

Battery for PV array in rear courtyard.

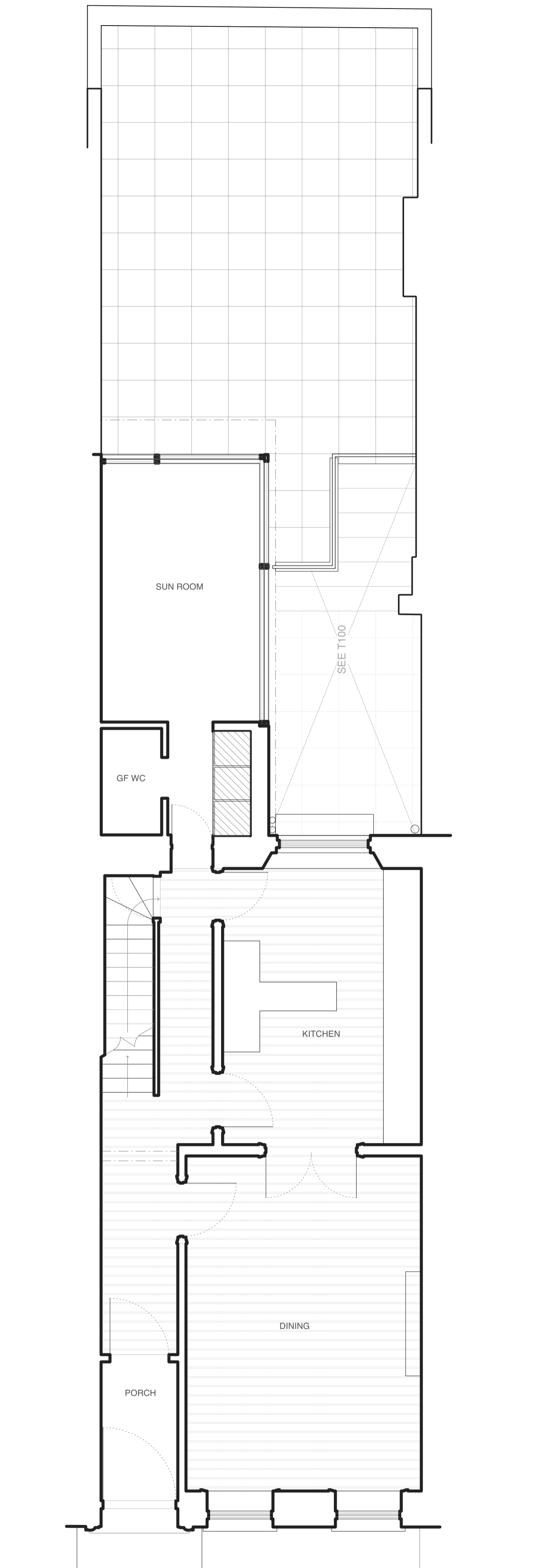
Existing doors to be replaced with new double glazed doors. Refer to drg P501 for details. Note existing doors are modern construction (historic style).

Joinery shown as built as per LBC application ref: 2022/2560/L

New dropped ceiling to conceal MVHR duct.

Double glazing units to be installed into existing non-historic sash window onto lightwell (shown blue). Refer drg P500.

LGF PLAN



GF PLAN

General Notes

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Issue Status

- SK Sketch
- T Tender
- P Permissions
- D Design
- E Existing Condition
- C Contract

rev	note	date	(drawn by/checked by)
(A)	Issued - LB Camden	06.11.23	(OW/HC)
(B)	Dropped ceiling to LGF to allow for MVHR duct, FCU and associated pipework indicated. Replacement of LGF external rear doors, double glazing to LGF sash window, new rooflight in rear extension	08.04.24	(CB/HC)
(C)	Rear external blinds removed.	17.06.24	(OW/HC)

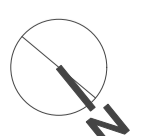
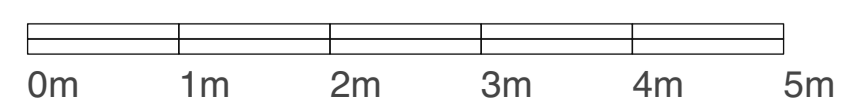
LEGEND

General

- New construction - joinery, flooring etc.
- MEP alterations
- Assumed joist span overhead

Glazing

- DGUs



ISSUED TO PLANNING
17/06/2024

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Planning
General Arrangement
PLAN - LGF, GF
1:50@A1, 1:100@A3
June 2024
JS024 - P100 (C)

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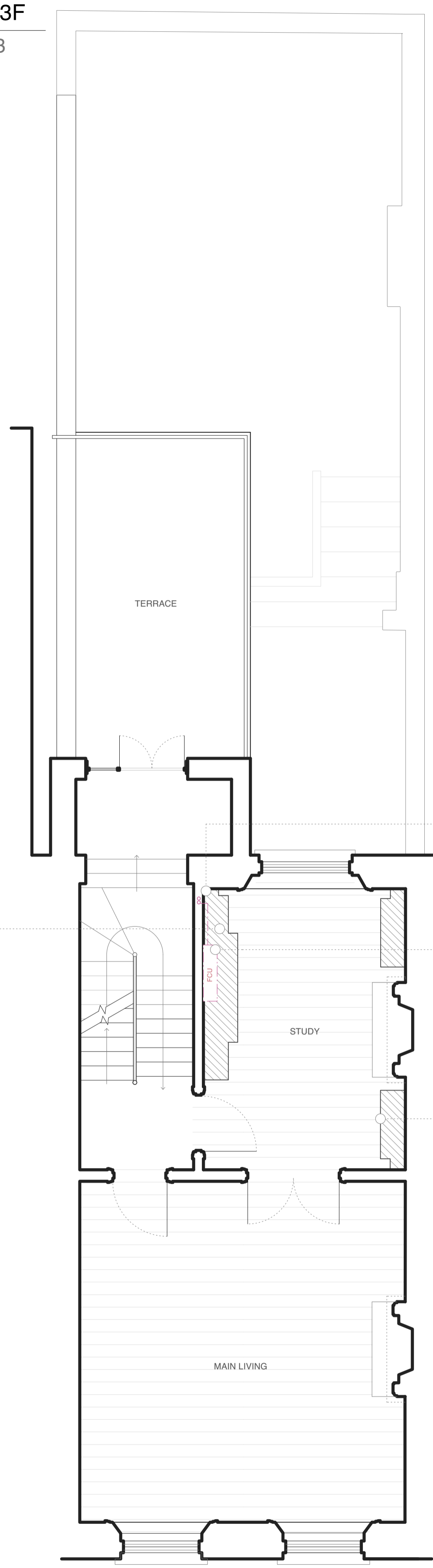
LEGEND

General

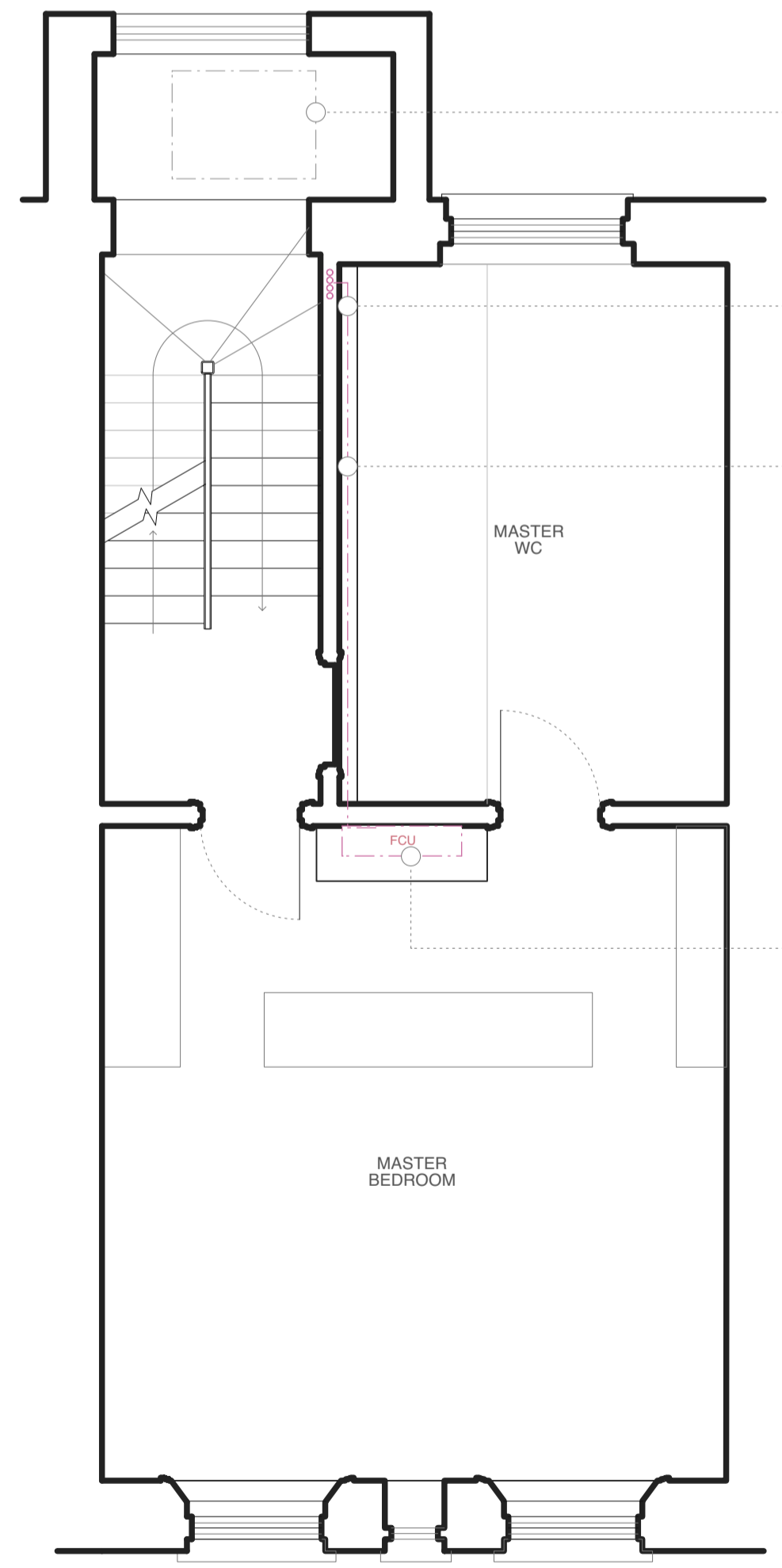
- New construction - joinery, flooring etc.
- - - MEP alterations
- ← → Assumed joist span overhead

