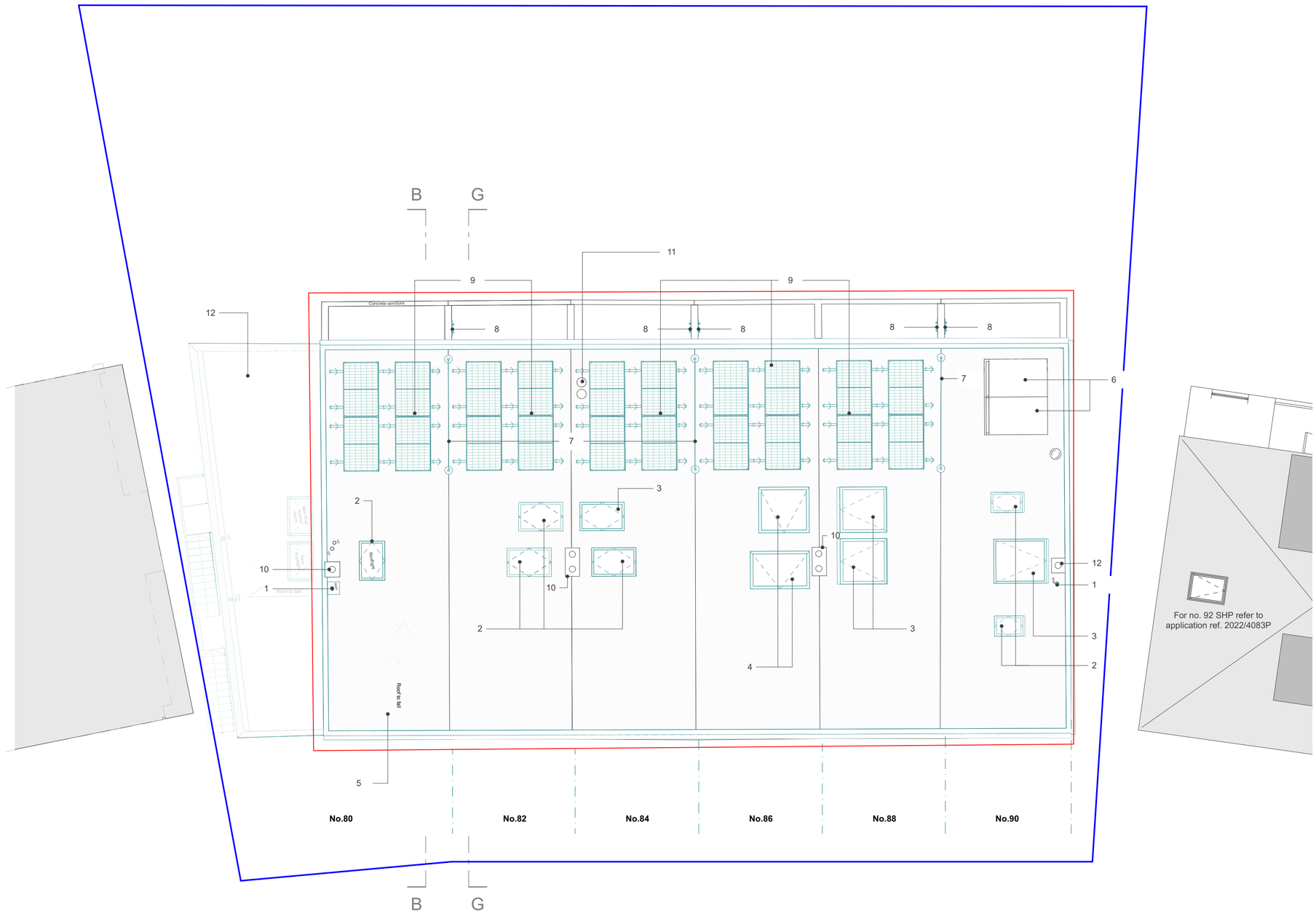
Appendix 2
Proposed drawings



106

No80 to No90 South Hill Park - Proposed Terrace Roof Plan

1:100

Key

- Existing
- Proposed
- No80 to 90 South Hill Park, NW3 2SN Development proposal boundary
- No80 to 90 South Hill Park, NW3 2SN Site boundary

1. Existing RWP retained
2. Existing or replacement rooflight reinstated in current location, following insulation of existing roof
3. New rooflight
4. Rooflight approved under planning ref. 2023/3623/P & 2023/4232/L
5. Existing roof insulated to achieve U-Value of 0.15 W/M²K in line with current Building Regulations requirements. New bituminous roll-out membrane waterproofing installed on top
6. Existing solar panels retained
7. New mansafe System
8. Ladder securing anchor point for safe roof access
9. New solar pandels set at minimum angle (10deg)
10. Existing flue stack repaired
11. Existing stainless steel flue
12. New roof extension at no80 SHP - refer to no80 application ref. 2024/0639/P & 2024/0912/L

Note:
New rooflghts at front and ASHPs and louvred enclosures, including any associated structure omitted from this application

A

N

0 1 2 3m

Rev:	Date:	Description
A	23.05.24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Proposed Terrace Roof Plan
Drawing no: 2203-3-106
Rev: A Status: Stage 3
Scale: 1:100@A2 Date: 31/05/2024

