



12a Church Row

Planning Statement

Boyer

Prepared on behalf of Mike and Naomi Yates | July 24

REPORT CONTROL

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1. INTRODUCTION

- 1.1 This Planning Statement has been prepared in support of a full planning application submitted on behalf of Mike and Naomi Yates (“the Applicant”) in relation to development at 12a Church Row, London, NW3 6UU (“the Site”).
- 1.2 The application seeks full planning permission for:
- “Extensions to the east façade at ground floor and to the north and west facades at ground and first floor, as well as a roof extension, single storey basement, reconstructed garden room and relocated garage.”*
- 1.3 The proposal seeks to enlarge and improve the accommodation of this family home through the development of appropriate and sensitive extensions. The design of the development will be of high quality, protect the amenity of neighbouring residents and cause no harm to the Hampstead Conservation Area (“HCA”) or any surrounding heritage assets.
- 1.4 The existing dwelling, which is a late C20 infill in a Neo-Georgian style makes at best a neutral contribution to the HCA. In addition, given the high boundary wall around the Site, the extensions will not be visible from the public realm and therefore, there will be no change to the contribution of the building to the street scene along Church Row. It will cause no harm to the HCA.
- 1.5 The proposed development will also deliver a 58% total onsite improvement in carbon dioxide (CO₂) emissions and benefits from several sustainability improvements, including: water saving devices, mechanical ventilation with heat recovery, an electric-powered heat pump system, solar panels, covered bicycle storage, large planting areas, and extensive green roofs.
- 1.6 The application is supported by the following documents:
- Application Form (prepared by Boyer);
 - Planning Statement (prepared by Boyer)
 - CIL Additional Information Form (prepared by Boyer);
 - Plans and Drawings (prepared by KSR Architects);
 - Design and Access Statement (prepared by KSR Architects);
 - Hard and Soft Landscaping Plan (prepared by Tom Massey);
 - Green Roof Plan (prepared by Tom Massey);
 - Arboriculture Impacts Assessment and Tree Protection Statement (prepared by Crown Tree Consultancy);
 - Basement Impact Assessment (prepared by Symmetrys);
 - Draft CMP (prepared by Canaparo Associates);
 - Flood Risk Assessment and Drainage Strategy (prepared by Symmetrys);
 - Heritage Statement (prepared by The Heritage Practice); and
 - Sustainability and Energy Report (prepared by Integration UK).

- 1.7 The Statement considers the planning benefits of the proposal regarding the development plan policies and material considerations.

2. SITE AND SURROUNDINGS

- 2.1 The Site is located to the north of Church Row, immediately adjacent to the intersection with Frognal Gardens. The Site is located in the Hampstead Conservation Area (HCA) which hosts a series of listed buildings, including most notably the Grade II listed pair of semi-detached cottages (Frognal Lodge, nos. 88 and 88a Frognal) immediately west of the Site and the Grade I Listed St. John's Church directly opposite the Site.
- 2.2 Church Row predominantly comprises 18th century 'Georgian' houses of red brick, however, the existing dwelling at 12a Church Row was built in the late 1950's and therefore, is not contemporary to the CA and an artifice. The existing massing at 12a poorly attempts to replicate the surrounding Neo Georgian context and is inconsistent with the surrounding HCA.
- 2.3 The Site is not identified as a positive contributor in the HCA Statement, but from previous discussions with the Council, we understand the officer considers the building to make a positive contribution to the conservation area. As set out in the accompanying Heritage Statement, we consider the house makes at best a neutral contribution to the HCA.
- 2.4 The Site falls within Flood Zone 1, with the lowest probability of flooding and PTAL Zone 3.

3. PLANNING HISTORY

3.1 Several planning applications were submitted by the previous owner of the Site, each is referenced below.

Reference	Description of Development	Decision
2008/4646/P	Erection of a 2 storey side/rear extension to the dwelling house with car port at ground level as a replacement to the existing partially demolished carport.	Granted 16 December 2008
PWX0202247	The retention of a new garden shed as a replacement for an existing green house and the creation of a hydrotherapy pool, including minor adjustments to the existing landscaping.	Granted 10 June 2002
PWX0002915	The extension of an existing garage towards the south, the erection of a first floor over the garage and alterations to the profile of the roof of an existing single storey rear extension, including the installation of three rooflights on that roof.	Granted 04 February 2002

