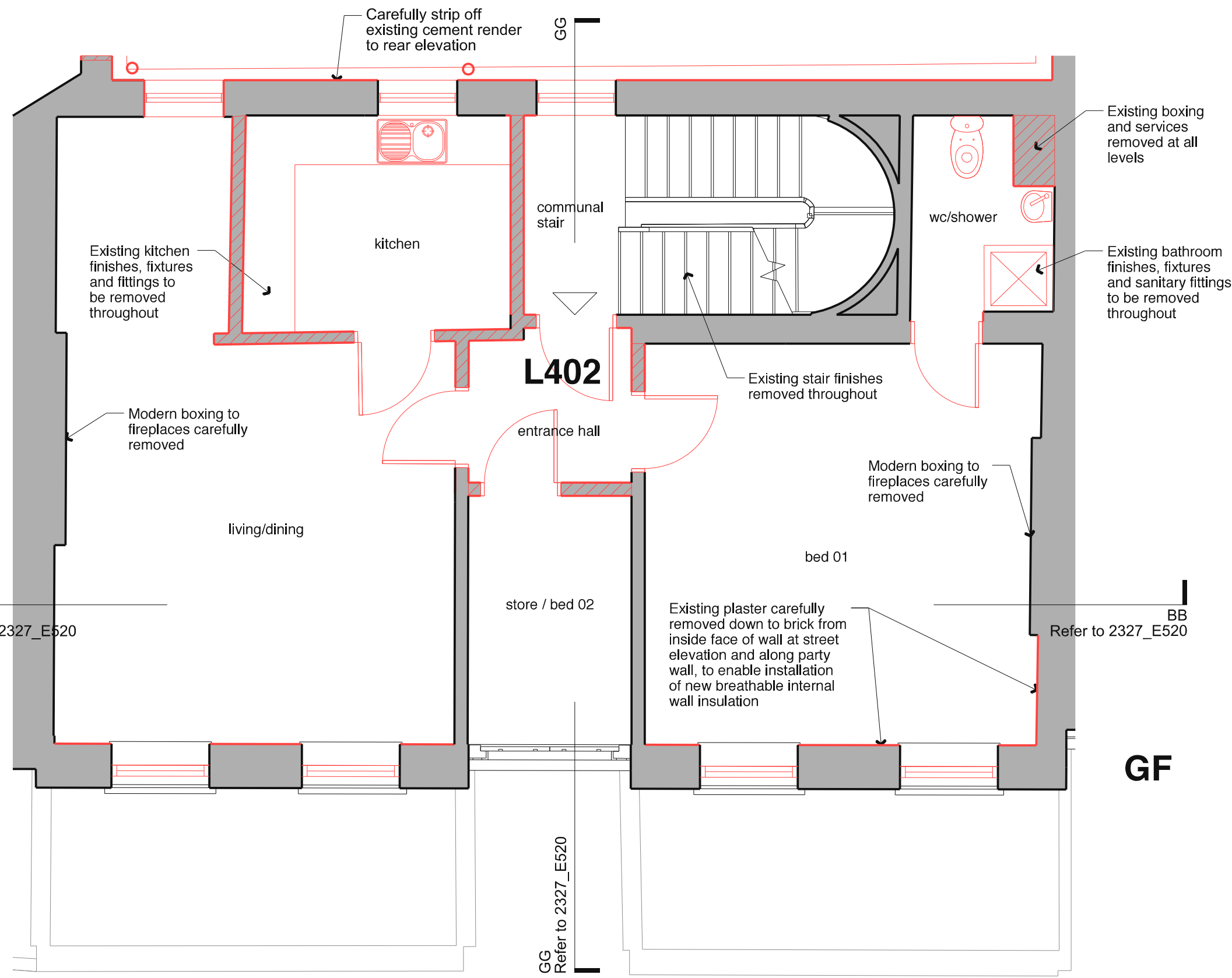


Presumed original guarding remains at 1st floor windows

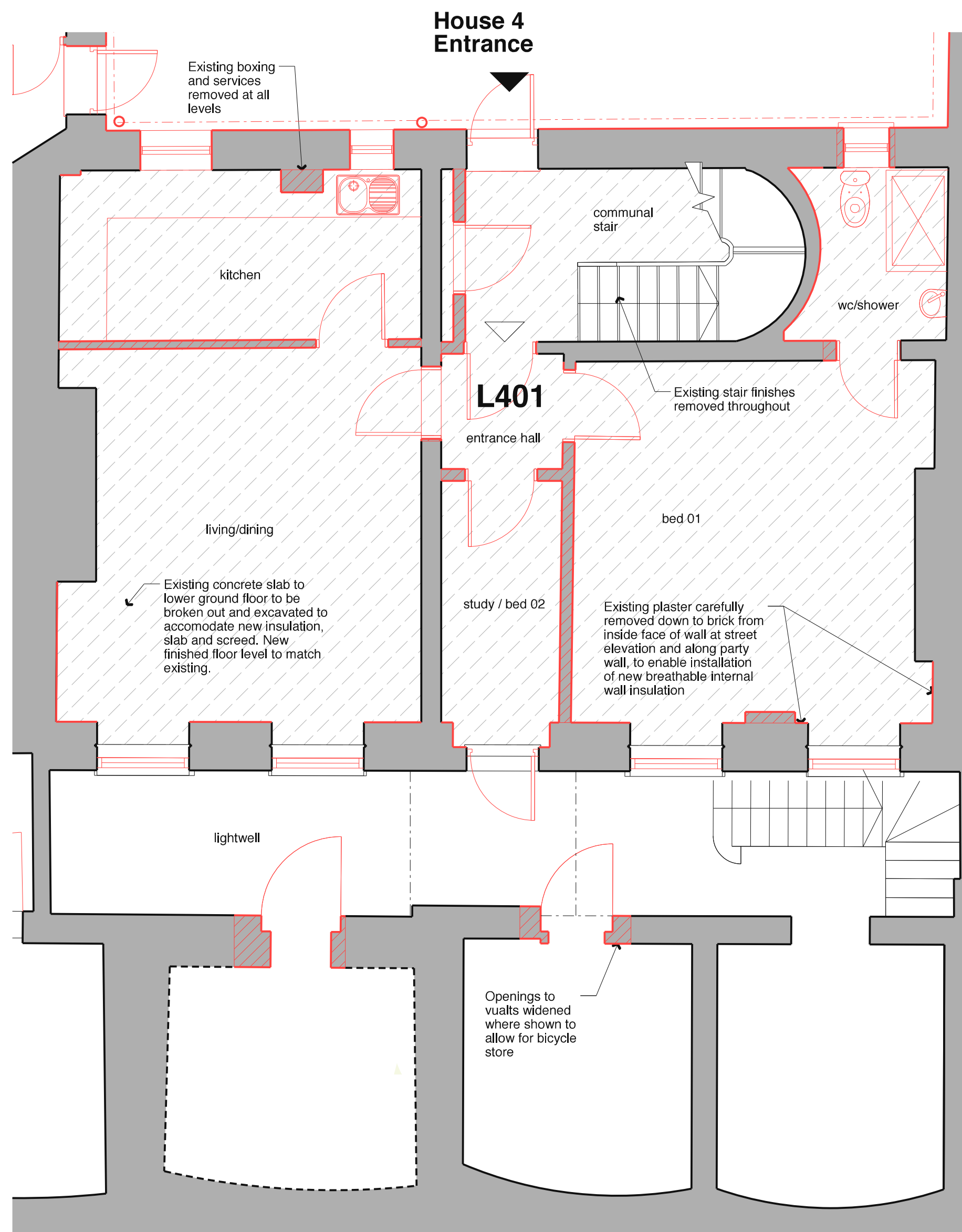
P1	05/07/24	LC	NI
Issued for planning			
A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning  
**No.92 Guilford Street**  
**Existing Photos**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N  
**2327\_E530\_P1**  
Scale: NTS  
Date: 27.10.23  
Drawn: HH



