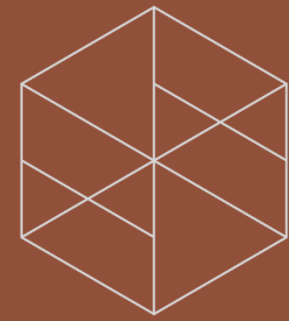


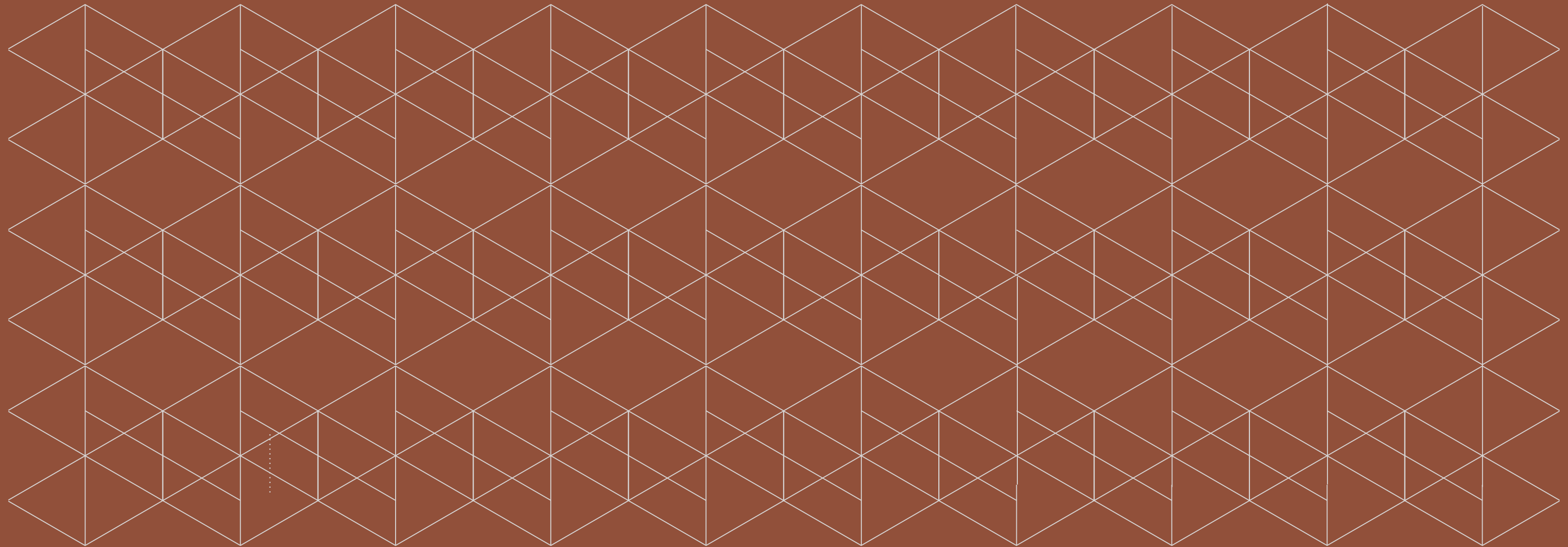
12a Church Row, London NW3 6UR

Heritage Appraisal



The
Heritage
Practice

June 2024



12a Church Row
London NW3 6UU

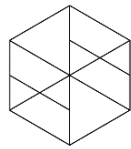
The Heritage Practice
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1 Introduction

1.1 The following Heritage Appraisal has been prepared to support a planning application to the London Borough of Camden regarding no.12a Church Row, London NW3 6UU. The proposals are for the refurbishment of the existing house and additions at ground and 1st floor level. The existing roof form will be replaced with a mansard, setback behind the existing parapet wall. A basement is proposed under part of the footprint of the house.

1.2 Pre application discussions were undertaken with the Council at the end of 2023, where the demolition of the house and its replacement with a facsimile frontage was proposed. Pre application advice dated 16 April 2024 has been received from the Council. This submission seeks to address the concerns raised by the Council and the scheme has been revised accordingly.

1.3 No.12a Church Row is located in the Hampstead Conservation Area. It is not identified in the Council's Hampstead Conservation Area Statement (2001) as a building which makes a positive contribution to the character and appearance of the conservation area.

1.4 In line with paragraphs 200 and 201 of the National Planning Policy Framework 2023, the purpose of this appraisal is to define the significance of the building and its contribution to the surrounding area. This assessment utilises the heritage values set out in Historic England's 'Conservation Principles' (2008).