3.2 In the Delegated Report for application ref. 2008/4846/P, the case officer stated *“Given that the proposed extension is small in scale and subordinate to the host property it is considered to accord with the relevant guidelines outlined in the Hampstead Conservation Area statement. Furthermore, given that the high boundary wall between the two properties has always been present it is not considered that the proposal will result in any loss of view from Frogna Gardens.”*

3.3 There are also several relevant applications in the surrounding area which are noted in the table below:

Reference	Address	Description of Development	Decision
2024/1850/P	18A Frogna Gardens, London, NW3 6XA	Conversion of garage to habitable space including front extension and replacement of garage door with windows and spandrel panels.	Registered

		Cladding (projecting) to garage front and surrounding underground floor front window; Roof extension; Side porch extension including addition of a rooflight and cladding material change; Replacement of existing windows with metal framed double-glazed units and installation of a new first floor side window; Installation of photovoltaic solar panels; Landscaping works to rear with associated alterations	
2022/1785/P	4 Frognal Gardens, London, NW3 6UX	Erection of 2 single storey rear and side extensions, with associated excavation of garden levels; new side entrance door with a canopy above, replacement of all ground floor sash windows with new double-glazed ones, reinstatement of a side sash window under the main building entrance; removal and replacement of three trees in the rear garden, excavation to create larger rear patio and other landscaping alterations.	Granted 11 October 2022
2015/2026/P	41 Frognal, London, NW3 6YD	Part 2/ part 3 storey rear and side extension including the excavation of a basement and the creation of an additional self-contained dwelling.	Granted subject to S106 legal agreement 02 November 2015
2013/2232/P	9A Church Row, London, NW3 6UT	Remodelling of closet wing with parapet wall and new rooflights, erection of single storey rear infill extension at basement level, including replacement windows at rear, new escape hatch in main roof, alterations to the front and rear facades and roof line of building, and to main rear garden layout/landscaping to dwelling house (Class C3)	Granted 17 July 2013

Engagement

- 3.4 A pre-application meeting for development proposals at 12a Church Row was held on the 1st December (ref. 2023/4733/PRE) for the *“Demolition of existing dwelling followed by the erection of a similar dwelling with two side extensions, a roof extension, single storey basement, reconstructed garden room and relocated garage.”*
- 3.5 Initial advice was then received on the 16th April 2024. In summary, the Council set out that they would be unable to support the proposed demolition of the building and strongly recommended the Applicant consider alternative approaches such as refurbishment. The written advice also requested the proposed design be revised, particularly the elements relating to the contemporary and neo-Georgian aspects of the building, and the design of the proposed roof.
- 3.6 Following this initial feedback, the Applicant decided to proceed with a refurbishment scheme as advised. The design of the scheme has also been revised to respond to the Council’s concerns.

Officer’s comments	Design Amendments
Demolition would not be supported due to conservation and sustainability principles.	The scheme has been revised to retain the existing building and extensions are alternatively proposed.
A better balance between contemporary and traditional features was recommended, particularly with regards to windows and dormers on the west elevation. In addition, that a clear distinction between the contemporary extension and main building should be made so the extensions are respectful and subordinate to the existing building.	All dormers have now been changed to match the traditional style and the east elevation flat roof extension is now clearly articulated as a contemporary extension, which is distinct and subordinate to the principal building, due to its reduced scale.
The roof extensions and increased massing was not opposed in principle; however, the officer stated the alteration to introduce overhanging eaves would not be supported. The Applicant was strongly encouraged to maintain the higher parapet wall that the eaves currently sit behind.	The roof form has been revised to omit overhanging eaves. The eaves now sit behind the parapets. This design is articulated in both the principle building and extension to ensure coherency.

<p>The case officer did not oppose the introduction of side dormers with tiled cheeks to match the roof but recommended the depth of these be reduced slightly from the principal elevation, so they read as subordinate to the roof.</p>	<p>The proposed dormer has been set back from the principal elevation to read as subordinate to the roof.</p>
<p>The flat rooflight over Grandma's bedroom was considered too large.</p>	<p>This rooflight has now been reduced.</p>
<p>The basement bathroom would need to be removed from the proposal, as it currently would pose a risk to sewer surcharge.</p>	<p>The bathroom has been removed from the basement.</p>