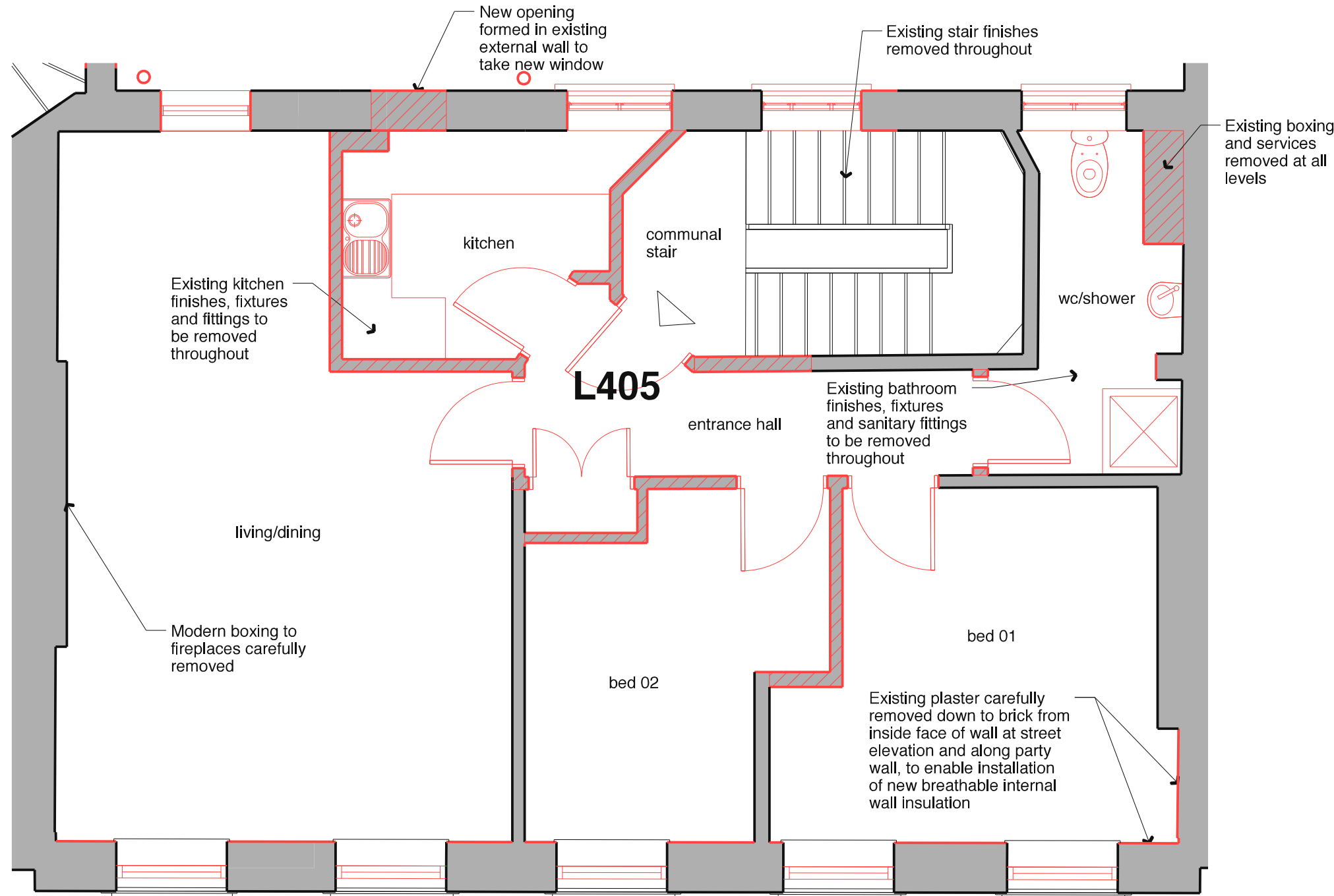


GF

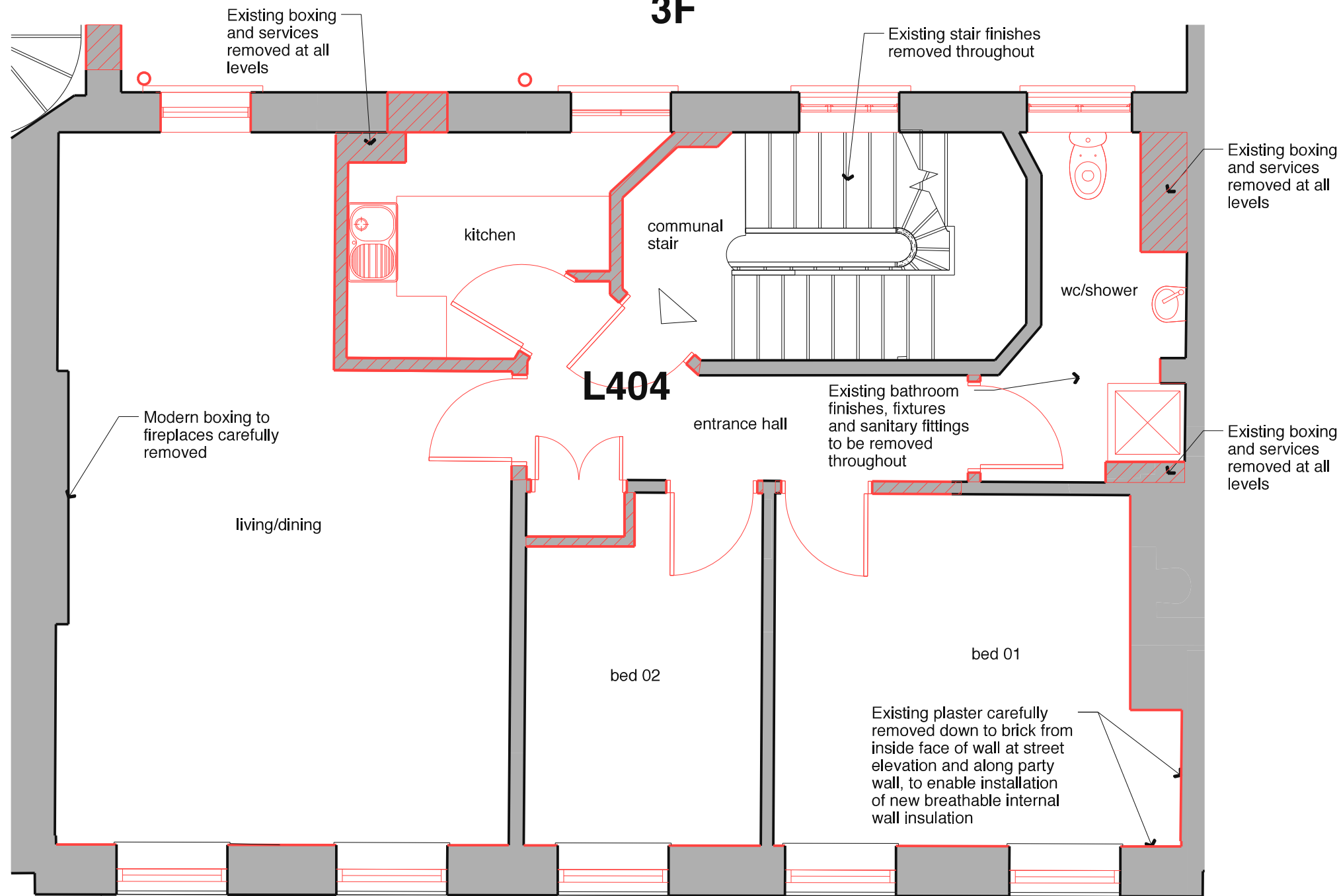


LG

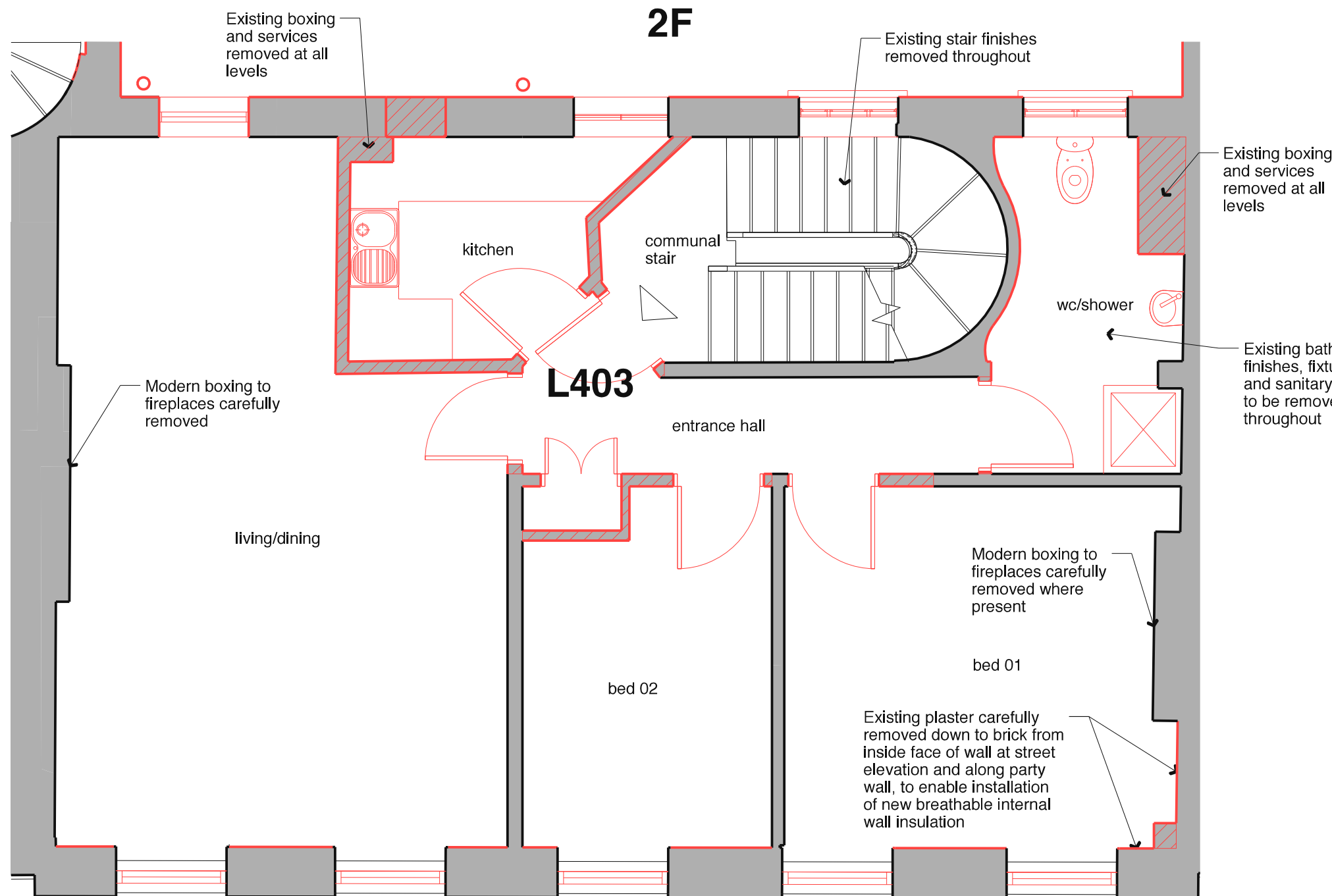
No.1 Lansdowne Terrace Existing Floor Plans



3F



2F



1F

## Notes

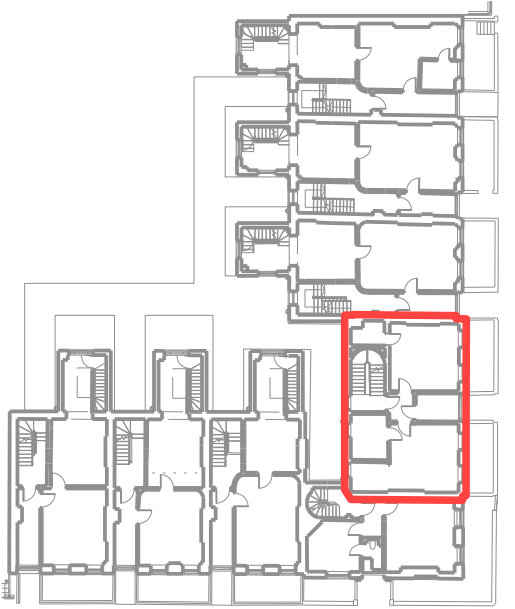
External stripping out:

1. Carefully remove modern paint finishes in lightwells.
2. Remove existing modern gates to lightwell vaults.
3. Dismantle & remove external walkway canopy in courtyard.
4. Lift existing rear courtyard paving within site area to enable new services installations and planting where shown.
5. Carefully remove all modern external doors at lower ground floor.
6. Carefully remove all sash windows on front elevation inc. window bars at LGF.
7. Carefully remove all sash windows & frames, alter & adapt existing structural openings on rear elevation to suit new window / door sizes.
8. Carefully remove rainwater goods to rear elevation.
9. Carefully strip off existing cement render to rear elevation where present.