1.5 The proposals will be assessed with regard to their impact upon the site, the surrounding area and the setting of any designated and non-designated heritage assets. The appraisal will go on to consider the acceptability of the proposals in relation to the relevant statutory, national and local heritage policy framework.

1.6 This Heritage Appraisal has been prepared by Hannah Walker (BA (Hons) Oxon MSc IHBC) who has extensive experience in dealing with proposals that affect the historic environment. She has 15 years of local authority experience, including 10 years as a Principal Conservation & Design Officer at the London Borough of Camden. She also has a wide range of experience in the private sector, preparing heritage statements and appraising the significance of historic buildings. She has trained as a historian, has a specialist qualification in historic building conservation and is a full member of the Institute of Historic Building Conservation (IHBC).



Figure 1: An aerial view of the site looking north.

2 Site and surroundings

2.1 Church Row is part of the historic core of Hampstead and forms an axial route leading west from the High Street, with views terminated by the east front of St John's Church. The road is lined with 18th century terraced houses, set close to the pavement behind shallow front lightwells, creating a strong urban character. The narrow plots widths combined with the height of the buildings provides a sense of enclosure and a fine grain to the townscape.

2.2 Adjacent to the church the character changes dramatically, as the road swings to the north and again to the south, sloping downwards to meet Frognal. Here the houses are large and either detached or semi-detached, set on substantial plots with extensive areas of greenery and soft landscaping. Taken together, the informality of the road layout, the setback position of the buildings and their scale and massing creates a loose and spacious suburban grain. Tall boundary walls to the street provides a sense of enclosure at pavement level, albeit softened by vegetation spilling over the brickwork.

2.3 The application site is roughly triangular in shape, with a long frontage to the northern side of Church Row. Due to the alignment of the road, the site occupies a fairly prominent position in the streetscene in longer views west along Church Row.

2.4 No.12a Church Row is a detached house, dating from the late 1950s. It is constructed in red brick, with painted timber sash windows and a clay tile clad roof. It is well setback from Church Row, with areas of garden and parking to the front and side. A detailed assessment of the significance of the house and its contribution to the surrounding area can be found at section 5 of this Appraisal.

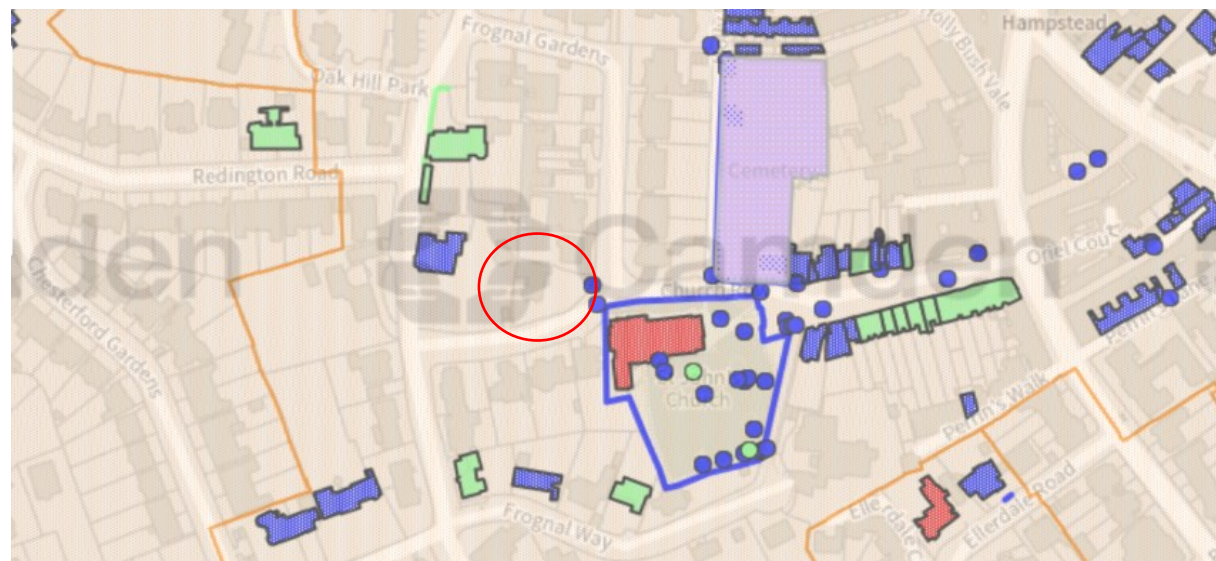


Figure 2: Interactive map from LB Camden showing Grade I listed buildings in red, Grade II listed buildings in blue, and the Hampstead Conservation Area shaded in buff. Locally listed buildings are marked in light green.