Glazing

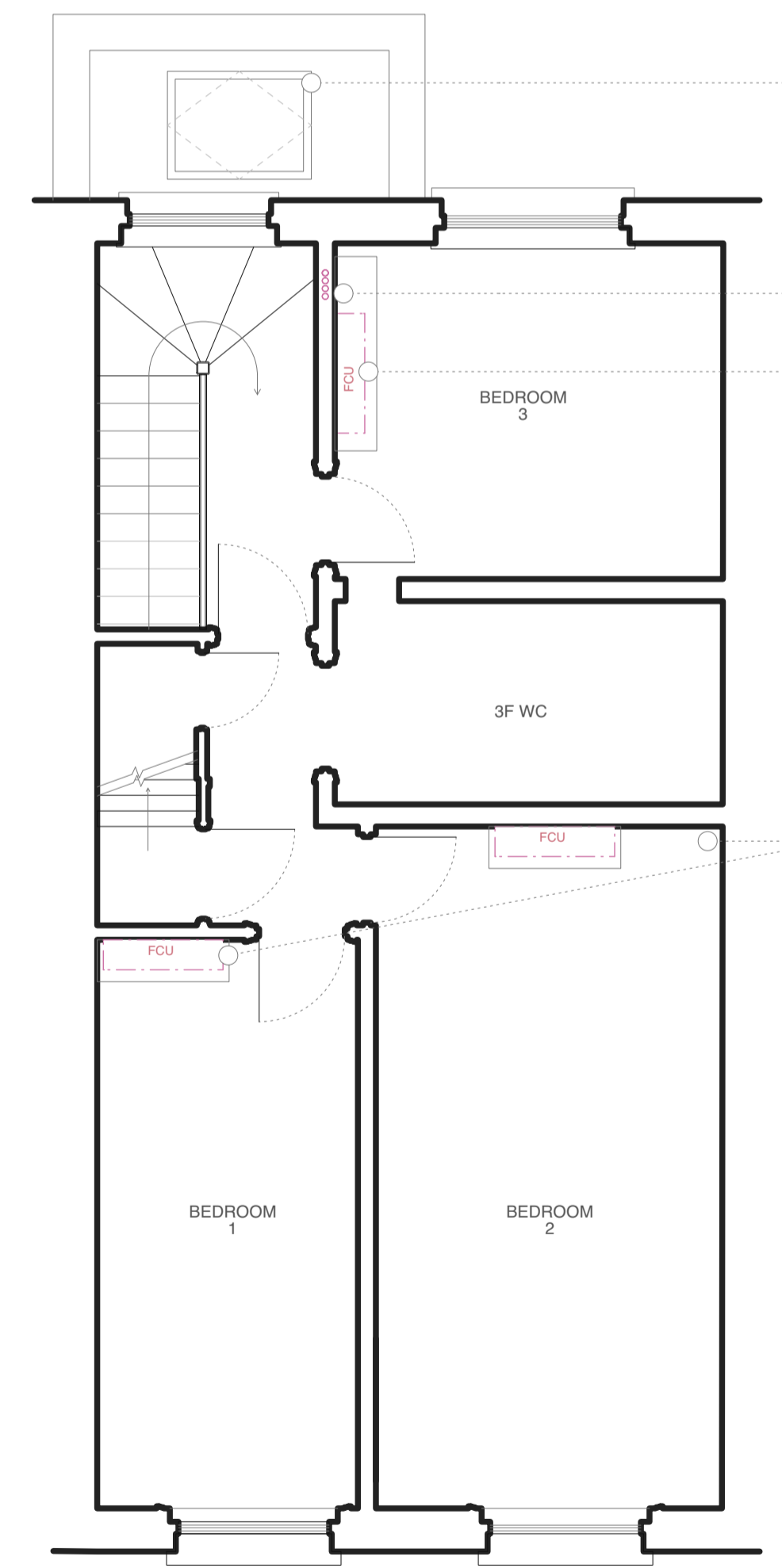
- Integrated glazing units



1F PLAN



2F PLAN



3F PLAN

As approved 2022/2560/L. Included for completeness - all joinery to be controlled by same condition.

FCU pipes from loft to run vertically in existing service void.
Vertical FCU to be concealed within joinery. Vent to be at high level in joinery unit.

New joinery proposed. Refer to drg P420

New electric openable rooflight above.

FCU pipes from loft to run vertically in existing service void.
FCU pipes to run horizontally at high level in existing stud wall.

Wall mounted FCU concealed in joinery unit.

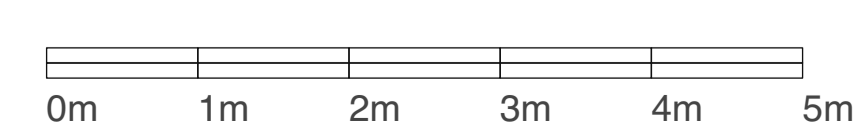
New electric openable rooflight.

FCU pipes from loft to run vertically in existing service void.

Wall mounted FCU concealed in new joinery unit.

Wall mounted FCU concealed in new joinery.

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17/06/2024



General Notes

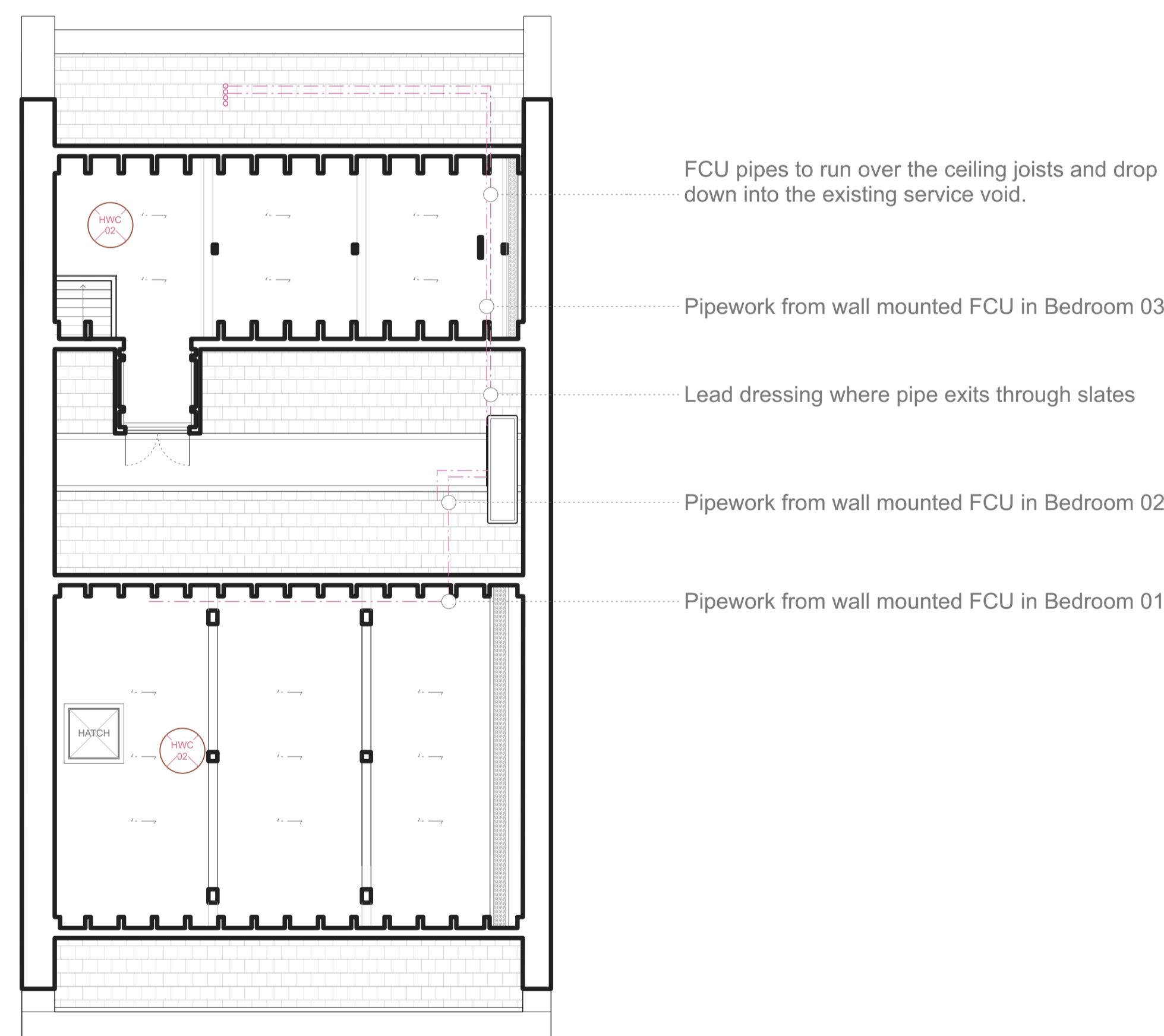
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(C)	: Rear external blinds removed.	17.06.24	(OW/HC)

LEGEND	
General	
	New construction - joinery, flooring etc.
	MEP alterations
	Assumed joist span overhead
Glazing	
	Integrated glazing units



FCU pipes to run over the ceiling joists and drop down into the existing service void.

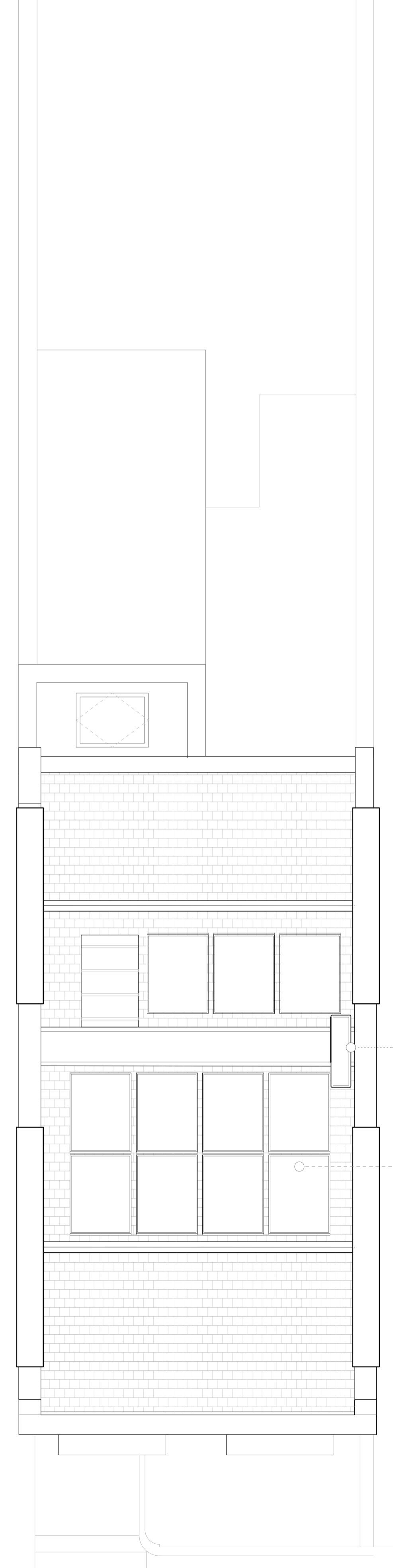
Pipework from wall mounted FCU in Bedroom 03

Lead dressing where pipe exits through slates

Pipework from wall mounted FCU in Bedroom 02

Pipework from wall mounted FCU in Bedroom 01

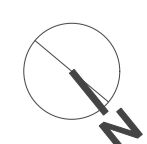
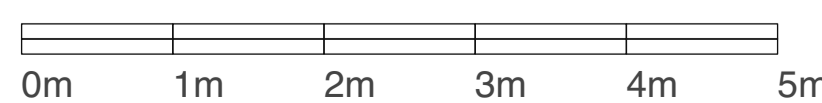
LOFT PLAN



New external condenser.