Internal stripping out:

10. Carefully strip out internal stud partitions, internal doors, skirtings, architraves, fixtures & fittings inc. bathrooms and kitchens etc where required to suit new layout.
11. Carefully strip off internal wall finishes back to brick along inside face of external wall at street elevation.
12. Strip off all modern floor coverings, tiles etc, down to floor joists/slab.
13. Carefully lift existing floor boards & set aside for re-use to enable structural repair works & new services instalations.
14. Carefully break out and remove existing floor slab & screed in basement. Reduce dig down to formation level for new slab, foundations & below ground services instalations.
15. Carefully take down all ceiling linings back to joists and remove existing insulation between joists.
16. Strip out all existing services, connections, radiators, lights etc back to incoming supply - refer to ME drawings.

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All dimensions to be checked on site



## Key:

- Existing retained
- Existing removed
- Existing walls / fabric to be removed / adapted
- Existing concrete slab broken out and excavated
- Building entrance
- Unit front door

P1	05.07.24	LC	NI
Issued for planning			
Revision	Date	By	Checked

For  
Planning

**No.1 Lansdowne Terrace  
Existing Floor Plans and  
Stripping out**

Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E600\_P1**

Scale: 1:50 at A1  
1:100 at A3  
Date: 25.07.23  
Drawn: LC

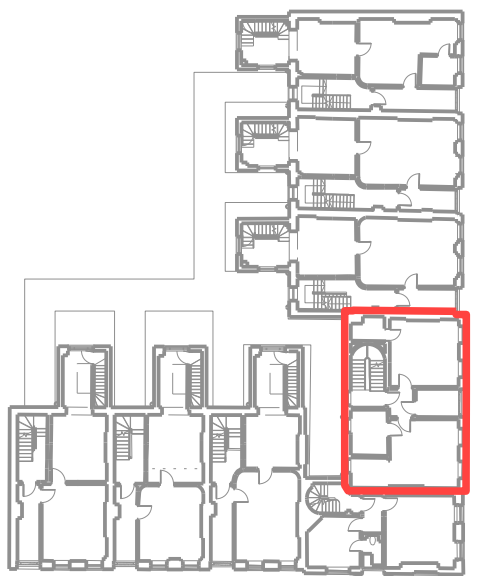
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## Key:

- Existing retained
- Existing removed/adapted
- Existing removed fabric



P1	05.07.24	LC	NI
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For  
Planning

**No.1 Lansdowne Terrace  
Existing Elevations**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E610\_P1**

Scale: 1:50 at A1  
1:100 at A3  
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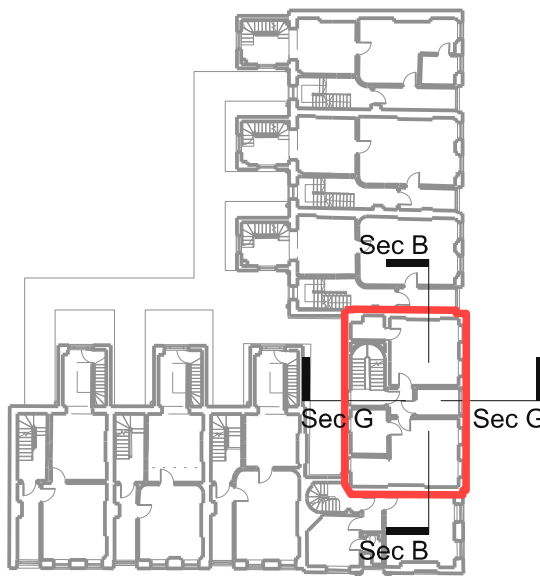


Front Elevation

Rear Elevation

Key:

- Existing
- Existing removed/adapted
- Existing walls / roof removed
- Existing floorboards  
carefully lifted and set aside



P1	05.07.24	LC	NI
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For  
Planning

**No.1 Lansdowne Terrace  
Existing Sections**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E620\_P1**

Scale: 1:50 at A1  
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No. 92  
(House 5)

No. 1  
(House 4)

No. 2  
(House 3)

Parapet

Pavement

TF FFL

SF FFL

FF FFL

GF FFL

Section GG

Section BB

No. 1 Lansdowne Terrace Existing Sections

0 2m 5m





Original front doors out of use and hallways used as storage



Existing sash windows to front elevation



Existing communal staircase



Existing kitchens in disrepair



Houses are entered at rear Lower Ground level, via the central courtyard



Lower ground rooms with external doors to lightwell being used as bedrooms



Bathrooms are cramped, in disrepair and many fixtures and fittings are at end of life



Damage to existing curved stair wall

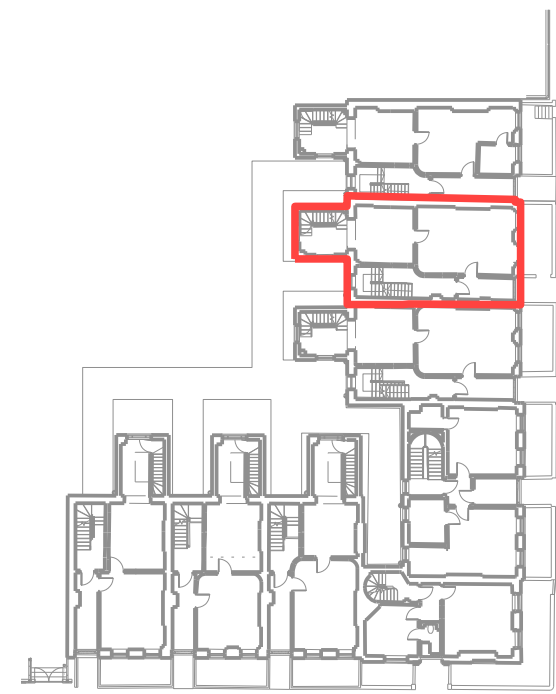
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Revision	Date	By	Checked

