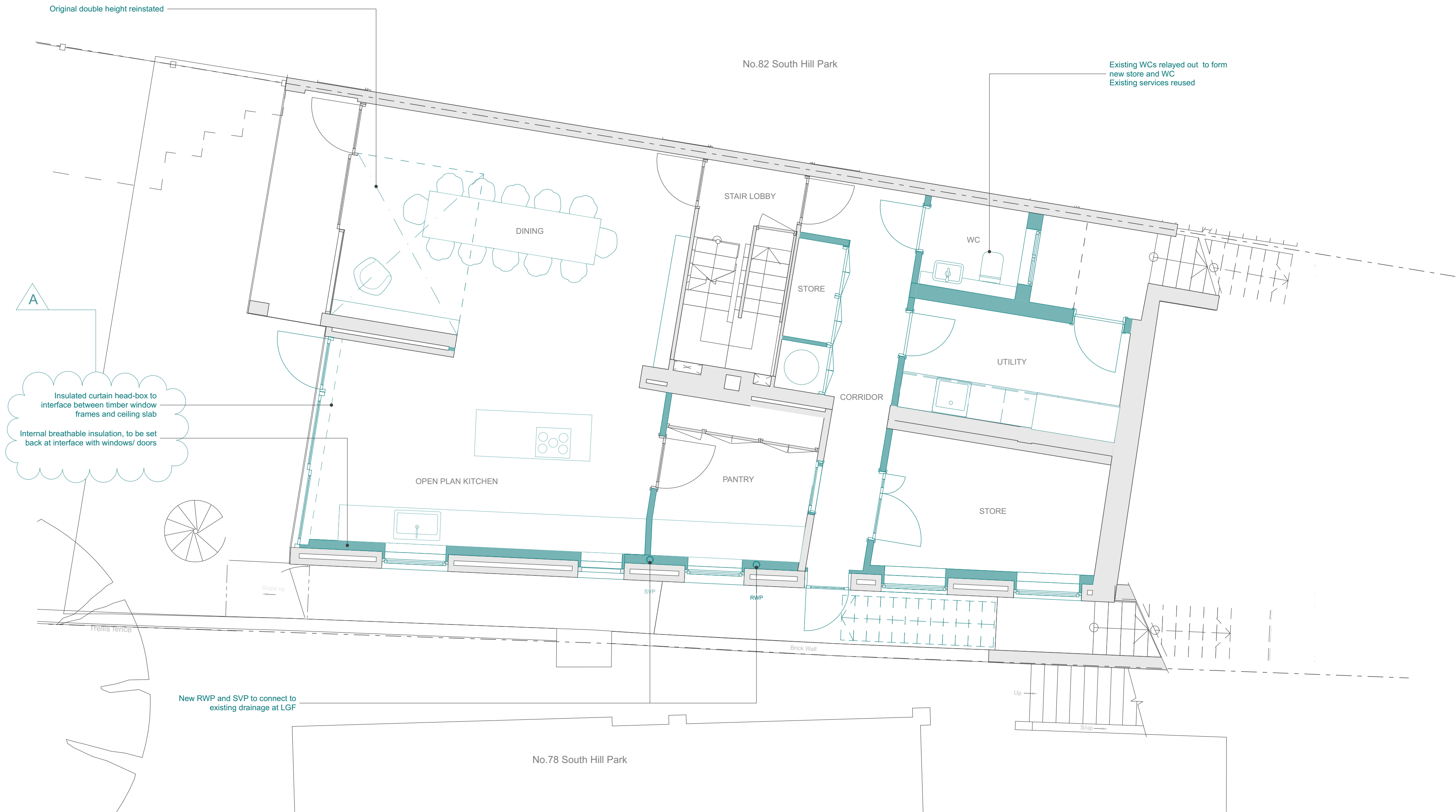


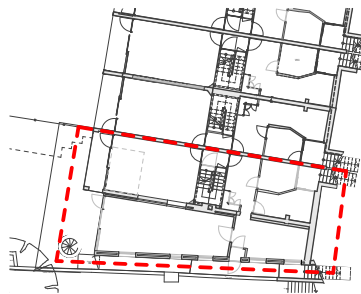
## Appendix 2

Proposed drawings

Rev A, 31.05.24



**Key**  
Existing  
Proposed



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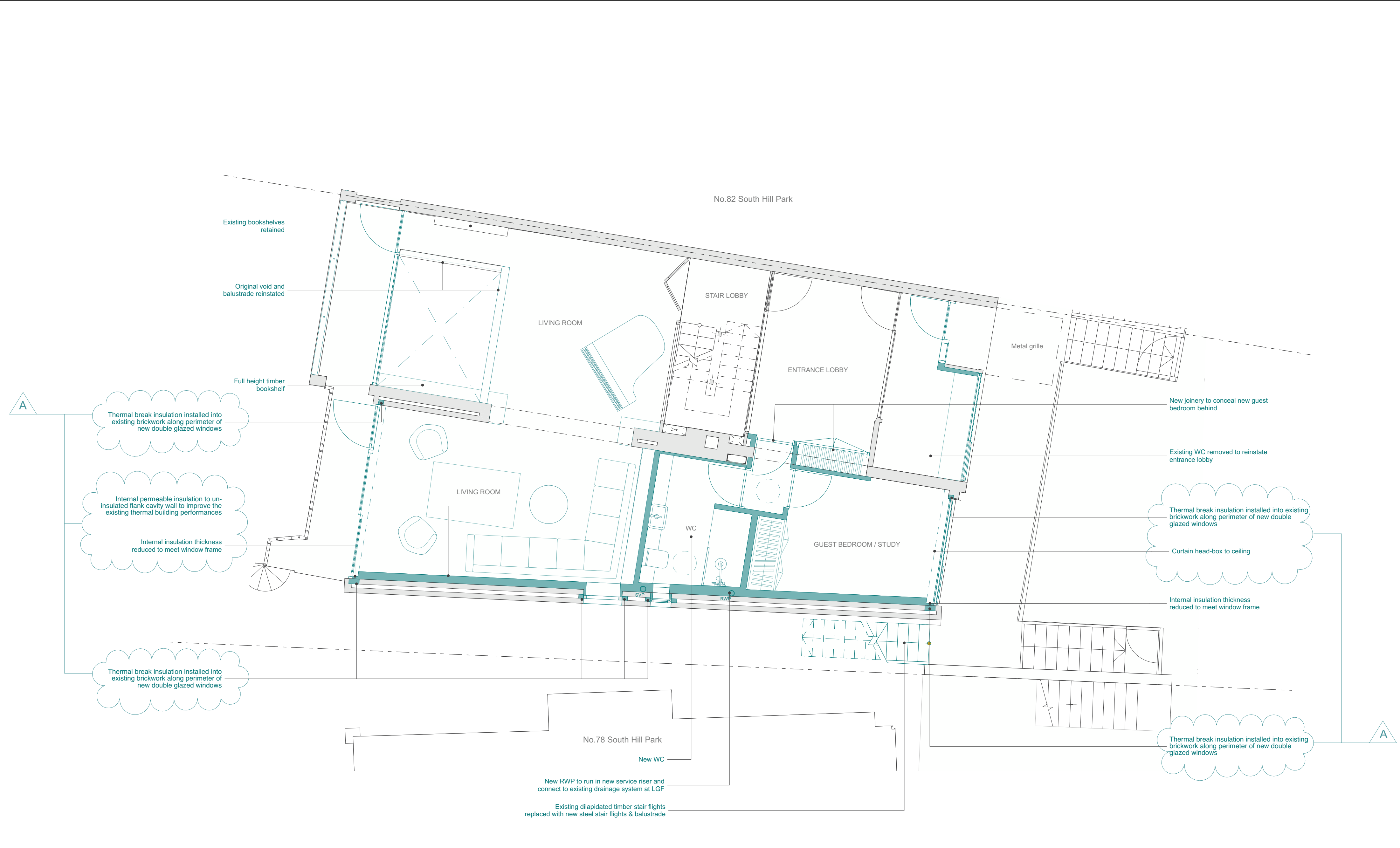
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0 0.5 1 2m

Rev	Date	Description
A	31/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed Lower Ground Floor Plan  
Drawing no: 2203-3-099  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