4. PROPOSED DEVELOPMENT

- 4.1 The proposal comprises *“extensions to the east façade at ground floor and to the north and west facades at ground and first floor, as well as a roof extension, single storey basement, reconstructed garden room and relocated garage.”*
- 4.2 The design seeks to improve the appearance and sustainability of the building at the Site, to reintegrate it with its Neo-Georgian surroundings. The new extensions will not detract from the character and appearance of the HCA.
- 4.3 The proposed roof extension is a mansard roof which retains and consolidates the existing roof form; with the eaves sitting behind the parapet wall. Tiles from the existing roof will be re-used where possible. This extension will provide an additional level of family accommodation at the property.
- 4.4 Side extensions are proposed to the east façade at ground floor and to the north and west facades at ground and first floor, to allow a more identifiable entrance and improve access to the garden space. Reclaimed bricks from sections of the existing building will also be re-used where possible.
- 4.5 In addition, the proposal includes a single storey basement which will accommodate, plant, a games room and an additional store area.
- 4.6 The existing garden room is proposed to be reconstructed in a lightweight contemporary style to create usable accommodation for the family.
- 4.7 It is also proposed to relocate the garage to the existing entrance space to sit below the front fence, embedded in the garden through landscaping and green walls. The relocation of the garage will provide a new entrance to the main building and will reduce the overall quantum of parking at the site, in favour of additional green space.
- 4.8 The new design of the Site will also result in the infilling of the existing pool which will provide valuable amenity space and new permeable green space.

5. PLANNING POLICY CONTEXT

- 5.1 Section 36(6) of the Planning and Compulsory Purchase Act advises that planning applications should be determined in accordance with Development Plan policy unless material considerations state otherwise.
- 5.2 The Development Plan for the London Borough of Camden comprises the London Plan (2021) and Camden Local Plan (2017).
- 5.3 Although the National Planning Policy Framework (2023) (NPPF) does not alter the statutory status of the Development Plan, it represents a material consideration in the determination of this application.

Development Plan Policies

London Plan (2021)

- 5.4 The London Plan (2021) sets out an integrated economic, environmental, transport and social framework for the development of London over the next 20-25 years. The relevant policies are:
- Policy D3 – Optimising site capacity through the design-led approach;
 - Policy D5 – Inclusive Design;
 - Policy D10 – Basement Development;
 - Policy HC1 Heritage, Conservation and Growth; and
 - Policy SI 12 Flood Risk Management

Camden Local Plan (2017)

- 5.5 The Camden Local Plan was adopted on the 3rd July 2017 and the relevant policies are:
- Policy A1 – Managing the Impact of Development;
 - Policy A5 – Basements;
 - Policy D1 – Design;
 - Policy D2 – Heritage;
 - Policy CC1 – Climate Change Mitigation;
 - Policy CC2 – Adapting to Climate Change;
 - Policy CC3 – Water and Flooding;
 - Policy T1 – Prioritising Walking, Cycling and Public Transport; and
 - Policy T2 – Parking and Car-free Development
- 5.6 The Council have started to review the adopted Local Plan. The emerging plan is currently at Regulation 18 Stage and a consultation of the new draft local plan was held earlier this year. As the emerging plan is at a very early stage, it holds no weight on this application.

Material Considerations

National Planning Policy Framework (NPPF) (2023)

- 5.7 The NPPF sets out the Government’s planning policies for England and how these should be applied. Chapter 2 of the NPPF states that sustainable development is at the heart of the planning system.
- 5.8 Paragraph 131 states good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable in communities.
- 5.9 Paragraph 135 states planning policies and decisions should ensure developments are:
- (b) visually attractive as a result of good architecture, layout and appropriate effective landscaping;
 - (c) sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation and change;
 - (d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming, and distinctive places to live, work and visit.
- 5.10 Paragraph 157 states the planning system should support the transition to a low carbon future in a changing climate, taking full account of flood risk and coastal change. In addition, that it should help to: shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure.
- 5.11 Paragraph 205 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation, irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
- 5.12 Other relevant guidance that is relevant to this application include:
- Hampstead Conservation Area Statement (2001)
 - CPG Basements (2021)
 - CPG Design (2021)
 - CPG Energy Efficiency and Adaptions (2021)
 - CPG Home Improvements (2021)

6. PLANNING ASSESSMENT

6.1 This section assesses the development proposals against the relevant policies and other material considerations.

Design

6.2 Camden Local Plan Policy D1 'Design' sets out a series of design requirements for new developments to follow. The relevant criterion include:

- respects local context and character;
- preserved or enhance the historic environment and heritage assets in accordance with Policy D2 (Heritage);
- is sustainable in design and construction, incorporation best practice in resource management and climate change mitigation and adaptation;
- comprises details and materials that are of high quality and complement the local character;
- integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible, and easily recognisable routes and contributes positive to the street frontage;
- is inclusive and accessible for all;
- responds to natural features and preserves gardens and other open space;
- incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting trees and other soft landscaping;
- incorporates outdoor amenity space;
- preserves strategic and local views; and
- for housing, provides a high standard of accommodation.