For  
Planning  
**No.1 Lansdowne Terrace**  
**Existing Photos**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N  
**2327\_E630\_P1**  
Scale: NTS  
Date: 04.07.2  
Drawn: HH

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### Key:

- Existing retained
- Existing removed/adapted
- Existing walls / fabric to be removed / adapted
- Existing concrete slab broken out and excavated
- Building entrance
- Unit front door

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A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

### No.3 Lansdowne Terrace Existing Floor Plans and Stripping Out

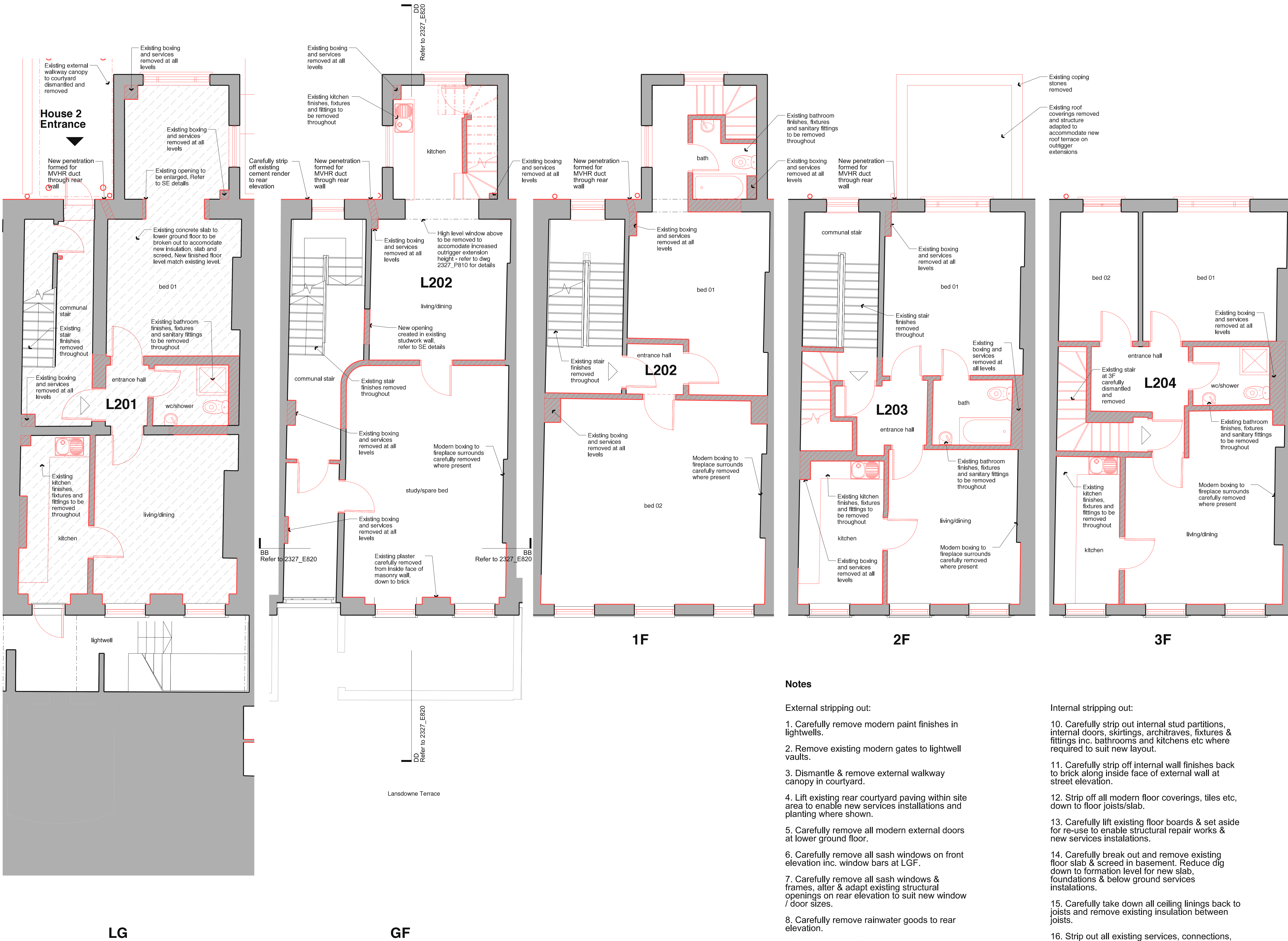
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

## 2327\_E800\_P1

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Date: 27/10/23  
Drawn: HH

# BHA

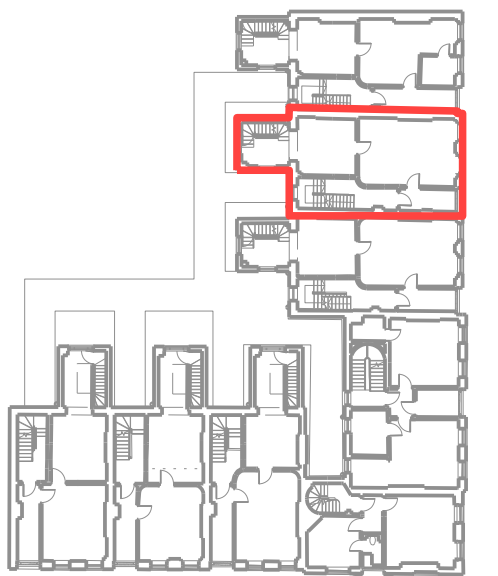
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No.3 Lansdowne Terrace Existing Floor Plans