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**Key**

- Existing
- Proposed

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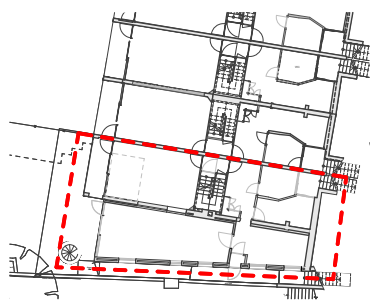
Rev.	Date	Description
A	28/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed Ground Floor Plan  
Drawing no: 2203-3-100  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

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**Key**  
Existing  
Proposed



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Rev.	Date	Description
A	31/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed First Floor Plan  
Drawing no: 2203-3-101  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

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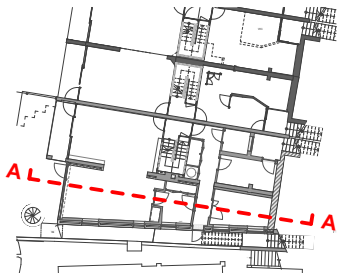


Key

- Existing
- Proposed

1a. Rooflight at front in new roof extension set back to align with existing rooflight location over Second Floor ensuite (existing rooflight replaced in existing location with new rooflight)  
1b. Roof access hatch in new roof extension  
2. New hardwood double glazed timber windows/ doors. Timber finish to match across terrace  
3. Existing metal balustrade retained and refurbished  
4. New metal balustrade to match existing  
5. Floor infill to remove cold bridges and condensation/ leaks to Ground Floor Living Room below

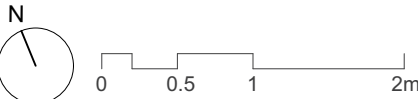
6. Existing rotten brise soleis and timber post reinstated  
7. New brise soleis and timber post to match existing on floor below  
8. New flat roof extension subservient to terrace roof. Finish to match terrace roof  
9. New opening in masonry wall  
10. Insulated curtain head-box detail to align with the proposed insulation set back in plan, to help mitigating cold bridging at high level at the interface between the new timber window frames and the existing concrete slabs  
11. Terrace roof - refer to terrace application ref. 2024/1000/P & 2024/1214/L



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Rev.	Date:	Description
A	28/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed Section A  
Drawing no: 2203-3-200  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

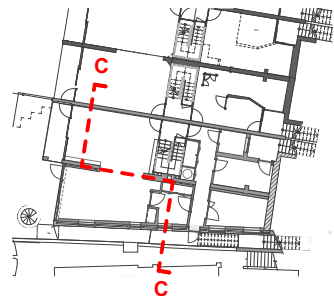
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Key

- Existing
- Proposed

- Rooflight and roof access hatch in new roof extension
- Perimeter gutter to serve new flat roof extension. New RWP and SVP to drop in new vertical riser against flank wall and to connect at Lower Ground Floor to existing drain system
- New flank wall of roof extension to align with floors below. External wall finish to match existing brickwork
- Existing brickwork and exposed concrete slabs repaired
- New steel stair flights and strengthening structure to retained concrete landings to side of no.80
- Existing concrete landing retained and strengthened

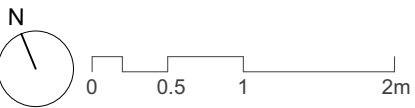
- New hardwood double glazed timber windows/ doors. Timber finish to match across terrace
- Internal timber balustrade and double height reinstated in its original location
- Existing chimney refurbished
- New internal permeable insulation to un-insulated flank cavity wall to improve the existing thermal building performances, with permeable internal plaster finish
- Terrace roof - refer to terrace application ref. 2024/1000/P & 2024/1214/L