New PV array. Detailed design and specification to be determined.

ROOF PLAN



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17/06/2024

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Planning
 General Arrangement
 PLAN - Loft, Roof
 1:50@A1, 1:100@A3
 June 2024

JS024 - P102 (C)

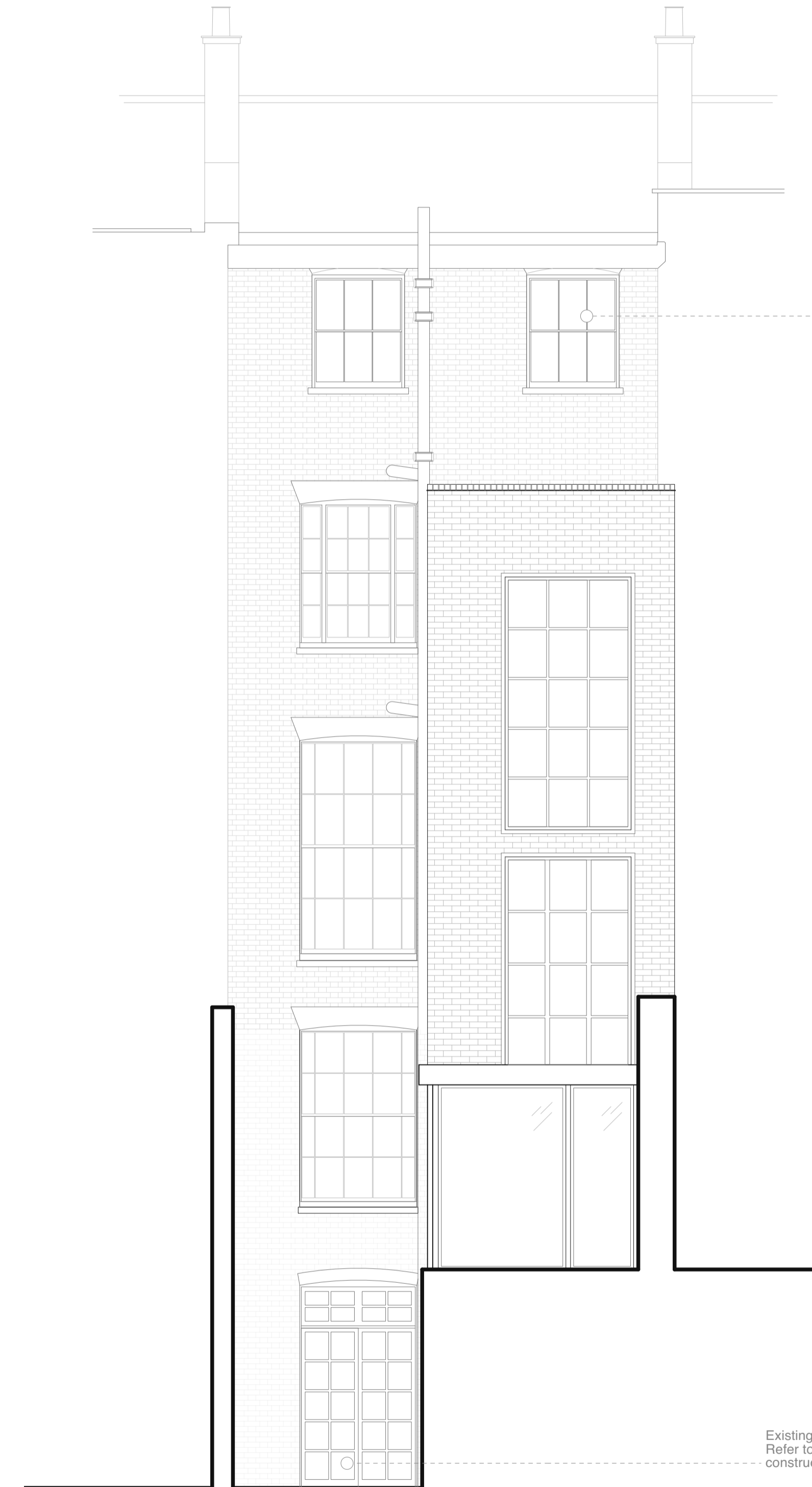
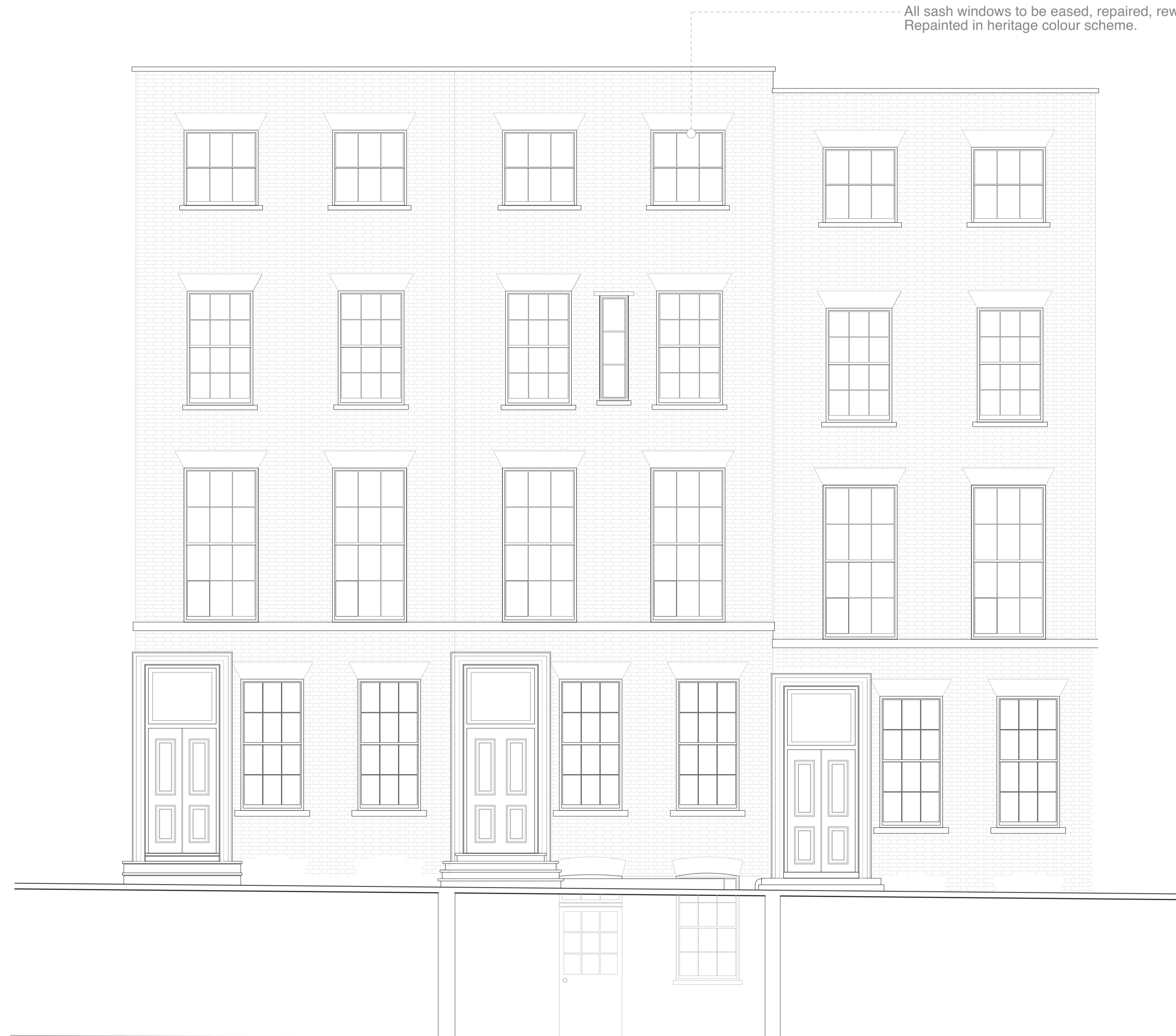
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Existing door to be replaced with new double glazed doors. Refer to dirg P500 for details. Note existing doors are modern construction (historic style).

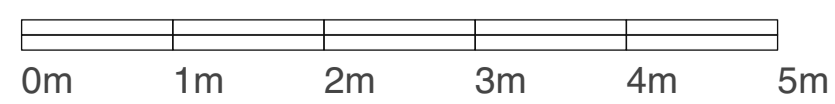
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17/06/2024

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 Planning
 General Arrangement
 ELEV - Front, Rear
 1:50@A1, 1:100@A3
 June 2024
JS024 - P200 (C)