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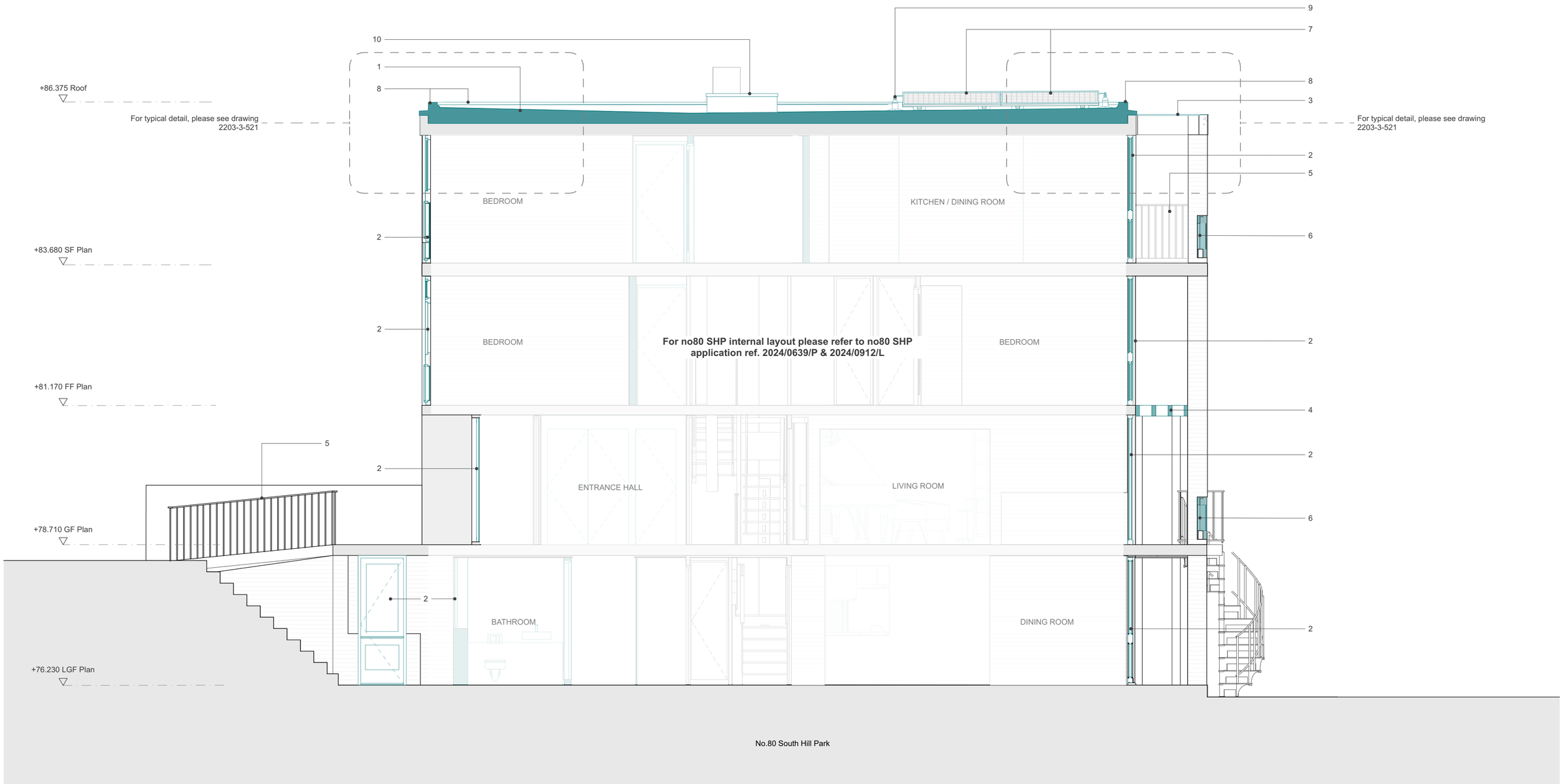


202

No80 to No90 South Hill Park - Section B - Proposed Section through no80 SHP

1:50

Key

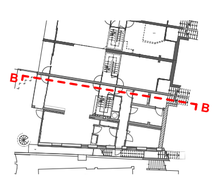
- Existing
- Proposed

1. New roof build-up insulated to achieve U-Value of 0.15 W/M²K in line with current Building Regulations requirements. Waterproofing to match existing
2. New timber framed windows to match original design from 1950s, to improve the existing thermal building performances to current Building Regulation standards
3. Protective metal capping to rear concrete beams to match roof edge flashing
4. Existing rotten brise soleis reinstated with new to match
5. Existing metal railing refurbished
6. Original terrace balustrades reinstated to match original design
7. Roof mounted solar panels set at 10degree angle, installed across the rear terrace roof
8. New roof perimeter upstand and flashing to accommodate for new roof build up
9. Mansafe system for safe roof access and maintenance
10. Existing rooflight reinstated in current location, following insulation of existing roof

Note: for the internal layout of no80 SHP, refer to no80 application ref. 2024/0639/P & 2024/0912/L

Note:
New rooflghts at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application

A



0 0.5 1 2m

Rev:	Date:	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Section B - Proposed Section through no80 SHP
Drawing no: 2203-3-202
Rev: A Status: Stage 3
Scale: 1:50@A2 Date: 31/05/2024