Side Extensions

6.3 The first element of the proposal is the construction of side extensions to the west and east elevations, which work to provide a more identifiable entrance and improved garden access. Extensions are proposed to the east façade at ground floor and to the north and west facades at ground and first floor. The design of these extensions will be detailed to improve the thermal envelope of the building.

6.4 Camden's Home Improvements Planning Guidance provides guidance on home extensions, including when extensions will be acceptable. In line with the guidance, the side extension will be set back from the main front elevation and will be secondary to the building being extended. The proposed extensions respect the existing appearance of the property and will not affect the character and appearance of the property or conservation area.

6.5 In terms of materiality, contemporary materials are proposed to reinforce the hierarchy of the principle existing building. Reclaimed bricks from sections of the existing building will be re-

used, to ensure that the proposal compliments the local character. For additional details on the proposed materials, please refer to section 4.5 of the DAS.

- 6.6 In pre-application feedback the case officer recommended that there should be a *“better balance between contemporary and traditional features.”* In result, all dormers on the west elevation have now been changed to ‘traditional style’ dormers. And the east elevation flat roof extension is clearly articulated as a contemporary extension to ensure there is a clear distinction between the contemporary extension and main building. In addition, in the feedback the case-officer stated the *“scale and bulk of the extensions to northwest and east could be considered acceptable.”* The scale of the extensions has remained unchanged and therefore, should be considered acceptable.
- 6.7 Roof Extension
- 6.8 The second element of the proposal is the construction of a mansard roof extension to provide an additional layer of accommodation. The proposed roof extension is a mansard roof which retains and consolidates the existing roof form; with the eaves sitting behind the parapet wall. The existing roof top level will be maintained, minimising the impact of this extension on the HCA.
- 6.9 The roof extension also incorporates side dormers with tiled cheeks to match the roof. The dormers are set back from the principal elevation to read as subordinate to the roof in line with Camden’s Home Improvements Planning Guidance. It is important to note, roof level accommodation featuring dormers is a characteristic typical to the area.
- 6.10 In terms of materiality, tiles from the existing roof will be re-used where possible and the detailing of this roof will greatly improve the thermal performance of the building.
- 6.11 In the pre-application feedback, the case officer set out that the Council would not be opposed to the roof extension and increased massing in principle and therefore, this proposal should be considered acceptable.

Basement

- 6.12 In addition, the proposal includes a single storey basement which will accommodate, energy efficient plant, a games room and an additional store area.
- 6.13 Section 3 of the DAS highlights how proposed development at the Site is in line with Camden’s Basement Planning Guidance. To summarise, the basement comfortably sits within the footprint of the existing dwelling and will not extend into either the front or rear garden. In addition, the basement is set back from neighbouring properties.
- 6.14 In pre-application feedback, the case officer confirmed they would not object to the principle of the basement, particularly due to its modest size. In addition, the case officer’s written feedback states it is not considered the basement *“would harm the contribution that the building makes to the conservation area, and as such would be acceptable, subject to further details.”* A BIA has been prepared and the contents of this report are explored later in this Statement.

Reconstructed Garden Room

- 6.15 The existing garden room is proposed to be reconstructed in a lightweight contemporary style to create usable accommodation for the family.
- 6.16 A contemporary style is proposed for the new garden pavilion. This addition has been respectfully designed to be subordinate to the principal building. In addition, the pavilion will feature large contemporary glazing, to create a strong connection between the inside and outside.

Relocated Garage

- 6.17 It is also proposed to relocate the garage to the existing entrance space to sit below the front fence, embedded in the garden through landscaping and green walls. The relocation of the garage will provide a new entrance to the main building and will reduce the overall quantum of parking at the site, in favour of additional green space.
- 6.18 The south elevation of the garage will sit below the height of the boundary wall, with no impact on the street front. The north elevation will incorporate a green wall providing an extension to the landscape and the east elevation will be concealed by planters. A green roof is also proposed to increase the overall quantity of green space in the garden.