25 John Street

24 John Street
Application Site

23 John Street



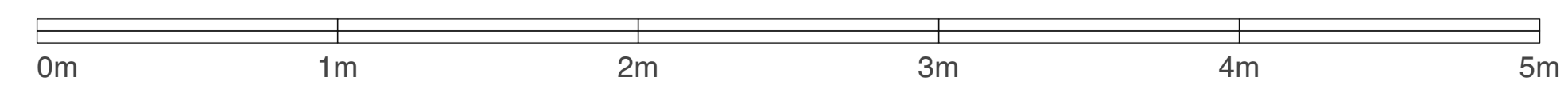
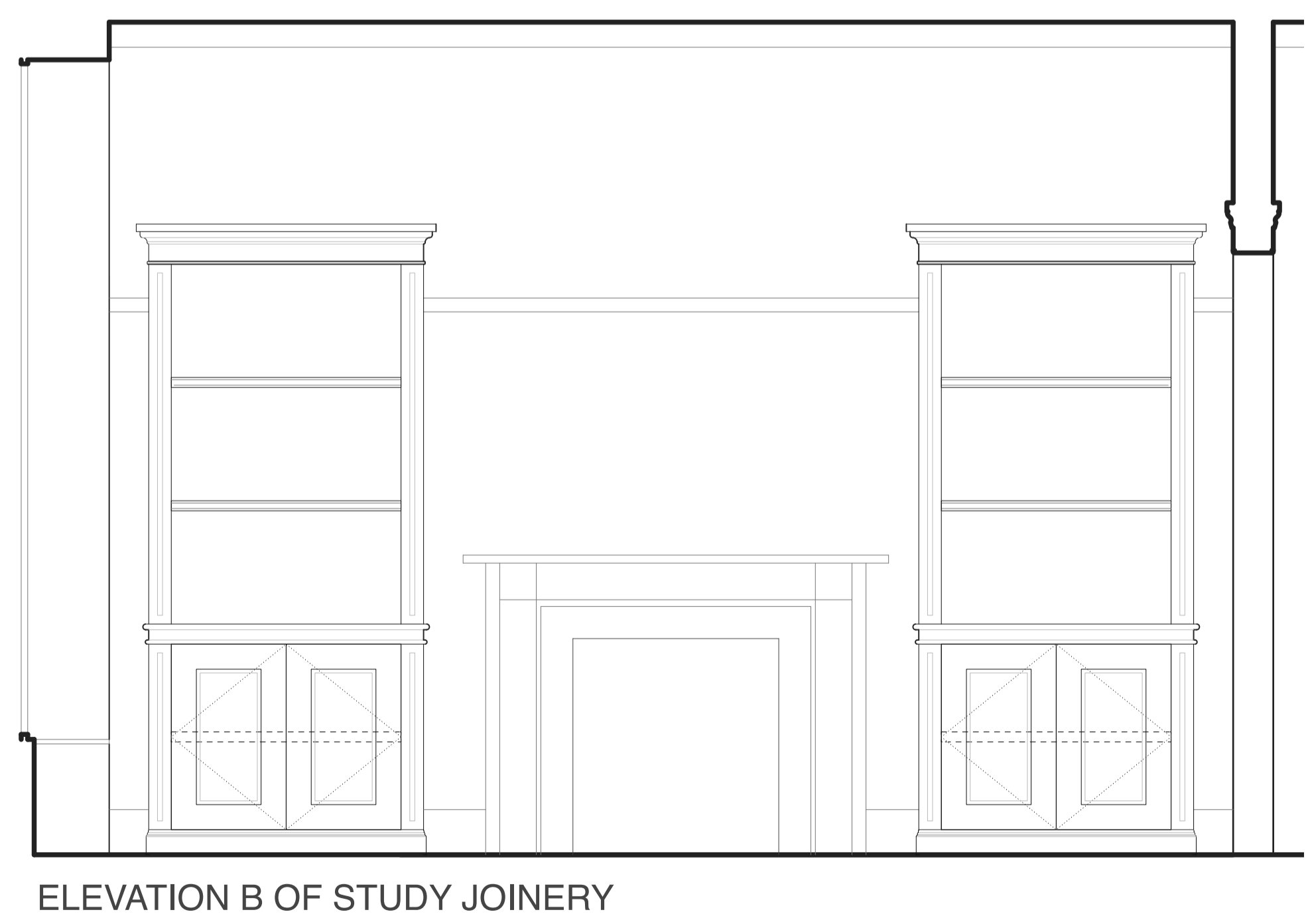
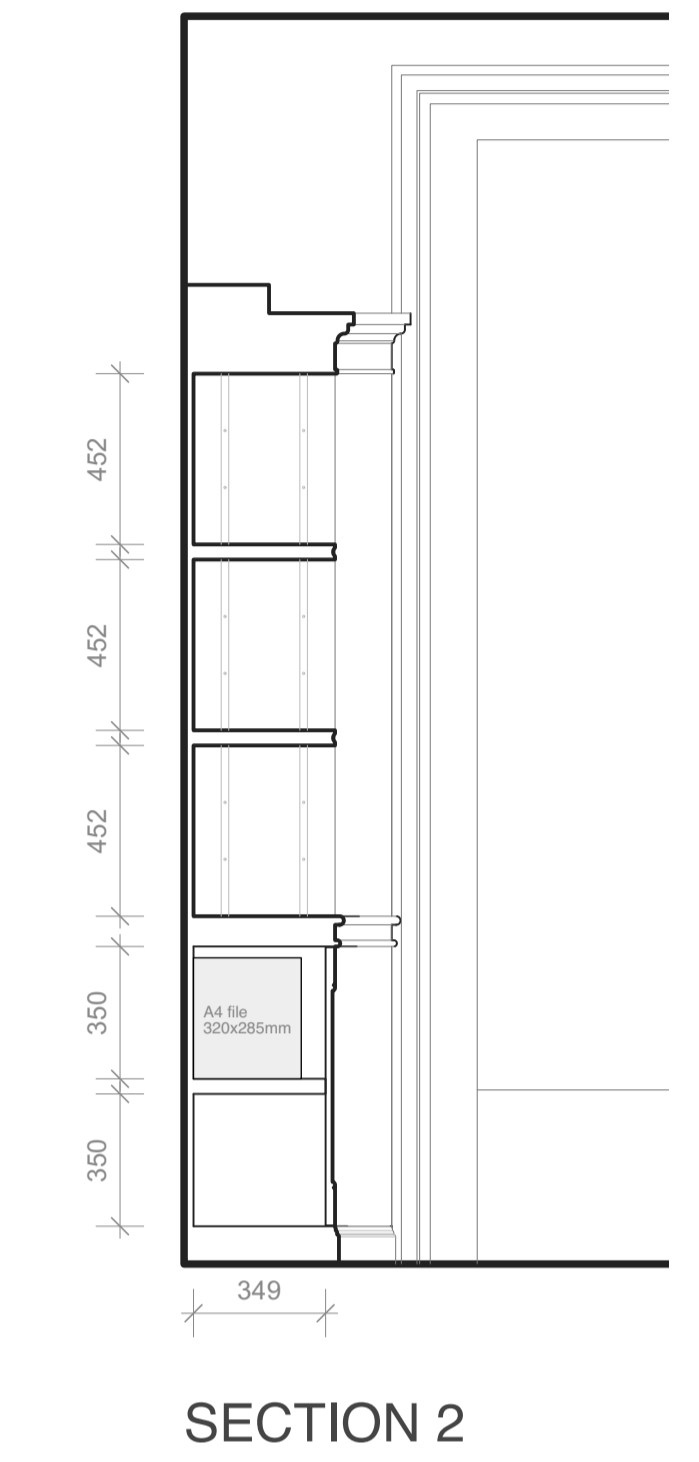
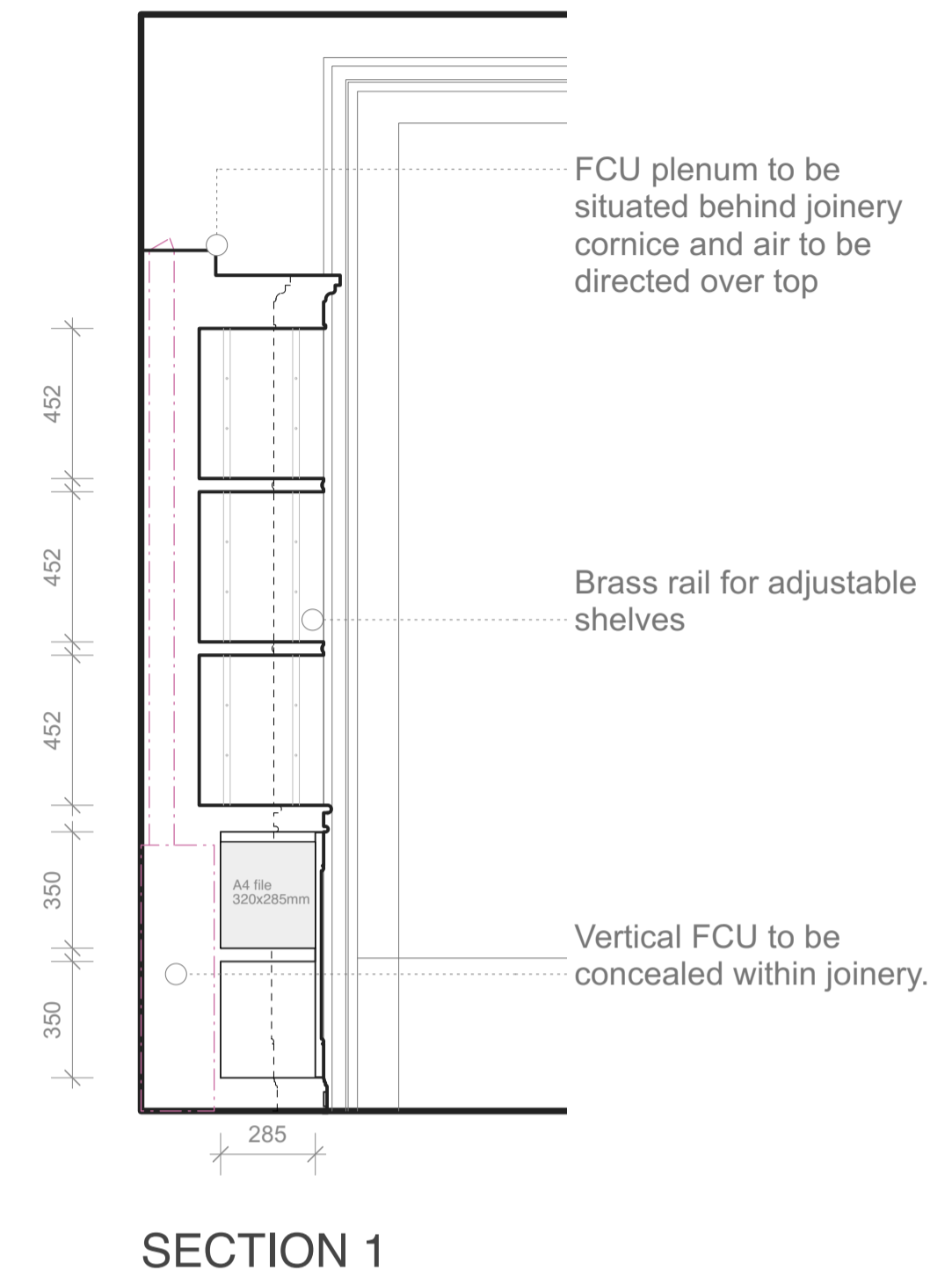
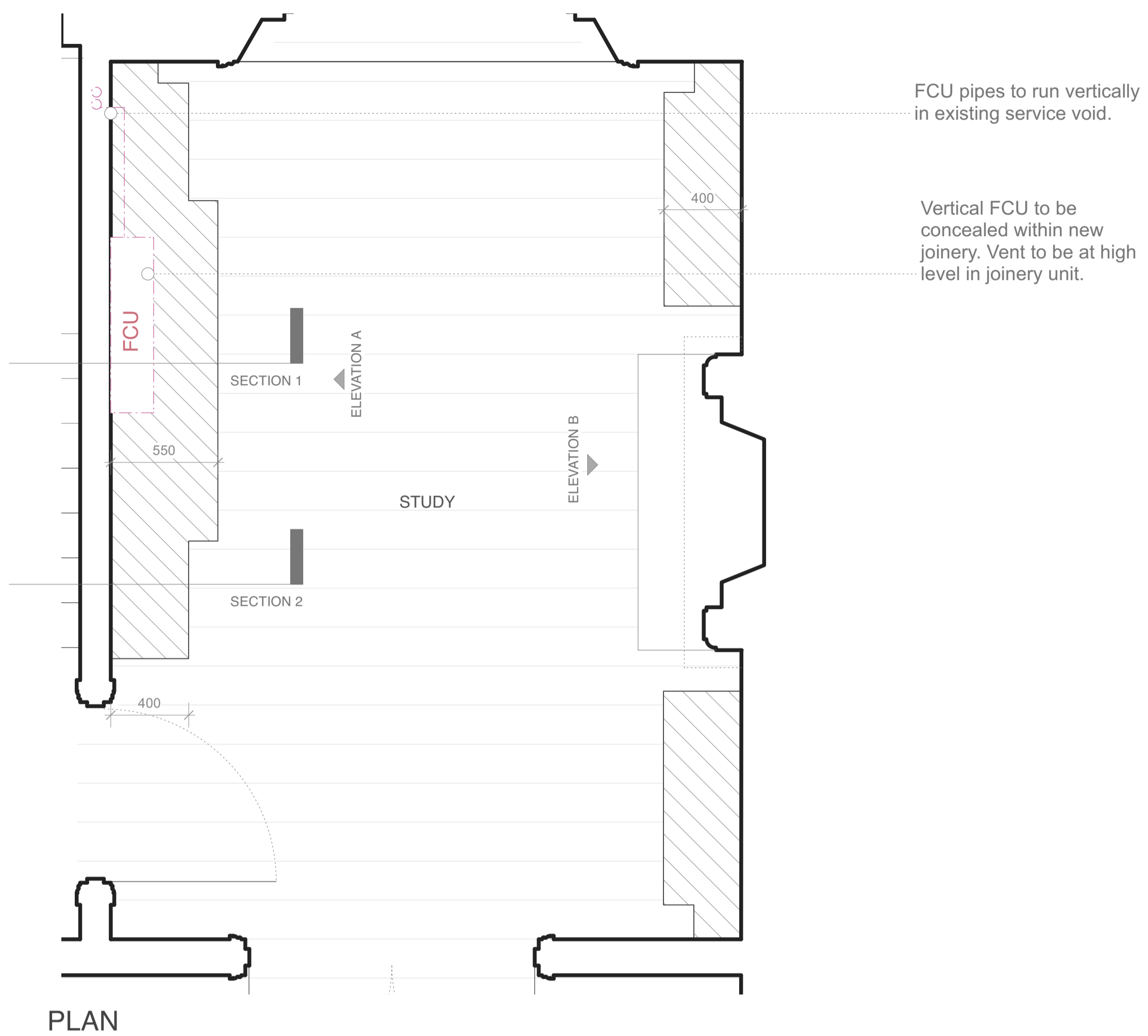
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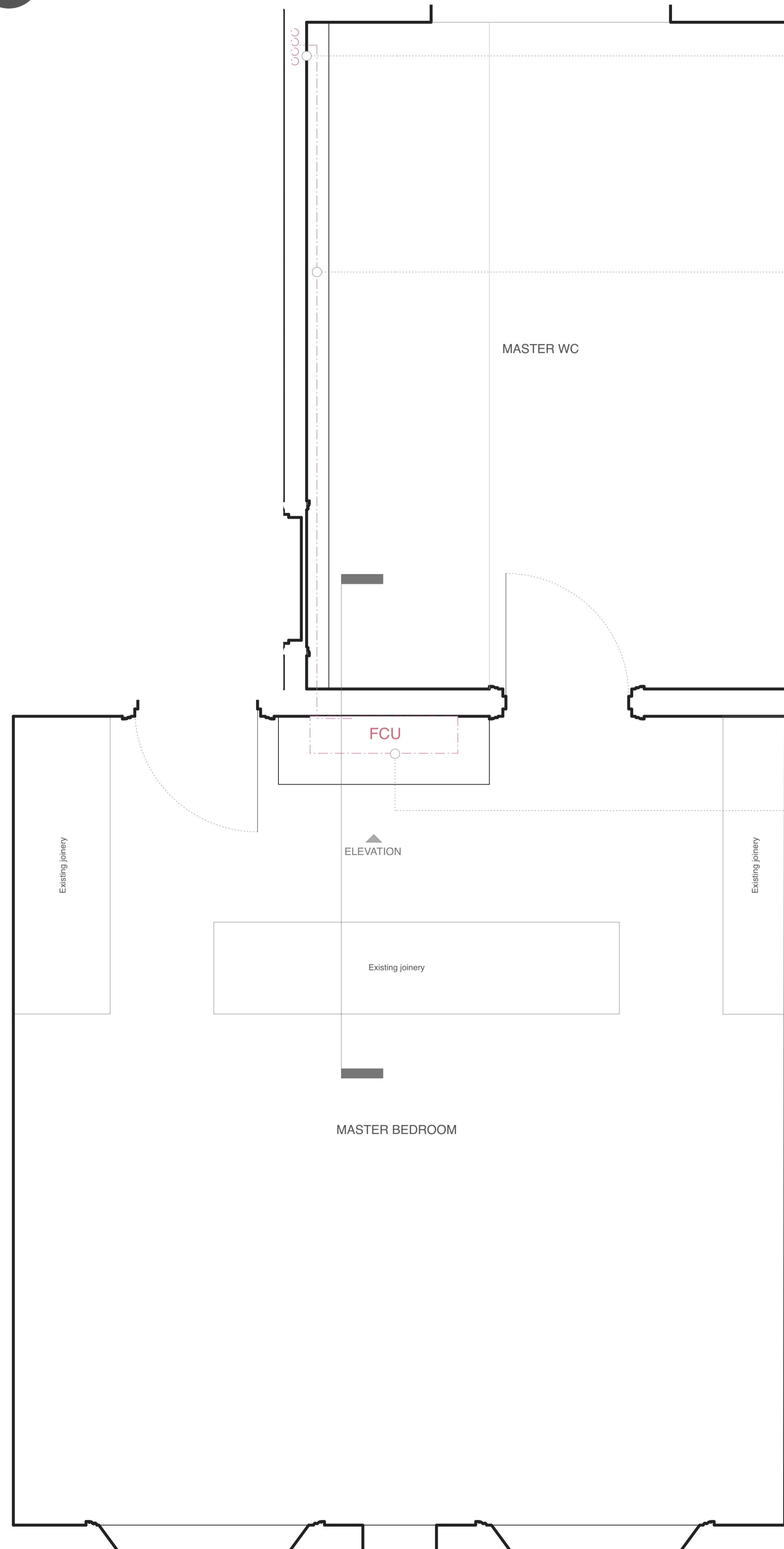