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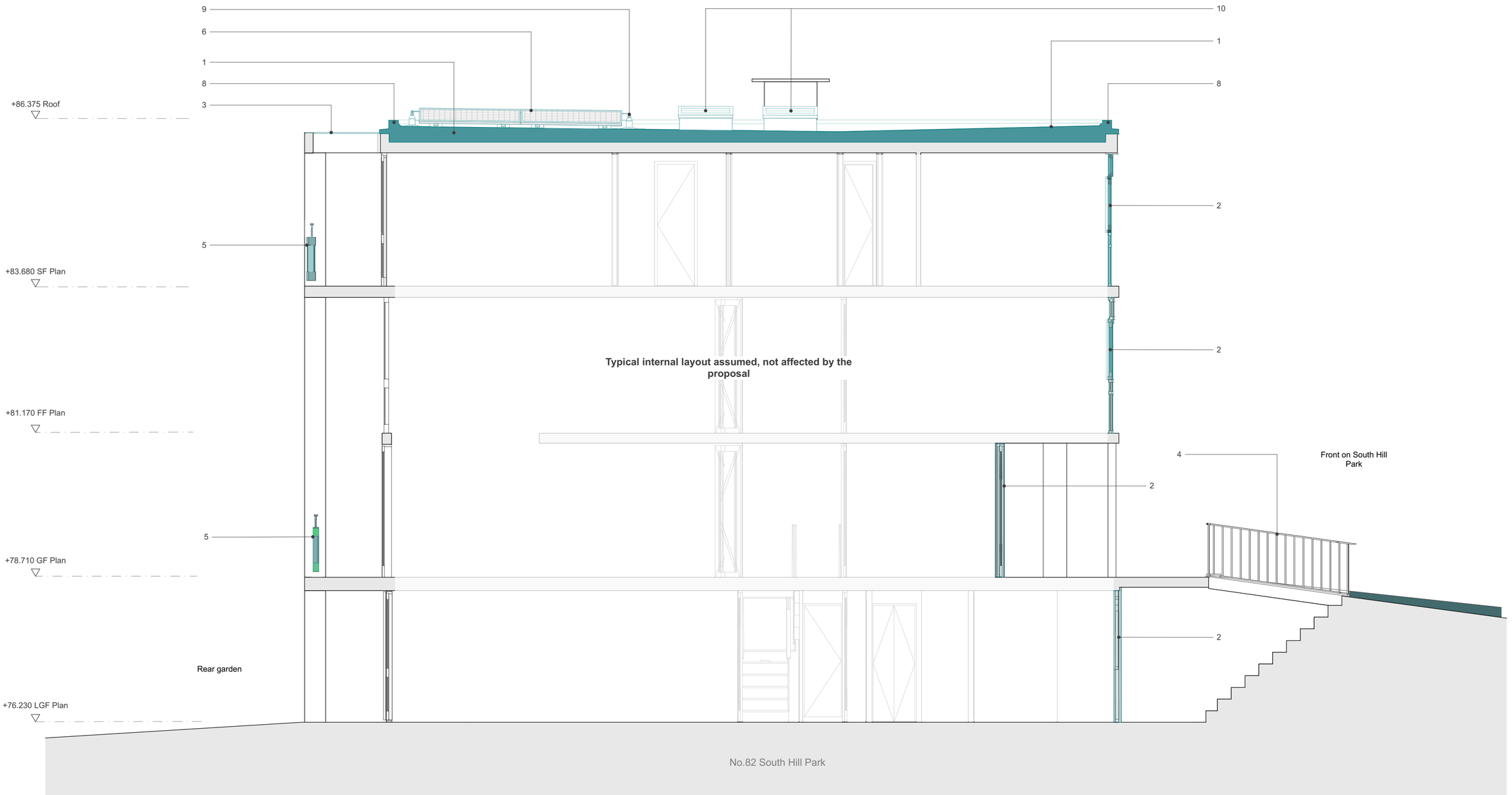


206 No80 to 90 SHP - Proposed typical Terrace Section through no82 SHP 1:50

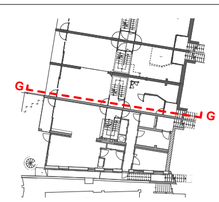
Key

- Existing
- Proposed

1. New roof build-up to achieve U-Value of 0.15 W/M²K in line with current Building Regulation requirements. Waterproofing to match existing
2. New timber framed windows to match original design from 1950s, to improve the existing thermal building performances to current Building Regulation standards
3. Protective metal capping to rear concrete beams to match roof edge flashing
4. Existing metal railing refurbished
5. Original terrace balustrades replaced where incongruous or dilapidated reinstated to match original design
6. Proposed roof mounted solar panels set at 10degree angle
7. Existing windows of various construction and materials retained at rear - refer to terrace rear elevation for proposed works
8. New roof perimeter upstand and flashing to accommodate for new roof build up
9. Mansafe system for safe roof access and maintenance
10. Existing or replacement rooflight reinstated in current location, following insulation of existing roof

Note:
New rooflghts at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application

A



0 0.5 1 2m

Rev:	Date:	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Section G - Proposed typical Terrace Section through no82 SHP
Drawing no: 2203-3-206
Rev: A Status: Stage 3
Scale: 1:50@A2 Date: 31/05/2024