Summary

- 6.19 Overall, in design terms, the proposals are compliant with the policies and guidance set out above, and therefore should be considered acceptable. The proposals respect the local context and character of the area and have been designed to provide high quality accommodation.

Heritage

- 6.20 Camden Local Plan Policy D2 (Heritage) outlines the importance of high-quality design in CAs and in areas where designated heritage assets and listed buildings are located. In addition, it states that if a site falls within a conservation area it should preserve the character and appearance of an area.
- 6.21 A Heritage Statement has been prepared by The Heritage Practice to assess the historic value of the building to the HCA. This report concludes the proposals should be considered appropriate in heritage terms, as the existing house is maintained and the increase in the bulk and massing of the house is modest. The proposals allow the current balance of built and unbuilt form of the Site to be preserved. In addition, that given the high boundary wall around the Site, the extensions will not be visible from the public realm, and therefore there will be no change to the contribution of 12a to the street scene along Church Row.
- 6.22 The Report sets out that as St John's Church (grade I listed) is heavily vegetated with mature trees around its perimeter, the church will be largely screened from any proposed changes to no.12a Church Row. Moreover, that Frogna Lodge (grade II listed) itself is set some distance to the west, reducing the contribution of the application Site to its setting. As such, the setting of surrounding heritage assets will be preserved, and the Site will continue

to be a neutral contributor to the surrounding HCA. Please refer to the Heritage Statement for further details.

6.23 Therefore, the proposals are compliant with the policies listed above.

Basement

6.24 Camden Local Plan Policy A5 (Basements), alongside the Council's Basement Planning Guidance provide a strict series of criteria for new basement developments to comply with. The criteria set out that any proposed basement should:

- Not comprise of more than one storey;
- Not be build under an existing basement;
- Not exceed 50% of each garden with the property;
- Be less than 1.5 times the footprint of the host building in area;
- Extend into the garden no further than 50% if the depth of the host building measured from the principal rear elevation;
- Not extend into or underneath the garden further than 50% of the depth of the garden;
- Be set back from the neighbouring property boundaries where it extends beyond the footprint of the host building; and
- Avoid the loss of garden space or trees or townscape or amenity value.

6.25 The proposal comprises a single storey basement which sits within the footprint of the existing building. In addition, the basement would not extend into either the front or rear garden and is set back from neighbouring properties. The inclusion of a basement in contrast to further ground level extensions avoids the loss of valuable permeable green space in the garden.

6.26 A BIA has been prepared by Symmetrys and submitted in support of this application. The BIA has identified no potential slope stability impacts or any potential hydrogeological impacts to the site and surroundings. The BIA has also identified, in conjunction with the FRA and Drainage Strategy Report, that the pre and post-development flood risk potential is categorised as 'Very Low' to 'Low'.

6.27 The BIA, FRA and Drainage Strategy clearly demonstrate the proposed development is compliant with the policies listed above. Please refer to these reports for further details.

Amenity

6.28 Camden Local Plan Policy A1 'Managing the Impact of Development' seeks to protect the quality of life of occupiers and neighbours in terms of visual privacy, outlook, sunlight, daylight, overshadowing, construction impacts and associated noise levels.

6.29 The proposed extensions will sit comfortably within the immediate and wider context. The sloping gradient of Church Row means that the dwelling and its roof do not appear visually dominant within the street scene. In addition, given the high boundary wall around the site, the extensions will not be visible from the public realm.

6.30 The proposed development also includes the infilling of the existing pool which will provide valuable amenity space within the Site.

Construction Management Plan

6.31 A draft Construction Management Plan (CMP) has been prepared by Canaparo Associates and submitted alongside this application. This plan seeks to address the ways in which impacts associated with the proposed works will be mitigated and managed. Please refer to CMP for further details.

6.32 Therefore, the proposals are compliant with the policies listed above.

Sustainability

6.33 As this is an application for extensions, there are no requirements for this scheme to provide any carbon savings in accordance with the development plan.

6.34 Nonetheless, we recognise Camden Local Plan Policy CC1 ‘Climate Change Mitigation’ which requires all development to minimise the effects of climate change and encourages all developments to meet the highest feasible environmental standards that are financially viable during construction and occupation.