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08/04/2024

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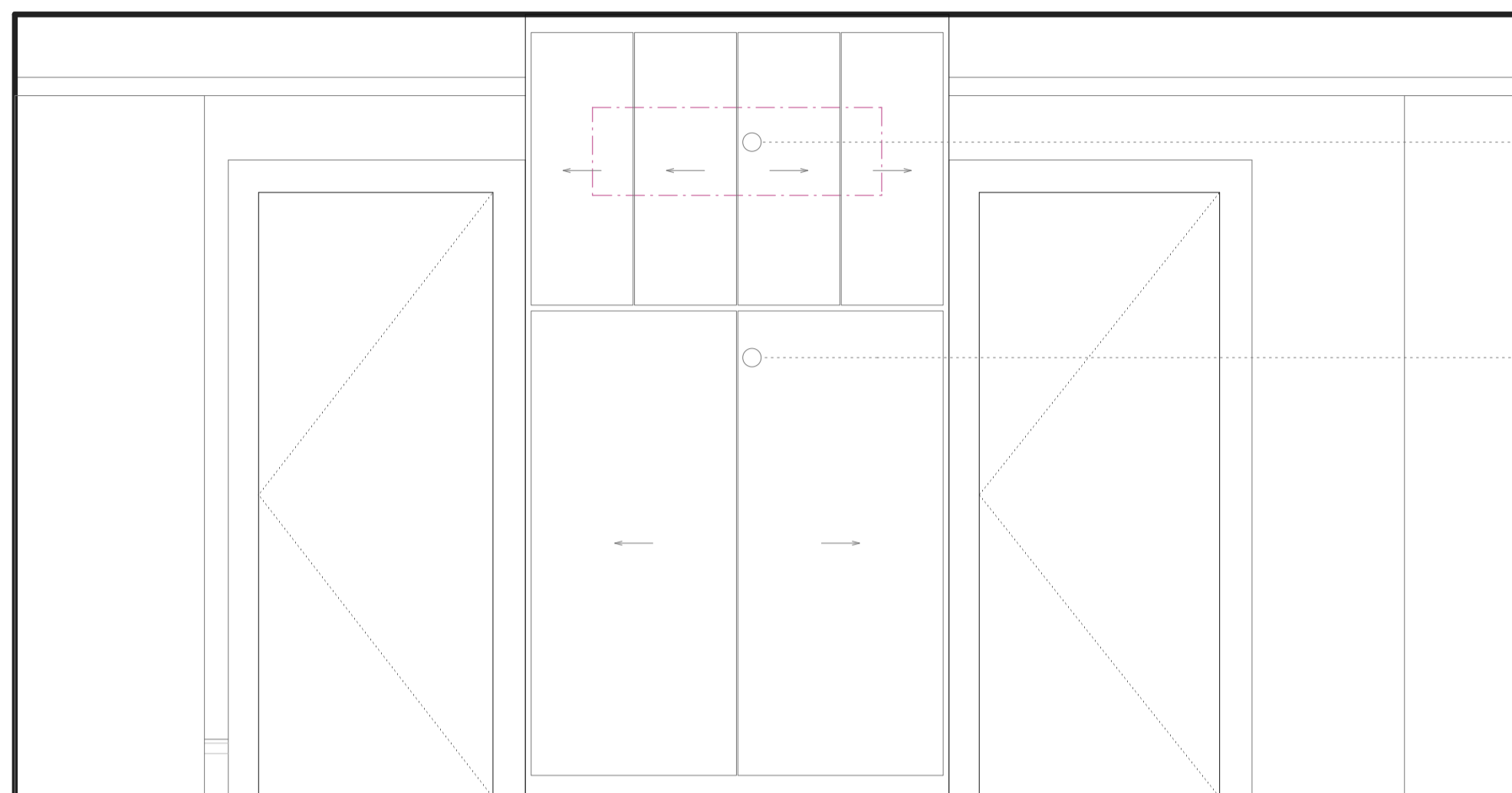
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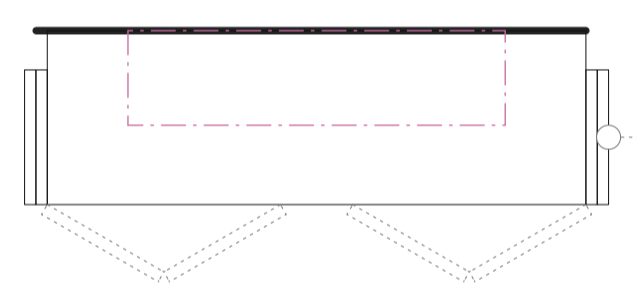


FCU pipes to run vertically in existing service void.
 FCU pipes to run horizontally at high level in existing stud wall.