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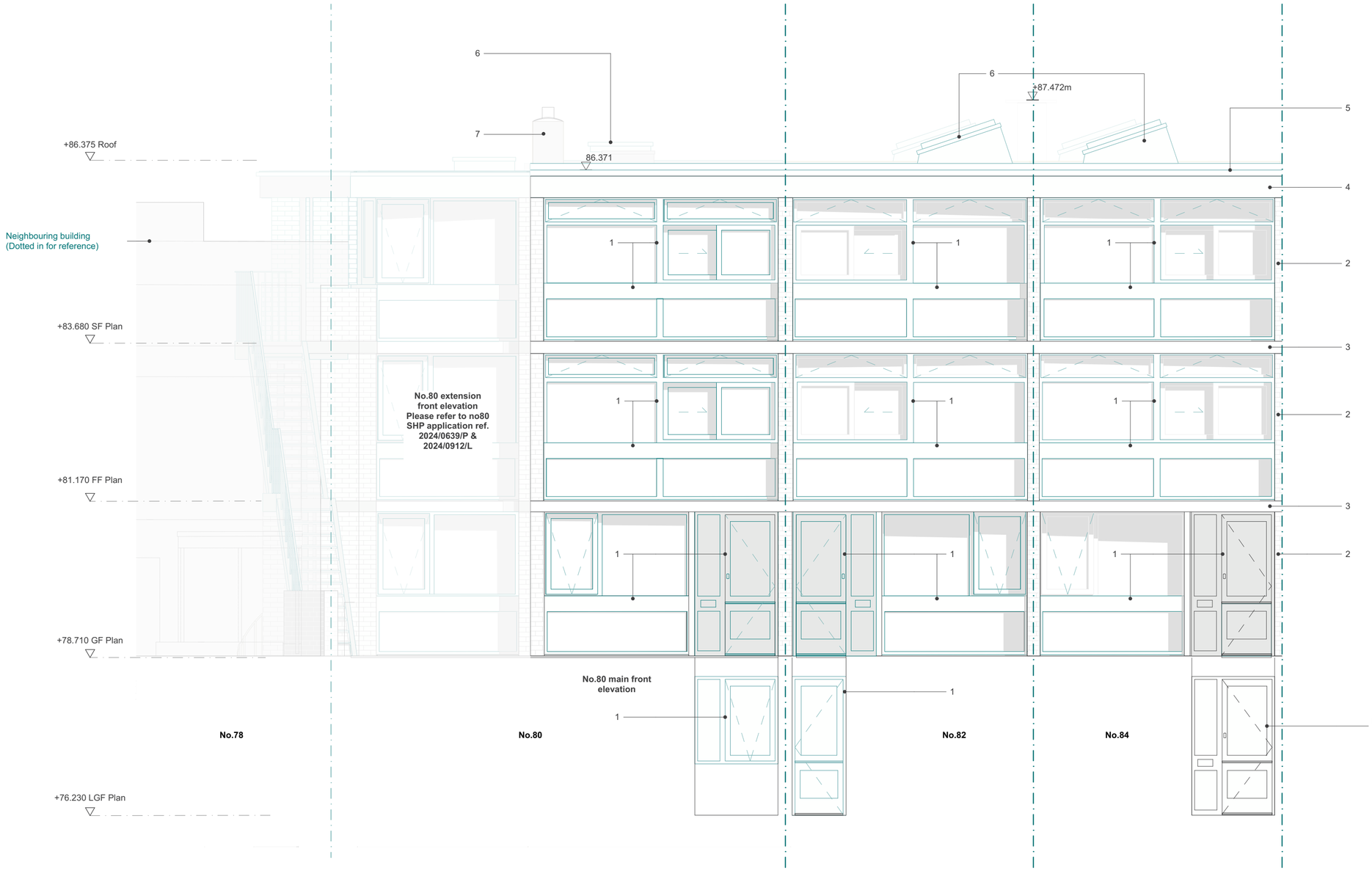


A

301

No80 to 90 SHP - Proposed Front Terrace Elevation, no80 to no84SHP

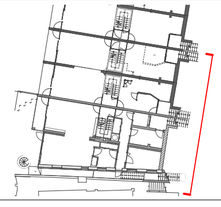
1:50

Note:
New rooflights at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application
External insulation to terrace end flank walls omitted from this application

Key

- Existing
- Proposed

1. New timber framed windows to match original design from 1950s, to improve the existing thermal building performances
2. Exposed brickwork repaired and repointed as required
3. Existing concrete slab repaired with matching concrete repair mortar as required
4. Existing concrete edge beam repaired with matching concrete repair mortar as required
5. New roof parapet to accommodate the new increased roof build-up, to be insulated to achieve U-Value of 0.15 W/M^{2}K in line with current Building Regulation requirements
6. Existing or replacement rooflight
7. Existing flue stack



0 0.5 1 2m

Rev:	Date:	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Proposed Front Terrace Elevation
Drawing no: 2203-3-301
Rev: A Status: Stage 3
Scale: 1:50@A2 Date: 31/05/2024

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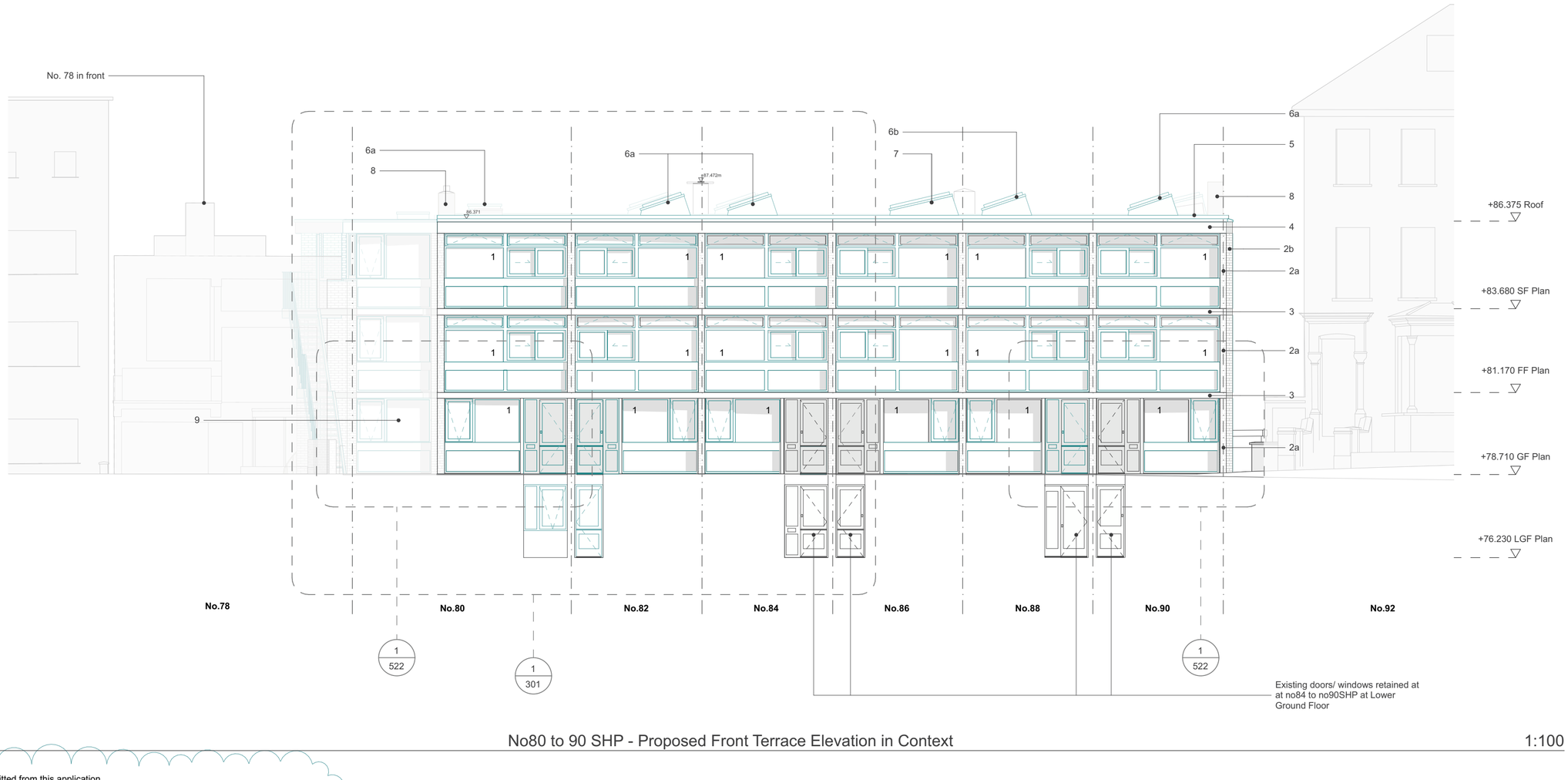


