

Appendix 2

Demolition drawings



050
 Note:
 New rooflights at front omitted from this application

No.80 to 90 SHP - Demolition Roof Plan

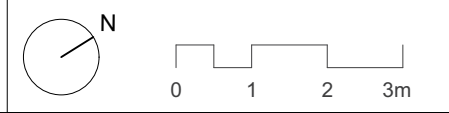
1:100

- Key**
- Existing
 - Existing to be demolished/ removed
 - No.80 to 90 South Hill Park, NW3 2SN Development proposal boundary
 - No.80 to 90 South Hill Park, NW3 2SN Site boundary
1. Existing roof extension at no.80 SHP - refer to no.80 SHP application ref. 2024/0639/P & 2024/0912/L
 2. Existing rooflight replaced or refitted in existing location within new roof build up
 3. Flat roof, felt finish and existing insufficient insulation build up replaced
 4. Roof perimeter upstand and UPVC flashing replaced with new detail
 5. Existing flue stack repointed
 6. Existing stainless steel flues retained (unaffected)
 7. Existing RWP retained
 8. Incongruous SVP removed
 9. New opening in roof created or existing opening enlarged to accept new rooflight
 10. Existing solar panels retained at no.90 SHP
 11. Existing exposed concrete rear beams
 12. Rooflight approved under planning ref. 2023/3623/P & 2023/4232/L

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

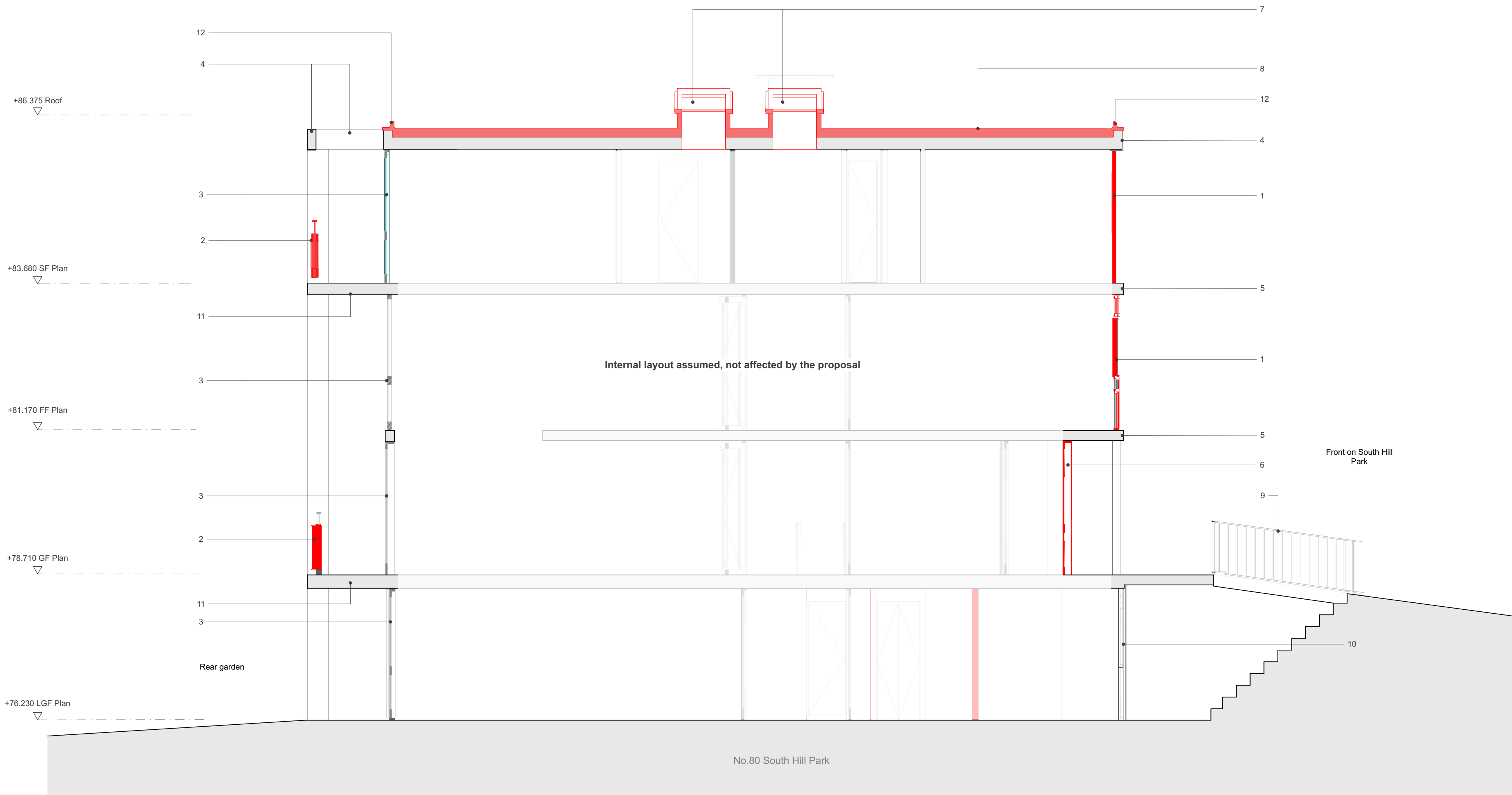
THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION



Rev	Date	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
 Client: No.80 to No.90 South Hill Park
 Drawing: No.80 to 90 SHP - Demolition Roof Plan
 Drawing no: 2203-3-050
 Rev: A Status: Stage 3
 Scale: 1:100@A2 Date: 31/05/2024

citizensdesignbureau
 Ground Floor Units 1 & 2
 6 Westgate Street, London, E8 3JW
 t : 0203 095 9732
 w : www.citizensdesignbureau.net



056

No80 to 90 SHP - Demolition typical Terrace Section through no82 SHP

1:50

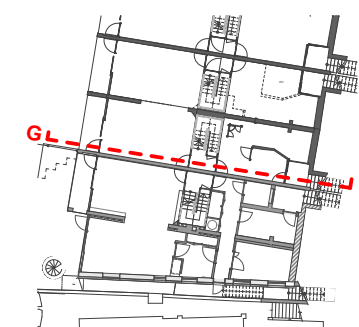
Key

- Existing
- Existing to be demolished/ removed

1. Existing front aluminium windows replaced with new double glazed hardwood timber framed windows to match original design from 1950s.
2. Existing glazed timber balustrade replaced where dilapidated or incongruous modern addition with new balustrade to match original design from 1950s.
3. Existing windows at rear - refer to terrace rear elevation for proposed works
4. Existing concrete ring beam repaired as required
5. Existing concrete slab repaired as required
6. Existing front porch entrance door replaced with new double glazed hardwood timber framed windows to match original design from 1950s.
7. Existing rooflight reinstated in current location following the replacement of the existing roof insulation and waterproofing layers

8. Existing flat roof insulation and bitumen waterproofing finish replaced with new insulation and waterproofing to comply with current Building Regulations Existing timber joists and soffit underneath retained where possible
9. Metal railing retained
10. Former Lower Ground Floor entrance replaced where incongruous
11. Concrete rear balcony repaired as required
12. Existing perimeter upstand and UPVC flashing replaced

Note:
New rooflights at front omitted from this application



THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION



Rev	Date	Description
A	29/05/24	Planning

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Section G - Demolition typical Terrace Section through no82 SHP
Drawing no: 2203-3-056
Rev: A Status: Stage 3
Scale: 1:50@A2 Date: 31/05/2024

citizensdesignbureau
Ground Floor Units 1 & 2
6 Westgate Street, London, E4 3DN
t: 0203 095 9732
w: www.citizensdesignbureau.net