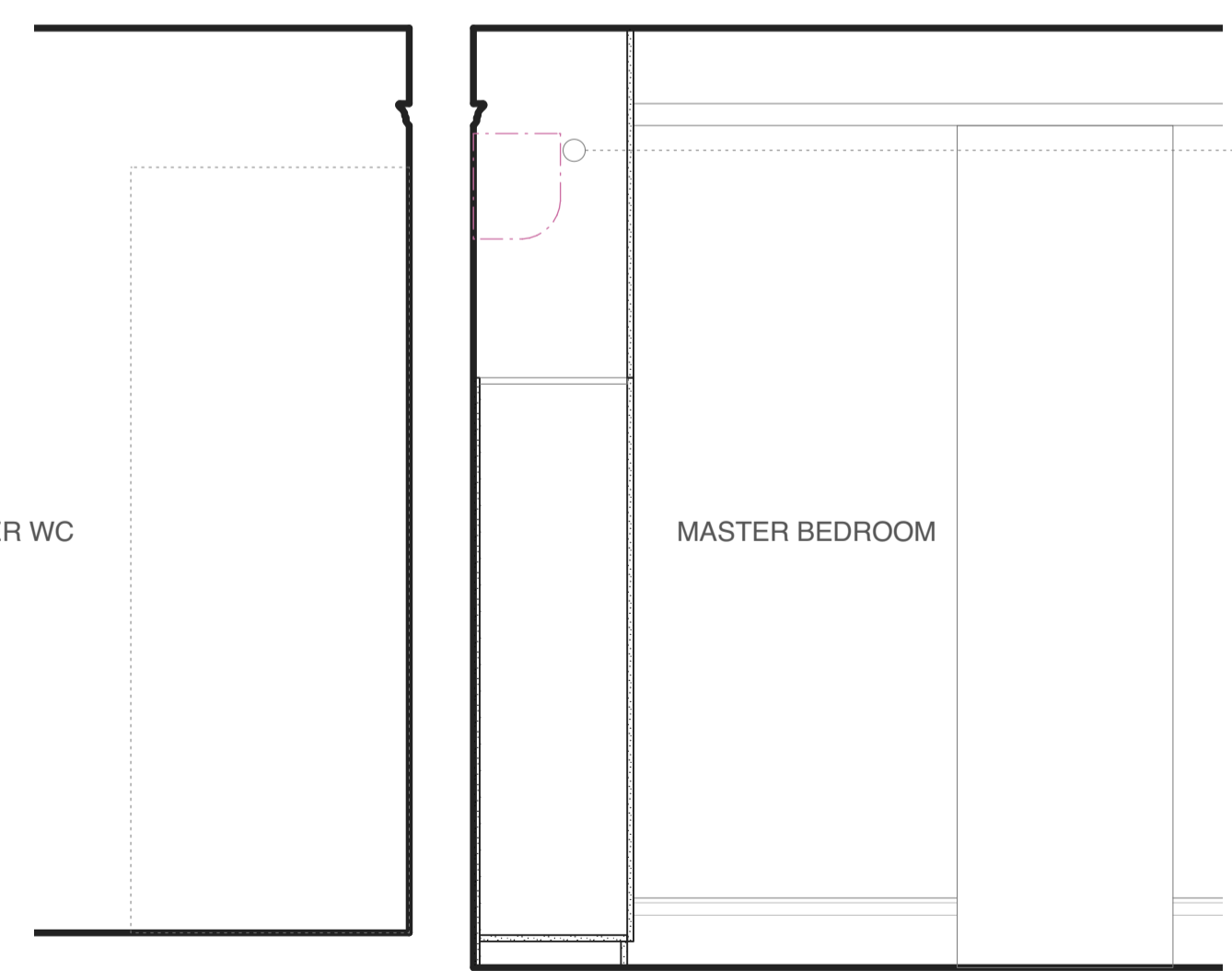
Wall mounted FCU concealed in joinery unit.



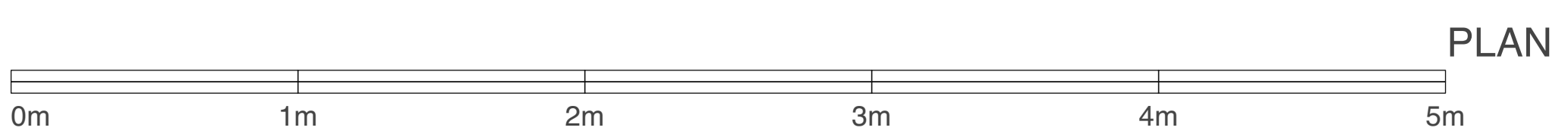
ELEVATION OF JOINERY IN MASTER BEDROOM



PLAN OF JOINERY IN MASTER BEDROOM



SECTION THROUGH JOINERY

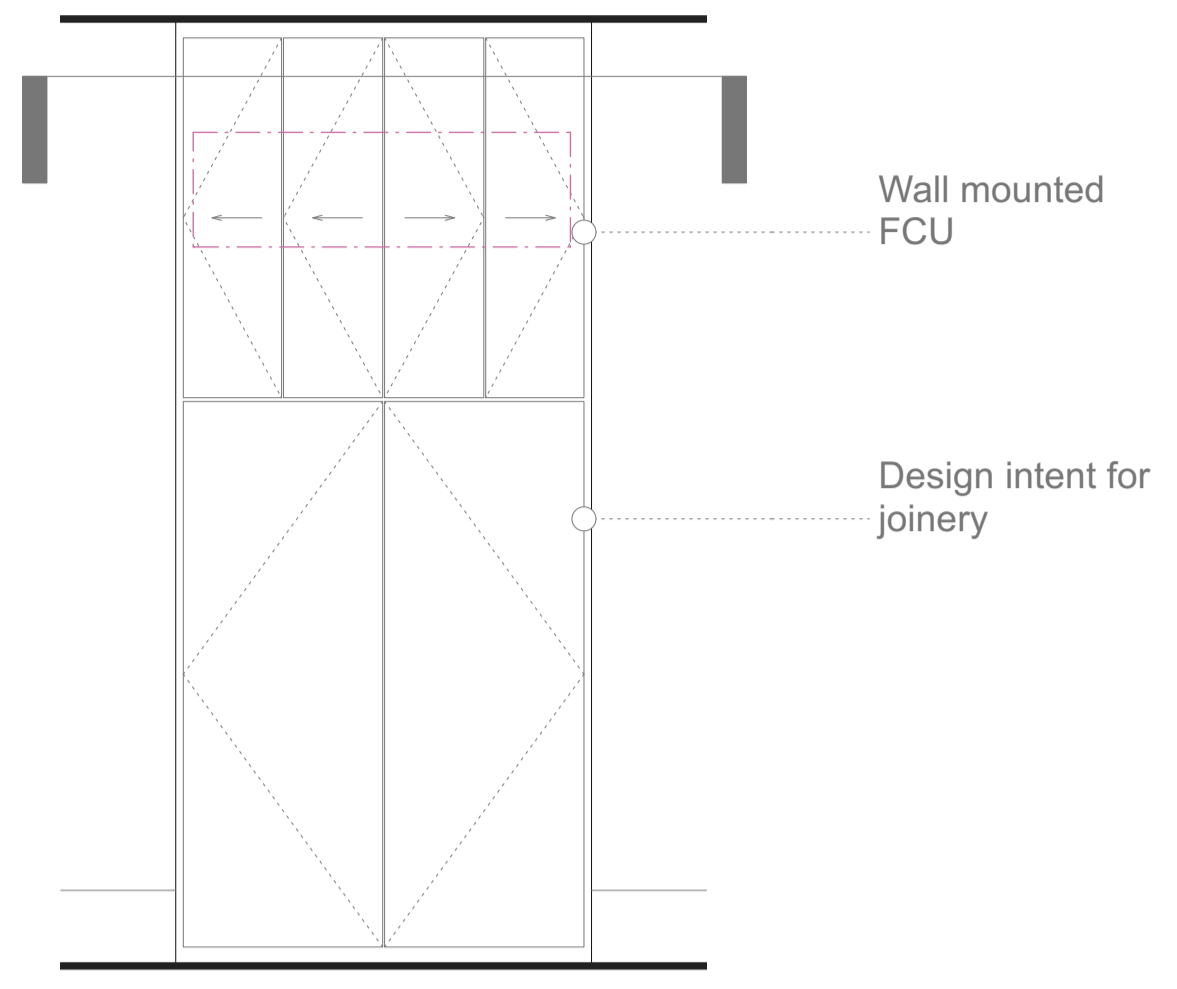
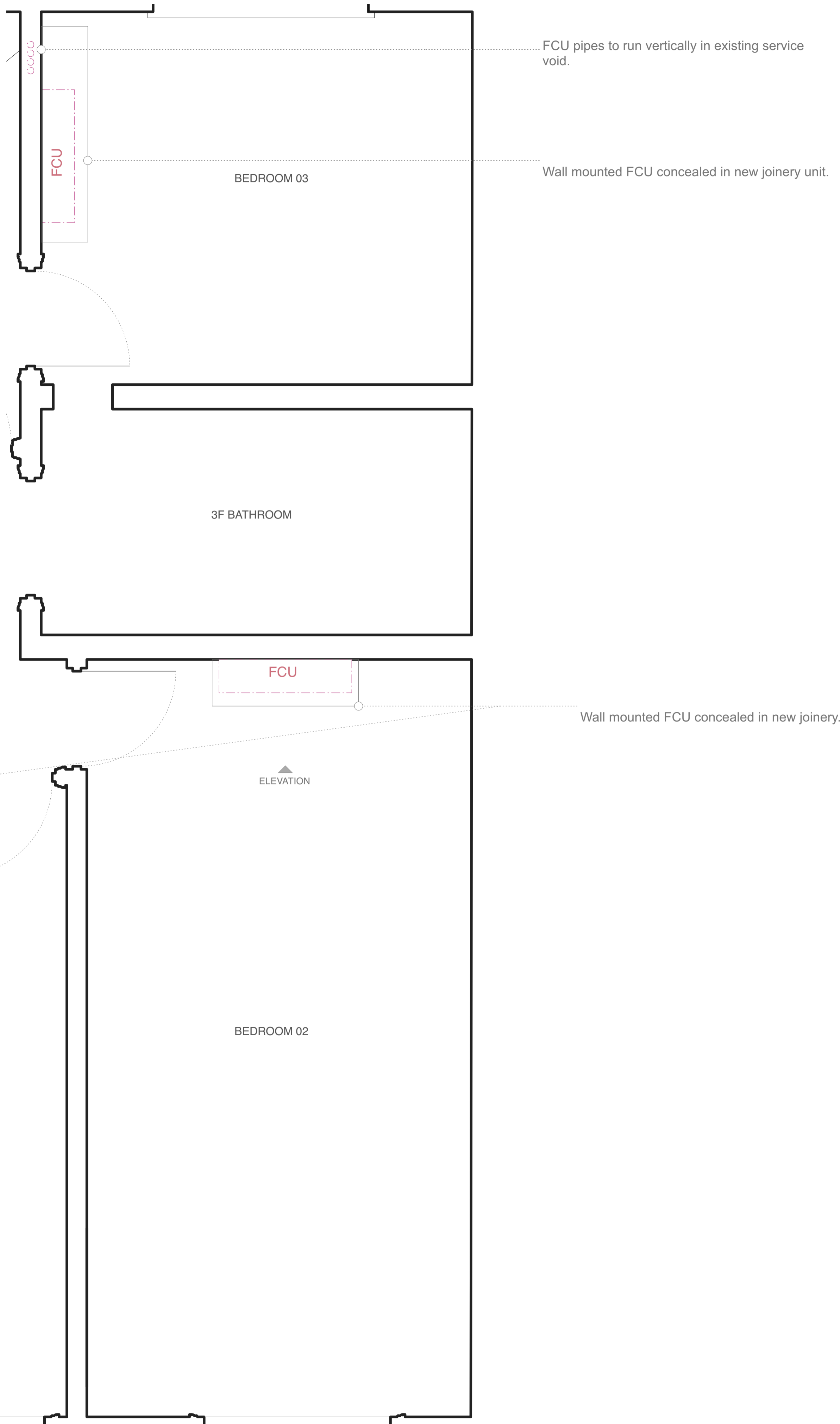