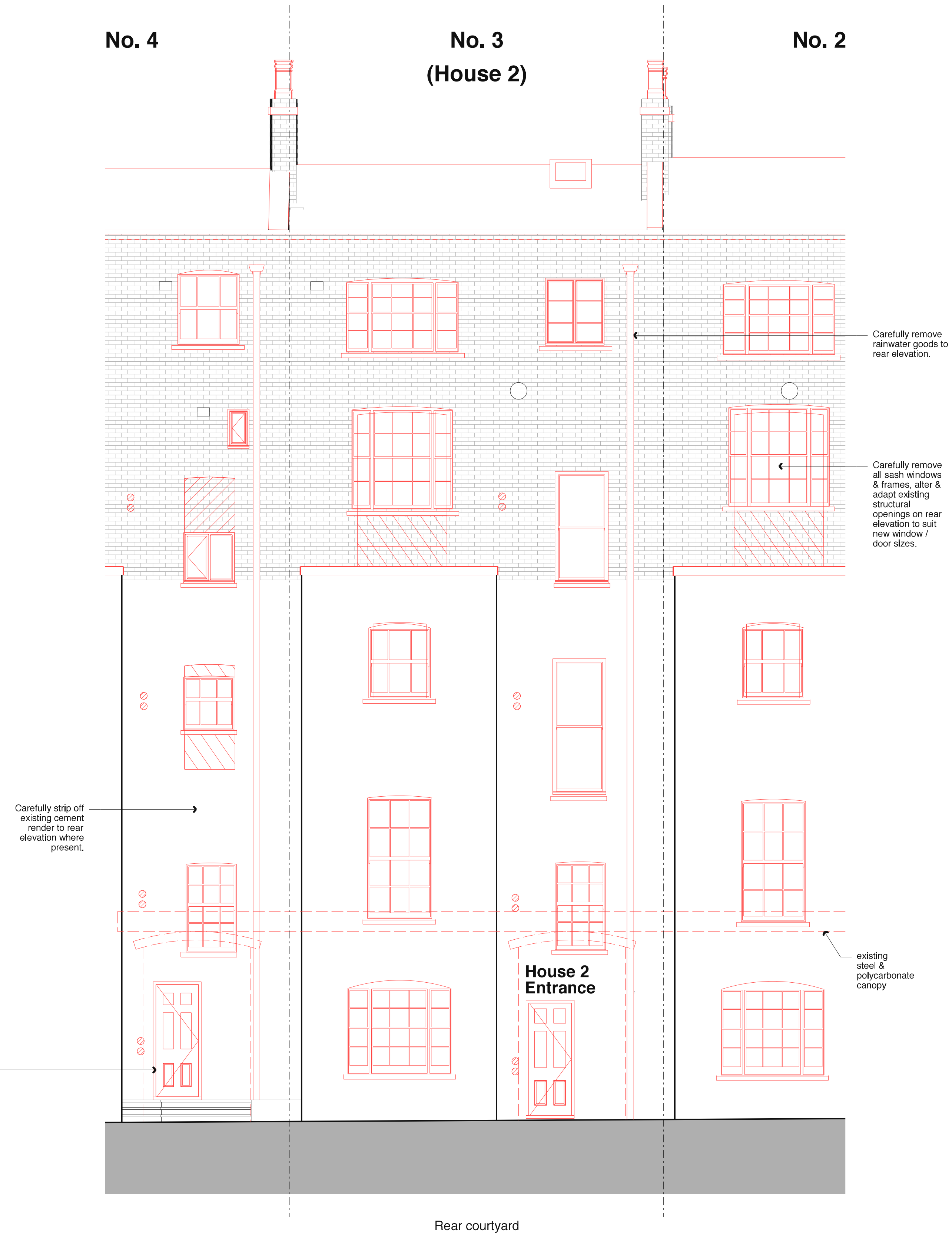
## Key:

- Existing retained
- Existing removed/adapted
- Existing removed fabric



Front Elevation

## No.3 Lansdowne Terrace Existing Elevations



Rear Elevation

P1	05.07.24	LC	NI
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A	27/10/23	HH	CB
Issued for listed building & planning pre-app			
Revision	Date	By	Checked

For  
Planning

**No.3 Lansdowne Terrace  
Existing Elevations**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E810\_P1**

Scale: 1:50 at A1  
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Date: 27.10.23  
Drawn: HH

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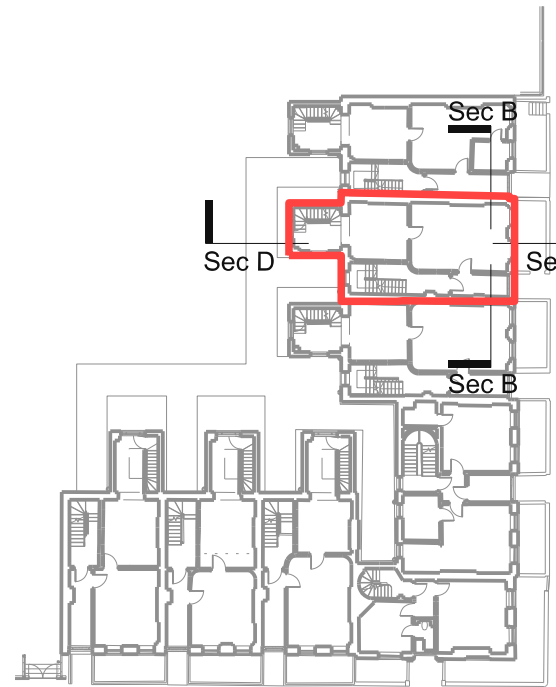
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0 2m 5m