Heritage Assets

The Hampstead Conservation Area

2.5 The application site is located within the Hampstead Conservation Area which was first designated in 1968. The designation is large and includes the historic core of Hampstead village, swathes of surrounding residential development from the 18th and 19th centuries and more isolated pockets of housing situated on Hampstead Heath itself, such as North End and Vale of Health. The document summarises the character of the conservation area as follows:

Hampstead is a Conservation Area of considerable quality and variety. A range of factors and attributes come together to create its special character. These are principally; its topography; the Heath; the range, excellence and mix of buildings; the street pattern and Hampstead's historical association with clean water and fresh air. The Conservation Area stretches beyond the village itself to include South End Green, Frognaal and Rosslyn Hill and offers many fine and interesting examples of the architectural development of London (page 3).

Hampstead has an exceptional combination of characteristics that provide the distinct and special qualities of the Conservation Area. The variety of spaces, quality of the buildings, relationships between areas, all laid upon the dramatic setting of the steep slopes are described below. The contrast between the dense urban heart of Hampstead and the spaciousness of the outer areas is one of its major characteristics. It also demonstrates its historic development with the 18th century village still evident, adjacent to the streets created in the Victorian era, as well as many 20th century contributions. The Conservation Area character is therefore derived from the wide range of areas within it, each of which makes an important and valuable contribution to the Conservation Area as a whole (page 12).

2.6 The Hampstead Conservation Area Appraisal and Management Plan was adopted in 2001. This includes an analysis of the history and development of the conservation area as well as the features which contribute towards its special character. Due to the size and variety of the conservation area it is divided into a number of character based sub-areas. The application site forms part of Sub Area 5: Frognaal. This is focused upon the section of Frognaal running from south of Frognaal Way to the junction with Frognaal Rise to the north and includes the western section of Church Row. The sub area contains a diverse collection of buildings, ranging from modest 17th and 18th century cottages such as Bay Tree Cottage (Grade II) and no.110 Frognaal (Grade II), through to later 19th century red brick development such as no.100 Frognaal and the large red brick Frognaal Mansions and The Heights. The conservation area appraisal describes sub area 5 as follows:

The upper end of Frognaal, from Frognaal Lane to Frognaal Rise, was a distinct hamlet in the 17th and 18th century, and the earliest settlement of the area was probably found near the junction of Frognaal and Frognaal Lane. A number of 18th century houses remain. Frognaal was extended southwards in the 1880s and today much of Frognaal and its offshoots (Frognaal Lane, Frognaal Gardens, Frognaal Way and Frognaal Rise) are characterised by late 19th century and 20th century houses set in spacious large and well-treed gardens. Most are red brick, the earlier ones generally arts-and-crafts in style with picturesque red tiled roofs and chimneys. Many have decorative moulded brickwork or areas of tile hanging (page 39).