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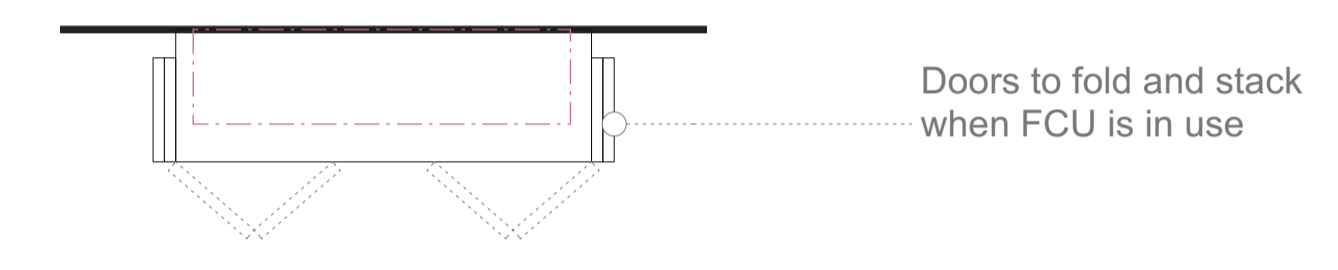
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 mail@hughcullum.com

Planning
 Room Arrangement
 2F Master Bedroom & Ensuite
 1:20@A1
 April 2024

JS024 - P421 (B)



ELEVATION OF 3F JOINERY



PLAN OF 3F JOINERY

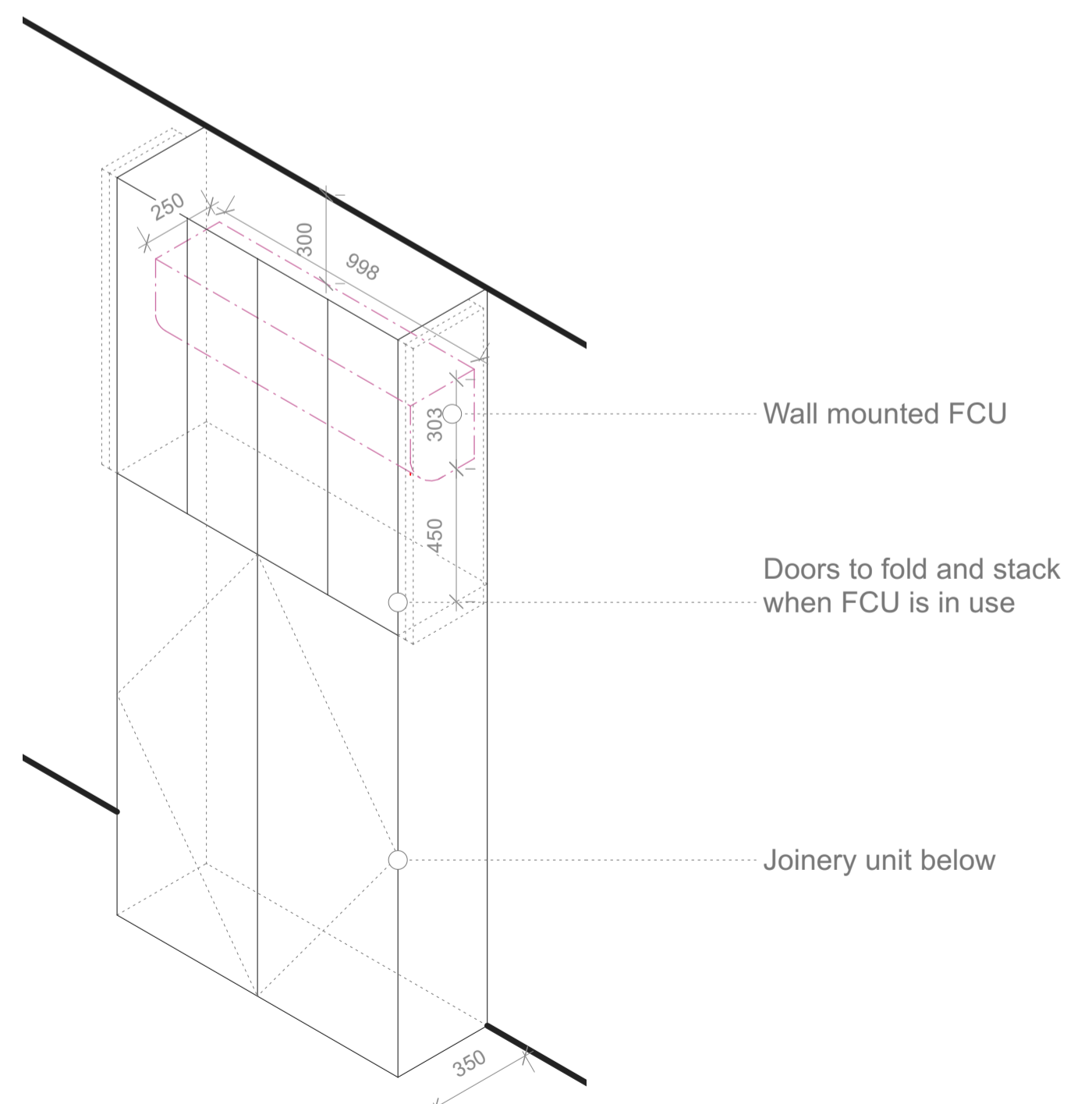
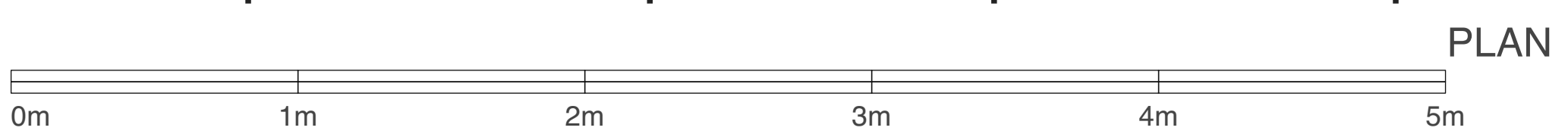


DIAGRAM OF 3F JOINERY

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PLAN

ISSUED TO PLANNING
08/04/2024

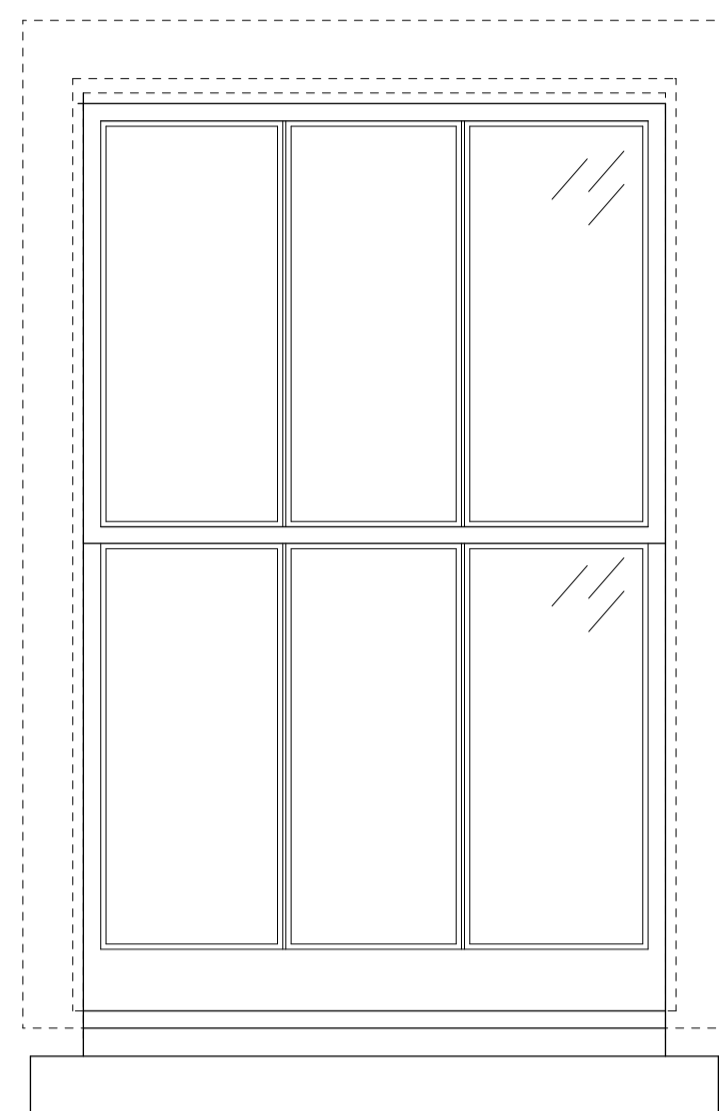
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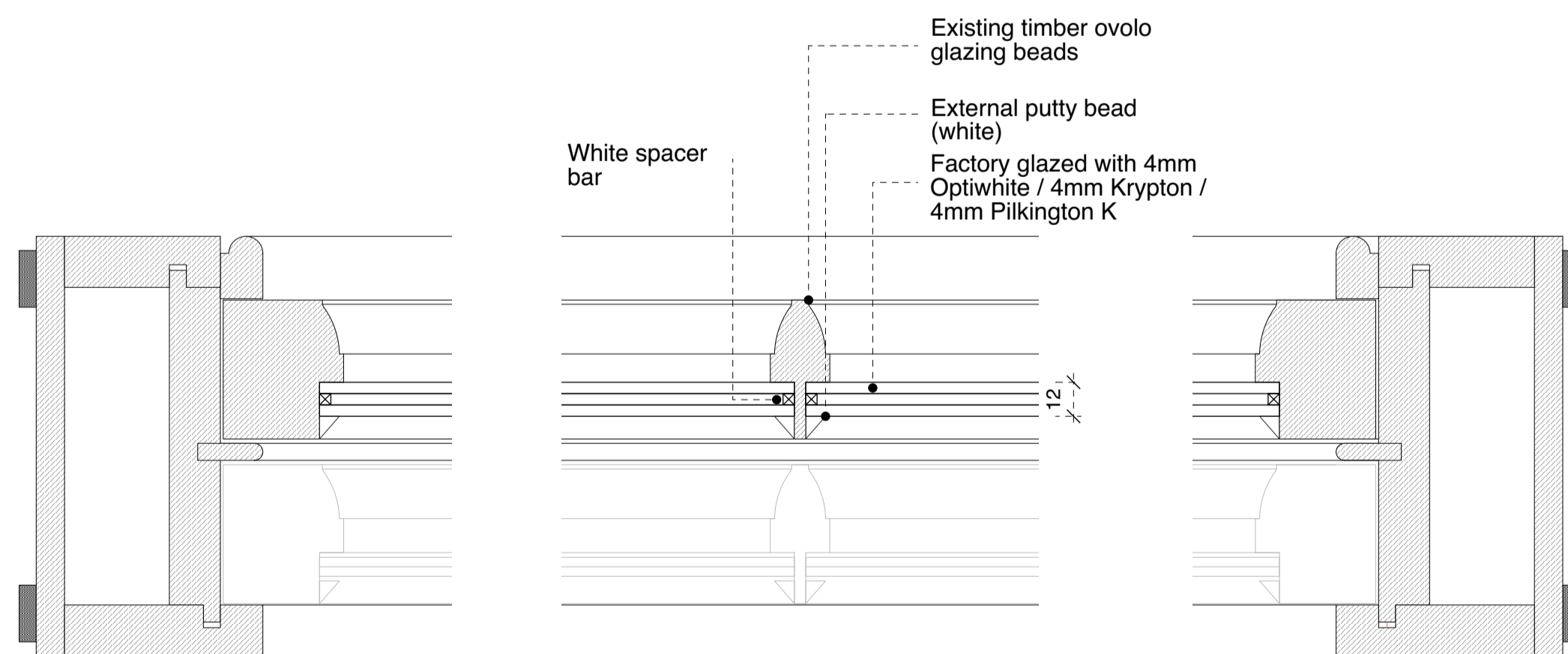
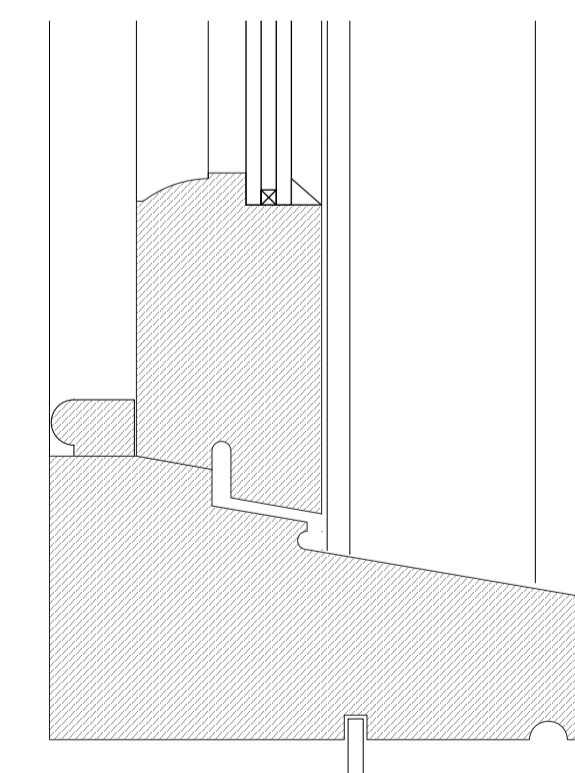
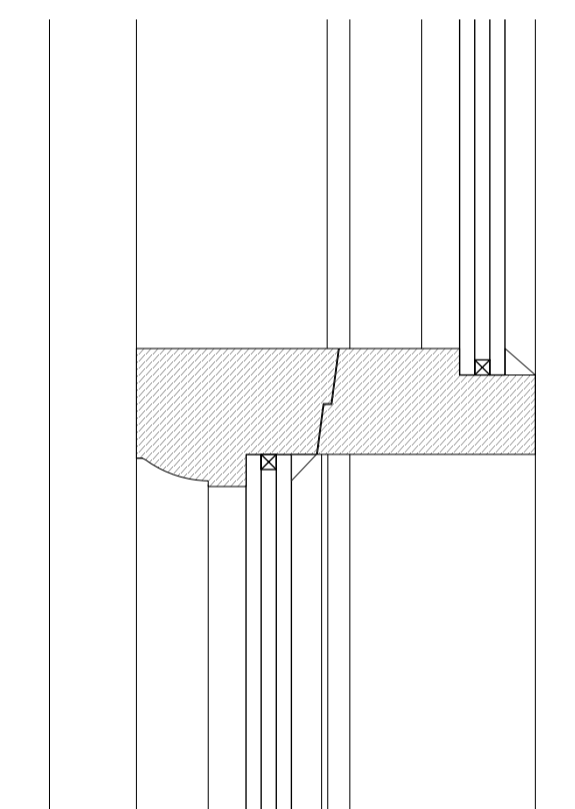
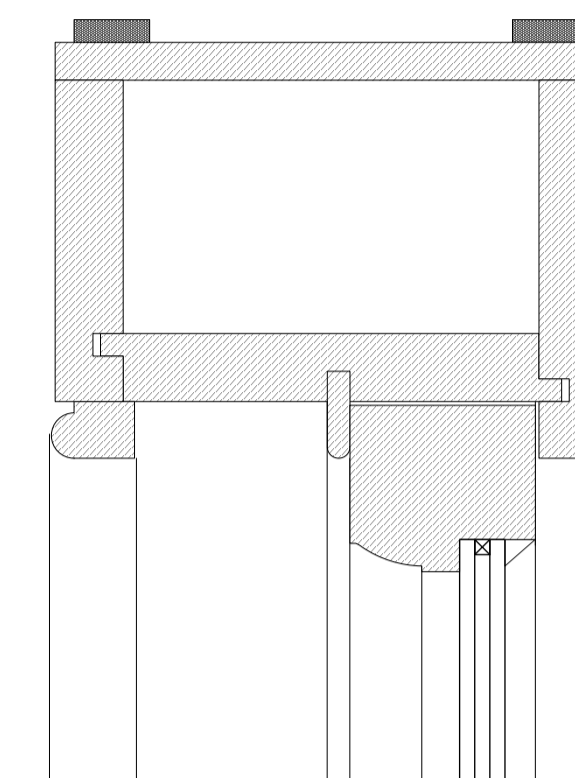
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New double glazing units to be fitted into existing sashes