Key:

- Existing
- Existing removed/adapted
- Existing walls / roof removed
- Existing floorboards  
carefully lifted and set aside



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Revision	Date	By	Checked

For  
Planning

**No.3 Lansdowne Terrace  
Existing Sections**  
Lansdowne and Guilford  
Townhouses Redevelopment,  
WC1N

**2327\_E820\_P1**

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Date: 27.10.23  
Drawn: HH

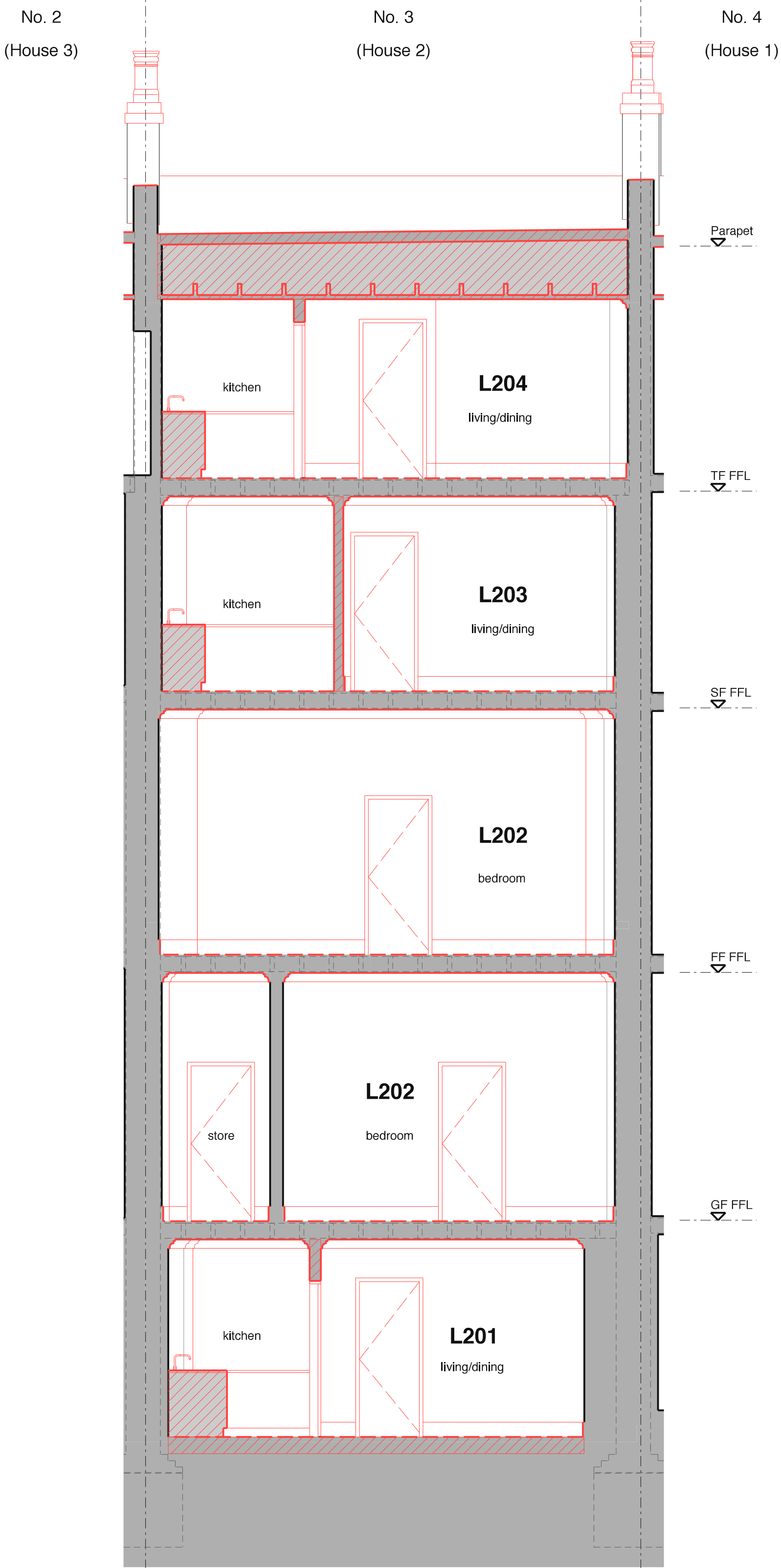
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Section DD

No.3 Lansdowne Terrace Existing Sections



Section BB







Primary street facing rooms used as multiple occupancy bedrooms



Lower-ground floor bedroom in modern outrigger extension



Risers disrupt layout of original plan form in primary rooms



Outrigger layout causes inner rooms with limited natural light



Bathrooms are cramped, in disrepair and many fixtures and fittings are at end of life



Outrigger with kitchen and internal stair for maisonette



Primary street facing rooms subdivided with temporary partition and used as multiple occupancy bedrooms



Modern single glazed sashes in historic openings. No surviving box shutters in Lansdowne Terrace.

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Planning  
**No.3 Lansdowne Terrace**  
**Existing Photos**  
Lansdowne and Guilford  
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