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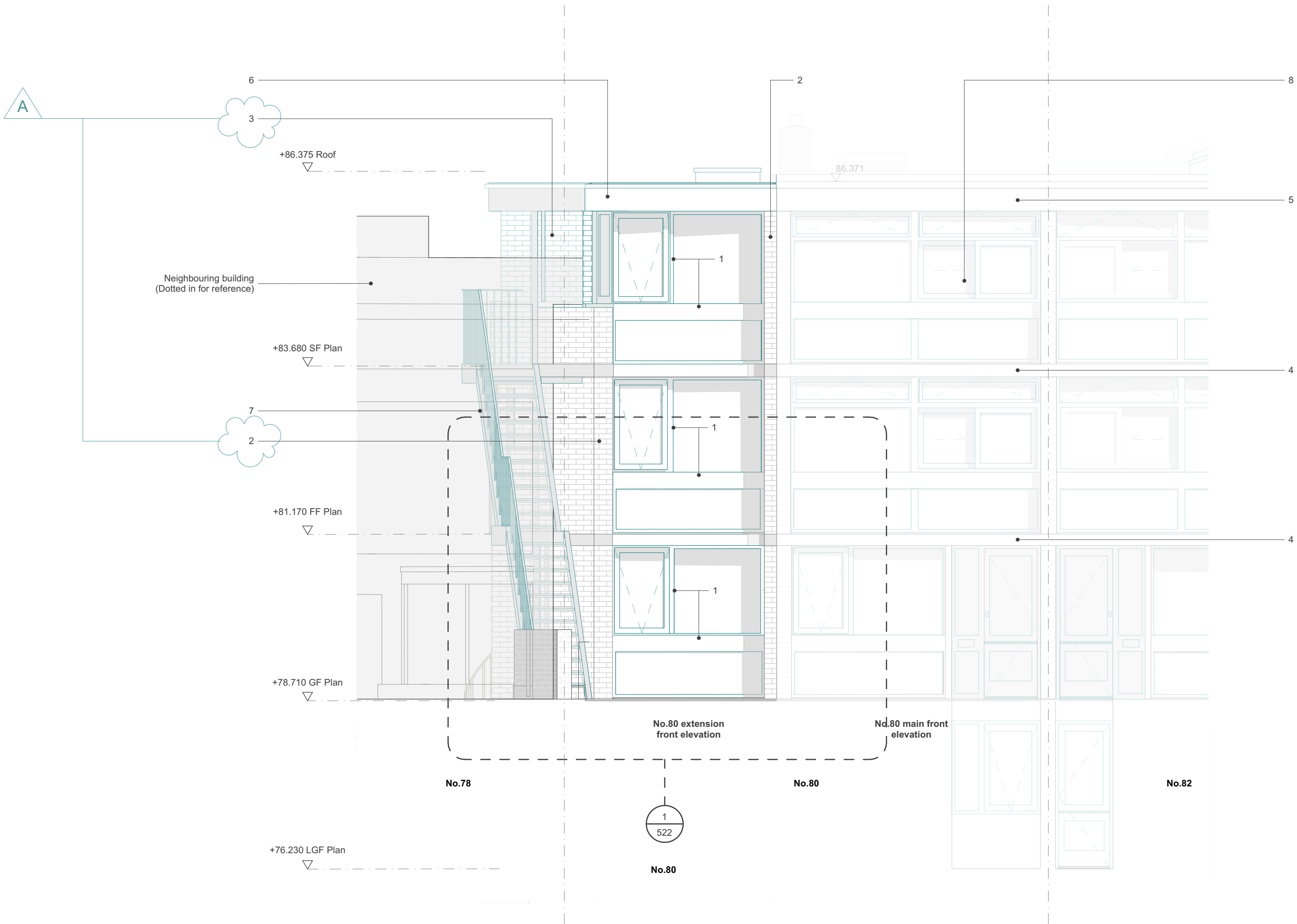


Rev.	Date:	Description
A	28/05/24	Planning

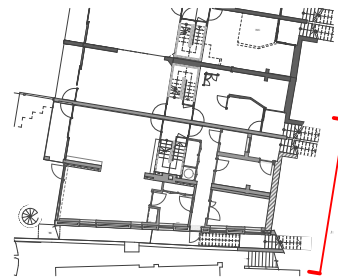
Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed Section C  
Drawing no: 2203-3-202  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

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- Key**
- Existing
  - Proposed
1. New hardwood timber framed windows to match original design from 1950s. Double glazing to improve the existing thermal building performances
  2. Existing brickwork and exposed concrete slabs repaired
  3. External wall finish to new second floor extension flank wall to match existing brickwork from floors below
  4. Existing concrete slab
  5. Existing concrete edge beam
  6. New concrete edge beam to no80 extension to match existing terrace edge beam
  7. New steel staircase and strengthening structure to retained concrete landings to side of no.80
  8. Terrace elevation and terrace roof - refer to terrace application ref. 2024/1000/P & 2024/1214/L