A

302

No80 to 90 SHP - Proposed Front Terrace Elevation in Context

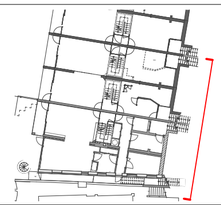
1:100

Note:
New rooflights at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application
External insulation to terrace end flank walls omitted from this application

Key

- Existing
- Proposed

1. New timber framed windows to match original design from 1950s, to improve the existing thermal building performances
2a. Exposed brickwork repaired and repointed as required
2b. Exposed lighter brickwork to terrace flank wall repaired and repointed as required
3. Existing concrete slab repaired with matching concrete repair mortar as required
4. Existing concrete edge beam repaired with matching concrete repair mortar as required
5. New roof parapet to accommodate the new increased roof build-up, to be insulated to achieve U-Value of 0.15 W/M^{2}K in line with current Building Regulation requirements
6a. Existing or replacement rooflight reinstated in current location
6b. New rooflight
7. Rooflight approved under planning ref. 2023/3623/P & 2023/4232/L
8. Existing flue stack
9. Existing no80 SHP side extension elevation - refer to no80 SHP application ref. 2024/0639/P & 2024/0912/L



0 1 2 3m

Rev:	Date:	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Proposed Front Terrace Elevation in Context
Drawing no: 2203-3-302
Rev: A Status: Stage 3
Scale: 1:100@A2 Date: 31/05/2024

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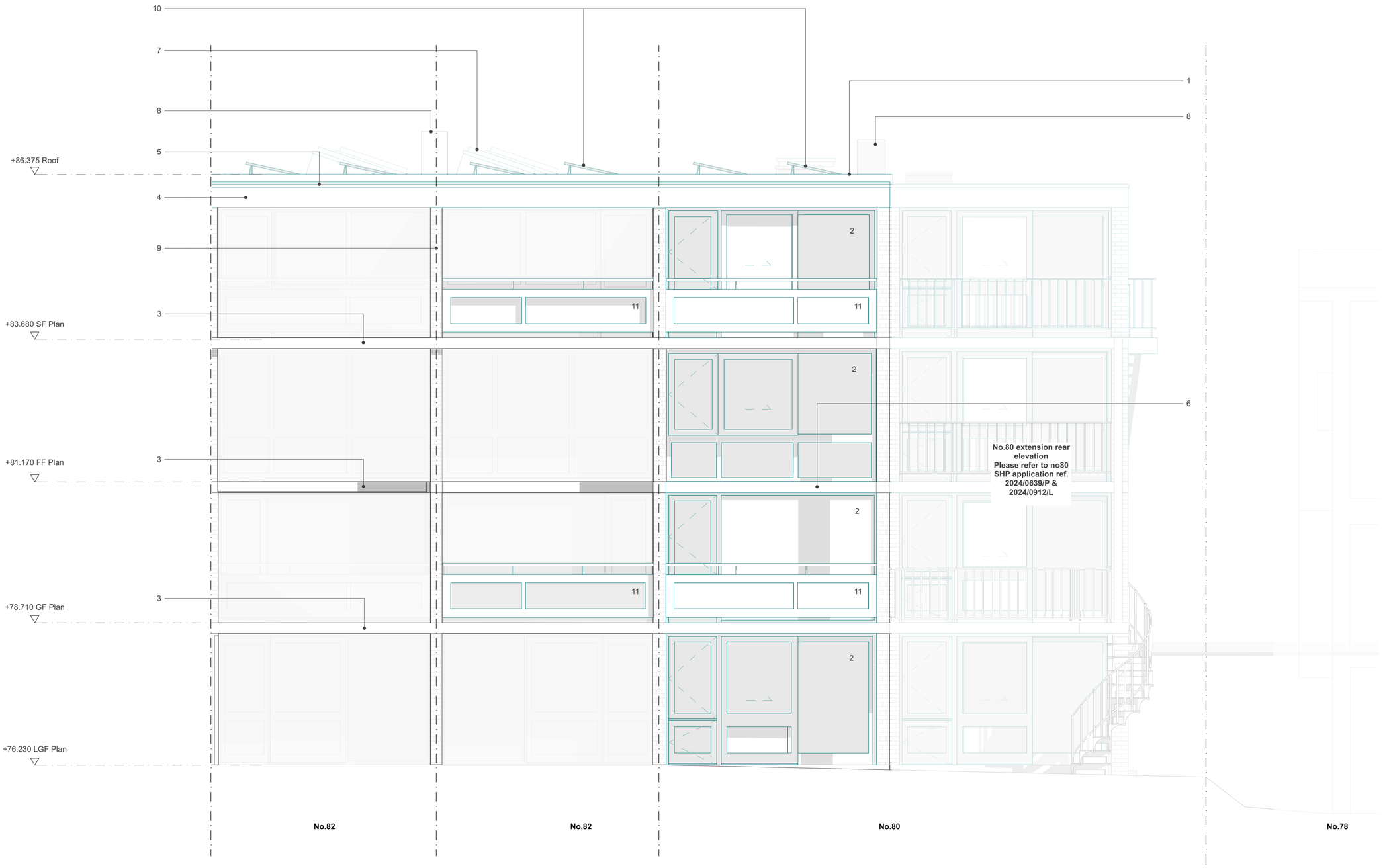