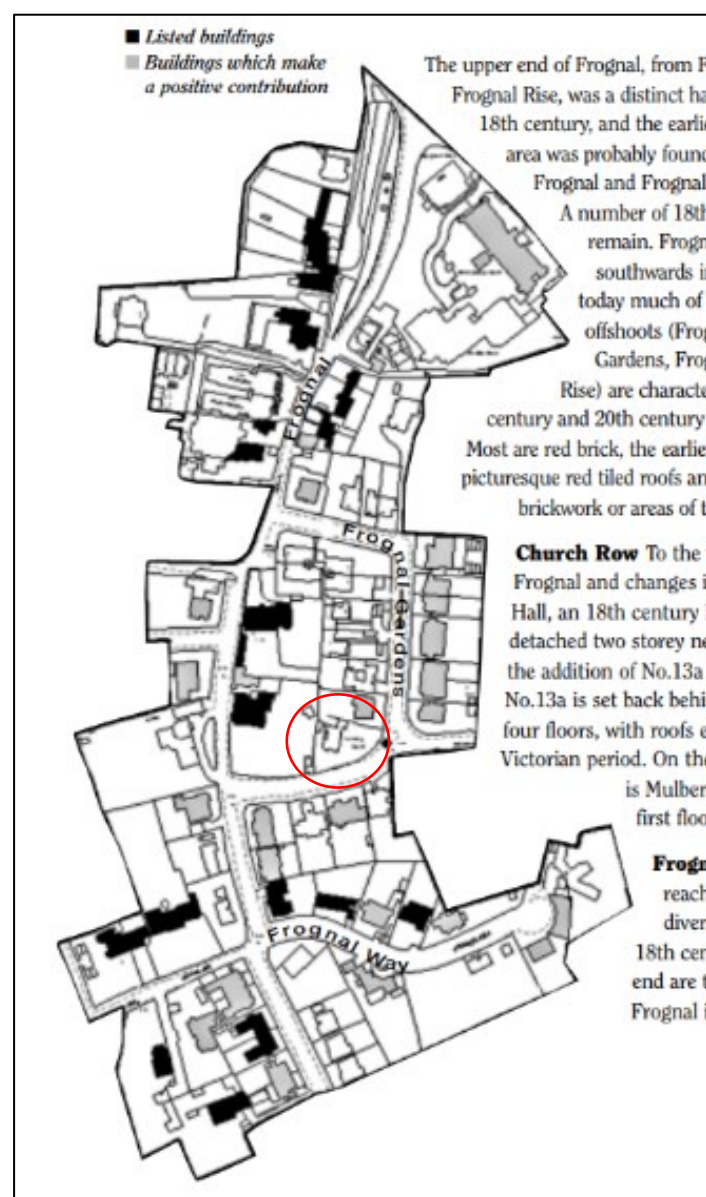
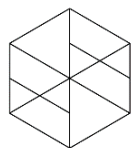


Figure 3: Map reproduced from the Hampstead Conservation Area Appraisal showing positive contributors in sub area 5 of the Hampstead Conservation Area.

2.7 Specifically in relation to Church row, the Appraisal notes that:

To the west of St John's Church the road extends down to Frognal and changes in character. The south side was the site of Frognal Hall, an 18th century house demolished in the 1920s. A couple of detached two storey neo-Georgian houses (Nos.13&14) were built, with the addition of No.13a in the 1970s by Ted Levy Benjamin and Ptnrs. No.13a is set back behind a high brick wall and rises to a rather too high four floors, with roofs echoing the gables and pitched roofs of the late Victorian period. On the north side at the junction with Frognal Gardens is Mulberry House, set back behind a high brick wall, the first floor windows and parapet are visible from the road (page 39).

2.8 The map on page 39 of the Appraisal denotes buildings which make a positive contribution to the character and appearance of the Hampstead Conservation Area. The map does not identify no.12a Church Row as a positive contributor. This assessment is reinforced by the list of positive contributors at page 51 of the Appraisal which also does not include no.12a Church Row.

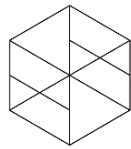
Statutorily Listed Buildings

2.9 The area immediately surrounding the application site is rich in built heritage and contains a high number of listed buildings. In order to identify those listed buildings and structures which might be affected by the proposals at no.12a Church Row, an assessment has been made, taking account of physical distance, topography, road alignment, sightlines and inter-visibility between the site and any surrounding listed buildings. The following buildings and structures are considered to form part of the immediate and wider setting to the application site:

- Church of St John– Grade I
- Gates, walls and wall with railings to St Johns Church – Grade II
- Nos.88-88a Frognal – Grade II
- Lamp post at junction of Church Row/Frognal Gardens - Grade II
- Lamp post on south side of Church Row– Grade II

Locally Listed Buildings

2.10 There are no buildings on the Council's Local List (2015) which form part of the setting of the application site.



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Heritage Appraisal
No.12a Church Row, London NW3 6UU
June 2024

3 Relevant planning history

2008

Planning permission (2008/4646/P) was granted on 16 December 2008 for “Erection of 2 storey side/rear extension to the dwellinghouse with car port at ground level as a replacement to the existing partially demolished carport.”

2002

Planning permission (PWX0202247) was granted on 10 June 2002 for ‘The retention of a new garden shed as a replacement for an existing greenhouse and the creation of a hydrotherapy pool, including minor adjustments to the existing landscaping. As shown on (59)02F, 04A, SK-06A.’