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Rev	Date	Description
A	28/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed Front Elevation  
Drawing no: 2203-3-301  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

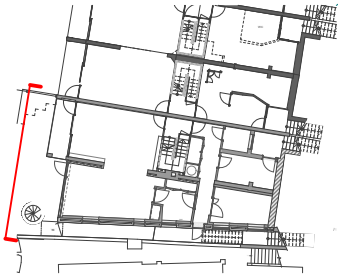
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Key

- Existing
- Proposed

- 1. New hardwood timber framed windows to match original design from 1950s. Double glazing to improve the existing thermal building performances
- 2a. Existing brickwork repaired
- 2b. Existing exposed concrete slab repaired
- 3. External wall finish to new second floor extension flank wall to match existing brickwork from floors below
- 4. Existing concrete slab
- 5. Existing concrete edge beam
- 6. New concrete edge beam to no80 extension to match existing terrace edge beam
- 7. New steel staircase flights to replace dilapidated timber stairs and strengthening structure to retained concrete landings to side of no.80

- 8. Existing rotten brise soleis and timber post reinstated
- 9. New metal railing to match existing
- 10. Existing metal railing retained and refurbished
- 11. Existing cast iron spiral stairs and metal railings refurbished
- 12. Roof edge flashing to new no80 extension to match terrace roof flashing
- 13. Terrace elevation and terrace roof - refer to terrace application ref. 2024/1000/P & 2024/1214/L



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Rev	Date	Description
A	28/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed Rear Elevation  
Drawing no: 2203-3-302  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

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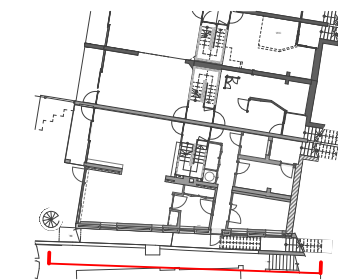
**Key**

Existing

Proposed

1. New hardwood timber framed windows to match original design from 1950s. Double glazing to improve the existing thermal building performances
- 2a. Existing brickwork repaired
- 2b. Existing exposed concrete slab repaired
3. External wall finish to new second floor extension flank wall to match existing brickwork from floors below
4. New steel staircase flights to replace dilapidated timber stairs and strengthening structure to retained concrete landings to side of no.80SHP
5. External stand alone MVHRs to wet areas
6. Metal flashing to window cill to match roof edge flashing

7. Existing rotten brise soleis and timber post reinstated
8. Existing metal railing retained
9. New metal railing to match existing
10. Existing cast iron spiral stairs and metal railings refurbished
11. Existing concrete edge beam
12. New concrete edge beam to no80 extension to match existing terrace concrete edge beam, with metal flashing to match terrace edge flashing detail