A

303

No80 to 90 SHP - Proposed Rear Terrace Elevation

1:50

Note:
New rooflghts at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application
External insulation to terrace end flank walls omitted from this application

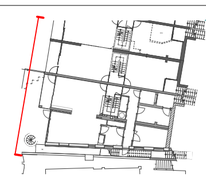
Key

Existing

Proposed

Note: There are no works proposed under this appplication to greyed out areas (no82 to no90SHP) other than masonry / concrete repairs.
Greyed out areas along rear elevation (no82 to no90SHP) not surveyed
For more information regarding works to no80 SHP side extension please refer to specific application ref. 2024/0639/P & 2024/0912/L

1. New roof parapet to accommodate for the new increased roof build-up to achieve U-Value of 0.15 W/M^{2}K in line with current Building Regulation requirements
2. New timber framed windows to match original design from 1950s, to improve the existing thermal building performances
3. Existing concrete slab repaired with matching concrete repair mortar as required
4. Existing concrete ring beam repaired with matching concrete repair mortar as required
5. Protective metal capping to rear concrete beams to match roof edge flashing
6. New timber brise soleis reinstated to match existing
7. New rooflight
8. Existing flue stack refurbished/ repointed
9. Exposed brickwork repaired/ repointed with matching bricks/ mortar as required
10. New solar panels set at minimum angle (10deg)
11. Where dilapidated/ unsafe or unsympathetic, original timber balustrade design to be reinstated



0 0.5 1 2m

Rev:	Date:	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Proposed Rear Terrace Elevation
Drawing no: 2203-3-303
Rev: A Status: Stage 3
Scale: 1:50@A2 Date: 31/05/2024

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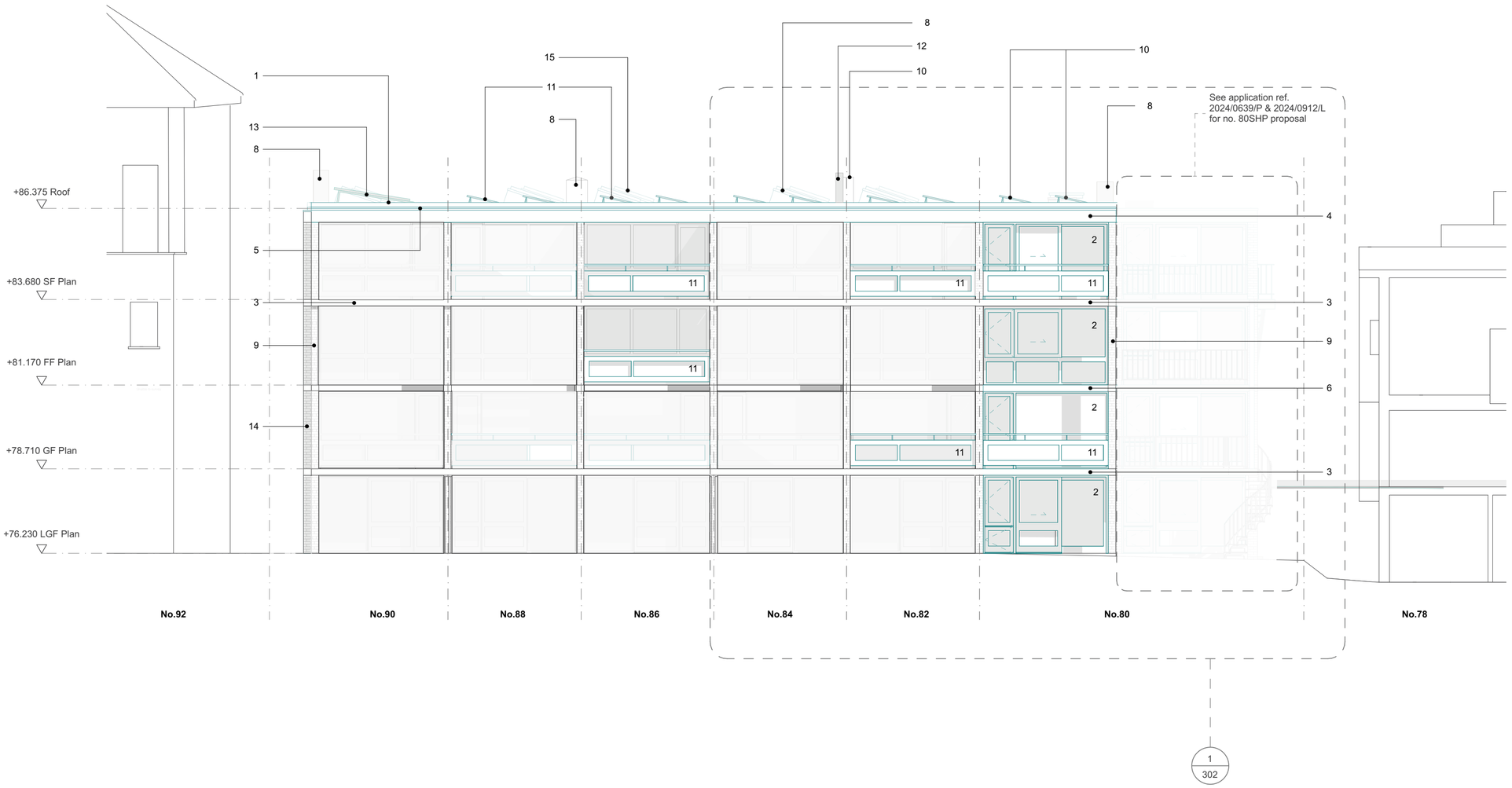