6.35 We also recognise Policy CC2 ‘Adapting to Climate Change’ which requires developments to adopt appropriate climate change adaption measures, such as increasing permeable surfaces and introducing green roofs/ walls, as well as Camden’s Energy Efficiency and Adaptation Planning Guidance which states all developments in the borough are expected to reduce carbon dioxide emissions, in line with the GLA’s Energy Hierarchy: Be Lean, Be Clean, Be Green.

6.36 The existing building has an EPC rating of D with walls and the roof rated as “very poor”. The Applicant seeks to significantly improve the energy performance of the building and make the fullest possible contribution to minimising carbon dioxide emissions. The proposed development will result in a 58% total onsite improvement in carbon dioxide (CO₂) emissions and works to future proof the property to achieve zero carbon on-site emissions by 2050.

6.37 In addition to this, a range of sustainability measures are also proposed which are detailed within the Energy and Sustainability Assessment prepared by Integration UK. The sustainability improvements include:

- Water saving devices;
- Mechanical ventilation with heat recovery;
- An electric-powered heat pump system;
- Solar panels;
- Covered cycle storage;
- Large planting areas; and
- Extensive green roofs and walls.

6.38 Please refer to the Energy and Sustainability Assessment for further details.

6.39 As such, the scheme is delivering over and above what is required in the development plan.

Trees and Landscaping

6.40 Camden Local Plan Policy A3 ‘Biodiversity’ states the Council will protect and seek to secure additional trees and vegetation. This policy also requires trees and vegetation which are to be retained, to be protected during the demolition and construction phases of development.

6.41 An Arboriculture Impact Assessment and Tree Protection Plan have been prepared by Crown Tree Consultancy in support of this application. The Arboriculture Impact Assessment assesses the impact of all proposed construction works on the tree population and considers tree removal, canopy pruning, and the impact upon roots from various groundworks. The Tree Protection Plan sets out a series of protection barriers which will be implemented to minimise any impacts on the trees and vegetation at the Site.

6.42 The landscaping has been designed to be supportive of local wildlife and to encourage biodiversity. Additional trees and planters are being proposed on Site, as well as extensive green roofs and vegetation. The new design of the Site will also result in the infilling of the existing pool which will provide new permeable green space.

6.43 Therefore, the proposed development is compliant with Local Plan Policy A3.

Transport

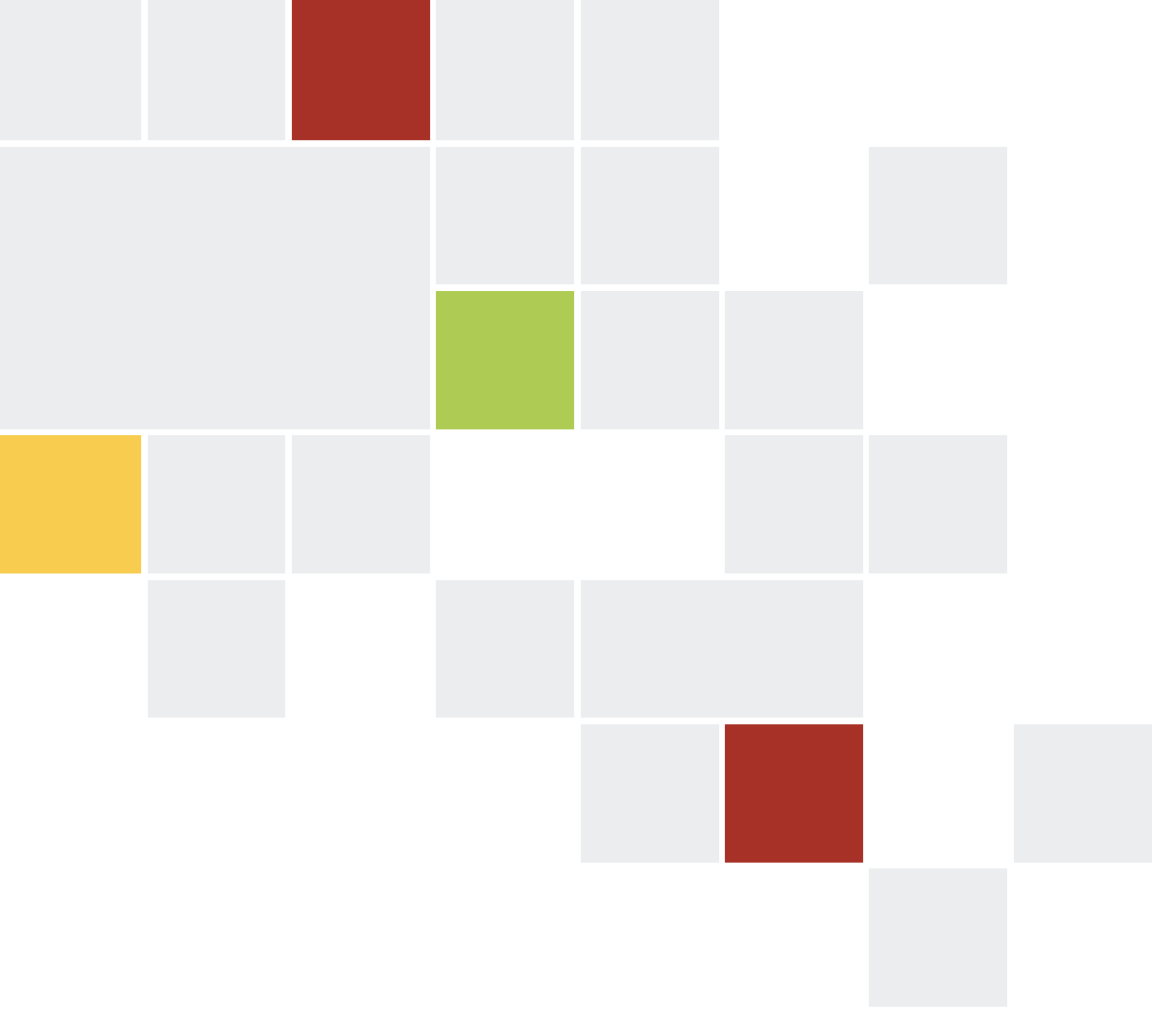
6.44 Camden Local Policy T1 ‘Prioritising Walking, Cycling and Public Transport’ seeks to ensure that developments contribute to the provision of sustainable transport facilities and Camden Local Plan Policy T2 ‘Parking and Car-free Development’ states the Council will support the redevelopment of existing car facilities for alternative uses.