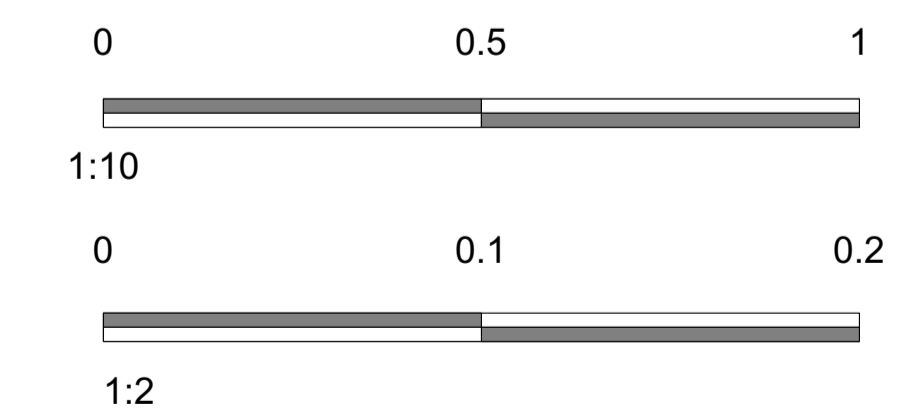
ELEVATION OF LGF WINDOW ONTO FRONT LIGHTWELL
Scale 1:10



Existing timber ovolo glazing beads
 External putty bead (white)
 Factory glazed with 4mm Optiwhite / 4mm Krypton / 4mm Pilkington K
 White spacer bar

PLAN DETAIL
Scale 1:2

SECTION
Scale 1:2



ISSUED TO PLANNING
08/04/2024





General Notes

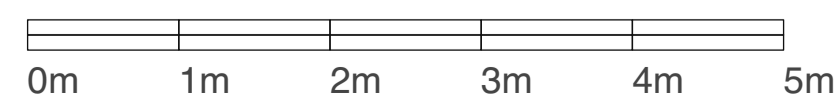
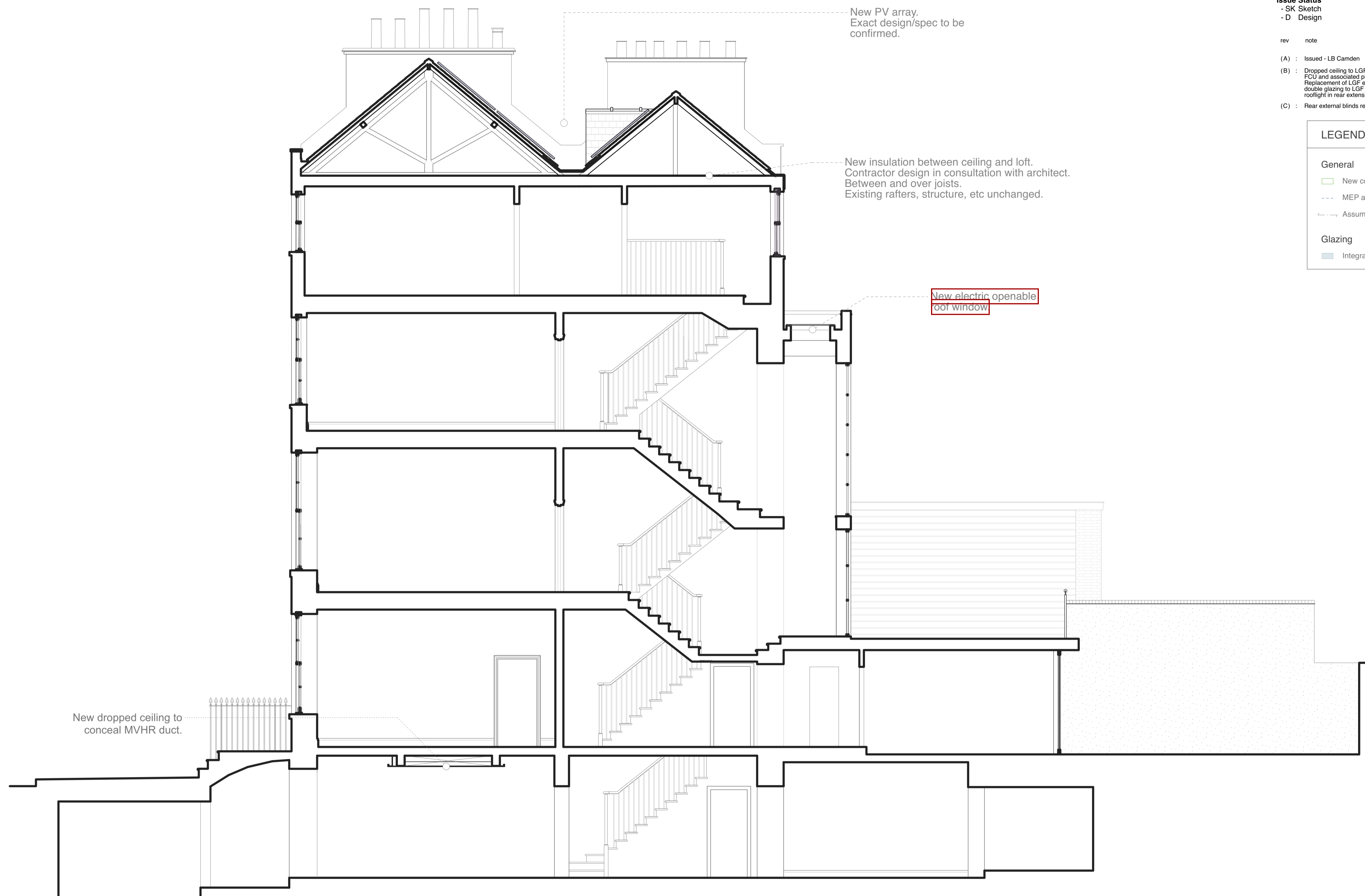
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	MEP alterations
	Assumed joist span overhead
Glazing	
	Integrated glazing units



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17/06/2024

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Planning
 General Arrangement
 Typical Section
 1:50@A1, 1:100@A3
 June 2024

JS024 - P300 (C)