A

304

No80 to 90 SHP - Proposed Rear Terrace Elevation in Context

1:100

Note:
New rooflghts at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application
External insulation to terrace end flank walls omitted from this application

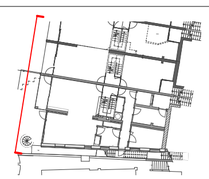
Key

Existing

Proposed

Note: There are no works proposed under this appplication to greyed out areas (no82 to no90SHP) other than masonry / concrete repairs.
Greyed out areas along rear elevation (no82 to no90SHP) not surveyed
For more information regarding works to no80 SHP side extension please refer to specific application ref. 2024/0639/P & 2024/0912/L

1. New roof parapet to accommodate for the new increased roof build-up to achieve U-Value of 0.15 W/M^{2}K in line with current Building Regulation requirements
2. New timber framed windows to match original design from 1950s, to improve the existing thermal building performances
3. Existing concrete slab repaired with matching concrete repair mortar as required
4. Existing concrete ring beam repaired with matching concrete repair mortar as required
5. Protective metal capping to rear concrete beams to match roof edge flashing
6. New timber brise soleis reinstated to match existing
7. New rooflight
8. Existing flue stack refurbished/ repointed
9. Exposed brickwork repaired/ repointed with matching bricks/ mortar as required
10. New solar panels set at minimum angle (10deg)
11. Where dilapidated/ unsafe or unsympathetic, original timber balustrade design to be reinstated
12. Existing stainless steel flues at no84 SHP retained
13. Existing solar panels at no90 SHP retained
14. Exposed lighter brickwork to terrace flank wall repaired and repointed as required
15. Rooflight approved under planning ref. 2023/3623/P & 2023/4232/L



0 1 2 3m

Rev:	Date:	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Proposed Rear Terrace Elevation in Context
Drawing no: 2203-3-304
Rev: A Status: Stage 3
Scale: 1:100@A2 Date: 31/05/2024

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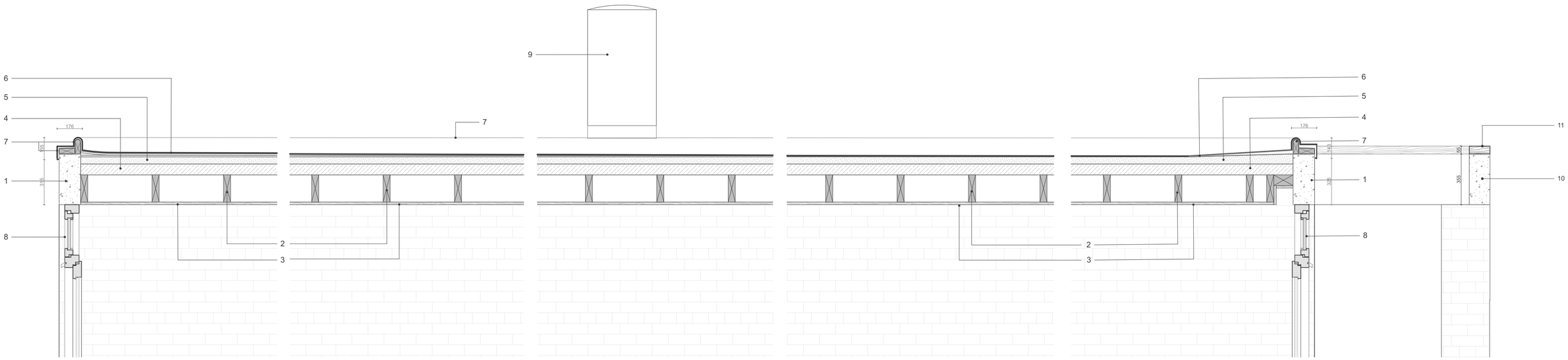
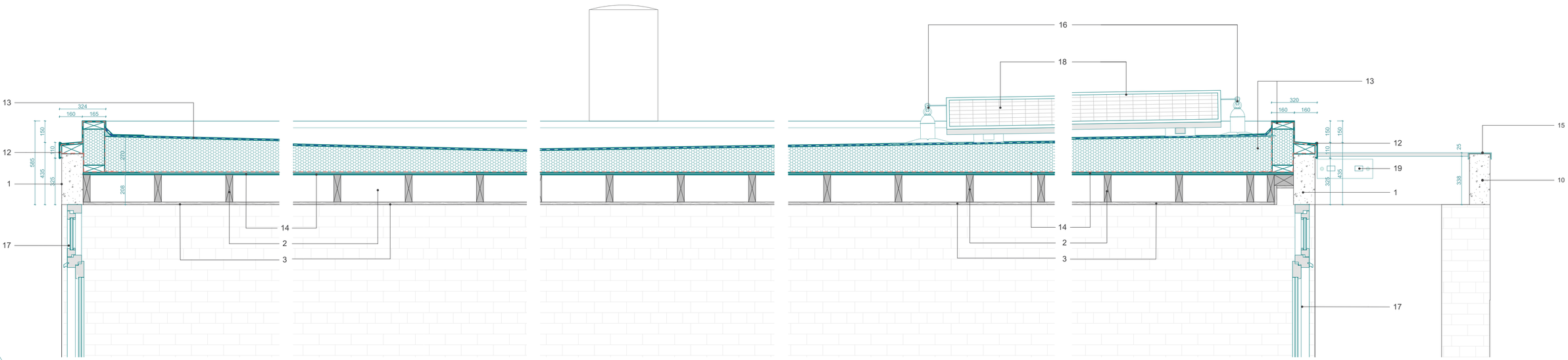