6.45 As this is an application for extensions only, the transport policies in the development plan do not apply. However, as the Applicant is aware it is one of the Council’s strategic objectives to promote more sustainable means of transport in the borough, the scheme has been designed with these policies in mind.

6.46 Firstly, the proposal comprises a reduction to the no. of parking spaces in the driveway, to allow for the relocation of the garage, and an increase in green space. In addition, secure cycle storage is proposed to encourage more sustainable use of transport at the Site, as seen in Section 6.1 of the DAS.

7. CONCLUSION

- 7.1 The proposal seeks to enlarge and improve the accommodation of this family home through the development of appropriate and sensitive extensions to the property which do not affect the character or appearance of the conservation area. The proposed development additionally comprises the reconstruction of the garden room and the relocation of the garage.
- 7.2 The scheme responds positively to feedback from previous discussions with the Council and seeks to greatly improve the appearance and sustainability of the building at the Site.
- 7.3 Overall, the proposed development is of high quality and will respond to the form of surrounding properties, as well as the grain and pattern of developments in this part of the HCA. The existing building will be retained and as there will only be a modest increase to the bulk and massing of the building, the proposed dwelling will remain neutral to the HCA.
- 7.4 The proposal has been fully assessed in regard to national, regional and local planning policies and therefore complies with the development plan. The development does not harm the significance or setting of surrounding heritage assets, and therefore pursuant to SS38(6) of the Planning and Compulsory Purchase Act 2004 planning permission should be granted.
- 7.5 Should the Council disagree or consider harm to be caused to heritage assets, planning permission should be granted anyway, as other material considerations, including significant sustainability and transport benefits indicate that it should.
- 7.6 The proposed development will result in a 58% total onsite improvement in carbon dioxide (CO₂) emissions, and benefits from several other sustainability improvements including: water saving devices, mechanical ventilation with heat recovery, an electric-powered heat pump system, solar panels, covered bicycle storage, large planting areas, and extensive green roofs. The proposed development works to future proof the property to achieve zero carbon on-site emissions by 2050.
- 7.7 In addition, the proposal comprises the reduction of the no. of parking spaces on Site as a result of the proposed relocation of the garage (which includes cycle storage) and the increase in green space.
- 7.8 On the above basis, we respectfully request that the Council approves this application without delay.



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