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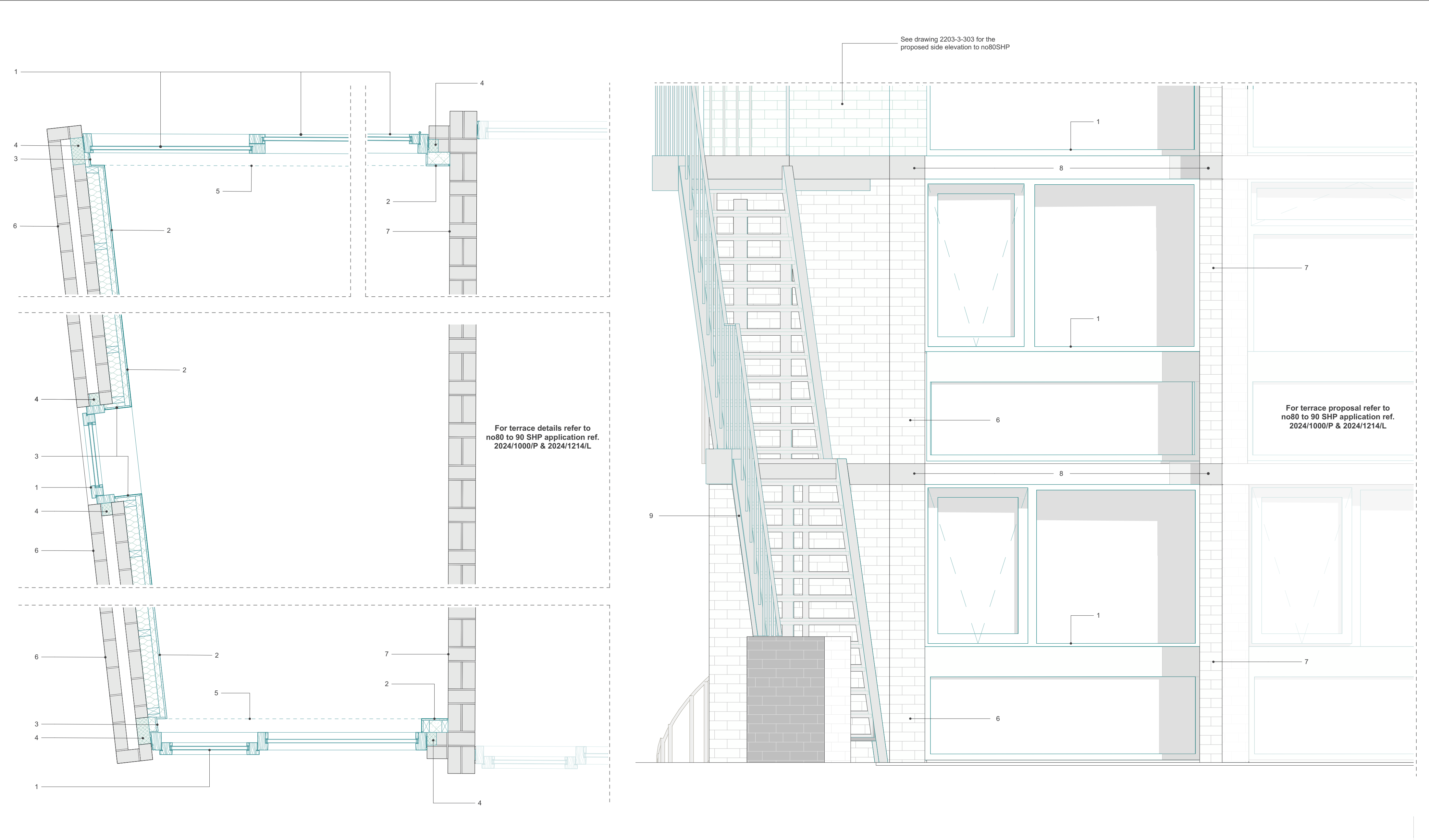
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Rev.	Date	Description
A	28/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Proposed Side Elevation  
Drawing no: 2203-3-303  
Rev: A Status: Stage 3  
Scale: 1:50@A2 Date: 31/05/2024

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1. No80 South Hill Park, Ground Floor Plan, gable end wall internal insulation detail, 1:20 Scale

2. No80 South Hill Park, Front Elevation, gable end wall detail 1:20 Scale

**Key**

Existing  
Proposed

1. New timber framed double glazed windows to improve the existing thermal building performances, to match original design from 1950s  
2. Internal permeable insulation to un-insulated flank cavity wall to improve the existing thermal building performances, with permeable internal plaster finish  
3. Internal insulation set back/ thickness reduced at interface with new timber window frame  
4. Thermal break insulation installed into existing brickwork along perimeter of new double glazed windows  
5. Insulated curtain head-box detail to align with the proposed insulation set back, to help removing cold bridging at high level at the interface between the new timber window frame and the existing concrete slab

6. Existing uninsulated cavity flank wall, repaired as required  
7. Existing brick wall  
8. Existing exposed concrete slab  
9. New stair flights to side of no80 SHP  
See drawing 2203-3-303 for proposed side elevation

**Note: Thermally, the existing uninsulated flank wall is a significant problem in terms of internal comfort, energy and cost efficiency as well as risk to the existing fabric because of current condensation**

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Rev	Date	Description
A	28/05/24	Planning

Project: 2203 No80 South Hill Park  
Client: No80 South Hill Park  
Drawing: No80 SHP Gable End Wall - Internal Insulation Detail  
Drawing no: 2203-3-522  
Rev: A Status: Stage 3  
Scale: 1:20@A2 Date: 28/05/2024

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