1 Existing Front Roof Edge Detail 1:20

2 Existing Roof Build Up through Centre of Terrace 1:20

3 Existing Roof Buil Up Detail 1:20

4 Existing Rear Roof Edge Detail 1:20



A

5 Proposed Front Roof Edge Detail 1:20

6 Proposed Roof Build Up through Centre of Terrace 1:20

7 Proposed Roof Buil Up Detail 1:20

8 Proposed Rear Roof Edge Detail 1:20

Note:
New rooflghts at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application
External insulation to terrace end flank walls omitted from this application

Key

Existing

Proposed

Key existing

1. Existing concrete perimeter beam
2. Existing 190x50mm timber joists on hangers - assumed at 500mm centres
3. Existing internal timber (or plasterboard for some units) finish
4. Existing woodwool slab
5. Cork insulation
6. Derbigum membrane over previous roofing membrane layers
7. Perimeter upstand formed over timber perimeter batten and UPVC flashing
8. Existing windows
9. Existing flue stack refurbished/ repointed
10. Exposed concrete perimeter beam to rear terraces
11. Rotten timber plates on mechanically fixed to concrete perimeter beams
Timber plates and fixings are causing damage to the concrete beams by facilitating water ingress and cracking

Key proposed

12. GRP trim mechanically fixed to upstand, to match existing
13. New bituminous roll-out membrane waterproofing installed & insulation to 1:80 fall. New roof build up to achieve U-Value of 0.15 W/m²K. New roof parapet to accommodate the new increased roof build-up
14. New 18mm ply decking
15. New protective metal capping to be installed following concrete cleaning and repairs. Concrete repaired where damaged by existing fixings with matching concrete mortar repairs
16. New mansafe system for safe roof access and maintenance
17. New double glazed timber windows to match original 1950s design
18. New solar panels set at minimum angle (10deg)
19. Ladder securing point for safe roof access, mechanically fixed to concrete beams

0 0.1 0.2 0.5m

Rev:	Date:	Description
B	29/05/24	Planning
A	11.03.24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Terrace Roof Edge Details

Drawing no: 2203-3-521
Rev: B Status: Stage 3
Scale: 1:20@A2 Date: 31/05/2024

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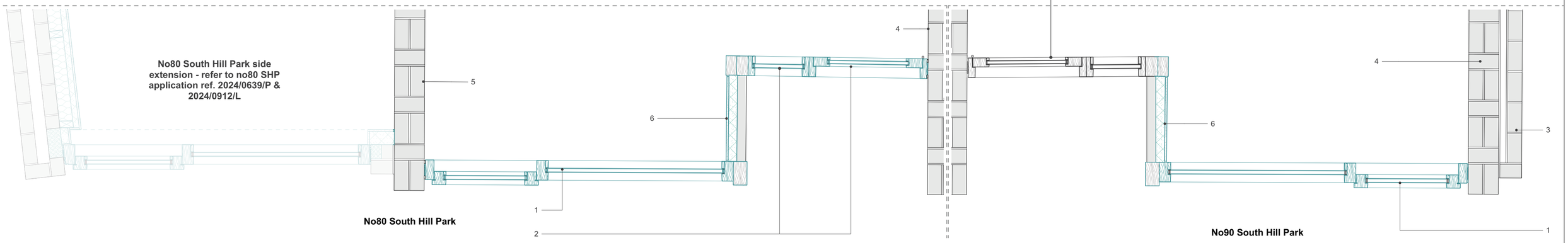
1. Front Elevation of No80 and No90 South Hill Park, detail of new joinery details 1:20 Scale



2. Ground Floor Plan of No80 and No90 South Hill Park, detail of new joinery details 1:20 Scale

Key

- Existing
- Proposed

1. New timber framed windows to match original design from 1950s, to improve the existing thermal building performances
2. New hardwood timber framed door and side fixed panel to match original design from 1950s, to improve the existing thermal building performances
3. Exposed lighter brickwork to terrace flank wall repaired and repointed as required
4. Existing brickwall
5. Existing brickwall, original end of terrace flank wall at no80 SHP
6. Existing solid return to porch entrance (existing blockwork infill with timber goalposts at both ends) to be insulated with permeable internal insulation
7. Existing hardwood timber framed door and side fixed panel retained at no90 SHP, as recently renewed and matching the original design already
8. Existing exposed concrete slabs refurbished

Note:
New rooflights at front omitted from this application
New ASHPs and louvred enclosures, including any associated structure also omitted from this application
External insulation to terrace end flank walls omitted from this application

A

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0 0.1 0.2

Rev:	Date:	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Terrace Joinery Details

Drawing no: 2203-3-522
Rev: A Status: Stage 3
Scale: 1:20@A2 Date: 31/05/2024

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