Planning permission (PWX0002915) was granted on 4 February 2002 for ‘The extension of an existing garage towards the south, the erection of a first floor over the garage and alterations to the profile of the roof of an existing single storey rear extension, including the installation of three rooflights on that roof. As shown on drawing no. 1281/001A, 001R, 002R, 003R, 301H, 302H, 303H, 304H, 305H and 306H.’



Figure 4: John Roque's map of 1746.

4 Historic development of the site and area

4.1 This section provides a general overview of the historical background to the application site, in so far as it is relevant to an understanding of the building, its site and historic context. It is not the purpose of this appraisal to create a detailed historical narrative of the area, but to provide historical information regarding the building which is sufficient to “...identify and assess the particular significance of any heritage asset that may be affected by a proposal” (paragraph 195 of the NPPF 2021).

4.2 Until the beginning of the 17th century Hampstead was a rural village situated on rising ground to the north of London. Gradually the area began to attract members of the gentry and merchant class who built villas and large houses on the slopes to the east and west of Hampstead village, allowing them to take advantage of the clean air and views, whilst still within easy reach of London.

4.3 Buildings were first recorded at Frognal in the 15th century. It remained a separate community from Hampstead well into the 17th and 18th centuries, with a manor house and several other large dwellings and cottages scattered picturesquely on the slopes to the west of the village. Many of the cottages and mansions adopted the Frognal name, including Frognal Hall to the south of Church Row and Frognal Lodge to the north.

4.4 Roque's map of 1746 shows development strung along the High Street and around the village centre. Church Row can be seen with buildings along its southern edge and a larger house to the north, with views westwards terminated by St John's Church. This was built by Henry Flitcroft and John Sanderson during the mid 1740s and formally dedicated on 8 October 1747.

4.5 Roque's map also shows a cluster of buildings at Frognal, to the NW of the High Street. A number of large houses can be seen to the west of Church Row, one of which could be Frognal Hall, which had its origins in the 17th century.



Figures 5 & 6: The 1866 Ordnance Survey map (top) and the 1893 Ordnance Survey map (bottom).

4.6 In 1792 Frognal was praised for its *'salubrity of air and soil, in the neighbourhood of pleasure and business'*. A few years later in 1811, Frognal was described as a *'hamlet of handsome residences' surrounded by groves and gardens 'of an extent begrudged by builders in these modern days'*.¹

4.7 The 1866 Ordnance Survey map shows Hampstead and Frognal before the area to the west of Church Row began to develop, with the village built up along the High Street and with Church Row lined on both sides with 18th century terraced houses. Hampstead had briefly flourished as a spa during the late 17th and early 18th centuries with a pump room and assembly room constructed near the source of the chalybeate springs in Well Walk. This stimulated fashionable development within Hampstead however the spa declined relatively quickly due to the impact of day trippers on its exclusivity.

4.8 St John's Church, its churchyard and burial ground formed the western extremities of the village at this time, giving way to an open landscape of large houses set within substantial landscaped gardens. At this time, Frognal was still described as a *'beautiful and suburban village'*, with fine views and being *'full of gentlemen's seats and villas'*, including Frognal Hall set in gardens adjoining the churchyard.²

4.9 By the time of the 1893 Ordnance Survey map the area had begun to change. The historic toll gate building which sat at the western end of the formal section of Church Row was still in place. However, Frognal Gardens had been laid out on the eastern edge of the extensive grounds to 'The Mansion', a large house which sat on the east side of Frognal, and its eastern side developed with large, red brick semi-detached houses. The road had a spur leading west to join Frognal and a section forming a cul-de-sac at its northern end.

¹ T F T Baker, Diane K Bolton and Patricia E C Croot *'Hampstead: Frognal and the Central Demesne'*, A History of the County of Middlesex: Volume 9: Hampstead, Paddington (1989), pp. 33-42.

² *Hampstead: Belsize and Frognal'*, Old and New London: Volume 5 (1878), pp. 494-504.



Figures 7-9: Top left to right – the 1912 Ordnance Survey map and the 1934-37 Ordnance Survey map.
 Bottom – the 1953 Ordnance Survey map.

4.10 By 1912 further development had taken place within the grounds of 'The Mansion', with a new house on the western side of Frognaal Gardens, facing the junction with Church Row. The 1934-37 Ordnance Survey map shows a further two pairs of semi-detached houses added to the western side of Frognaal Gardens, as well as a pair at nos.96 and 98 Frognaal, significantly reducing the setting and curtilage of the original 18th century house.

4.11 Significant change also occurred during this period on the south side of Church Row, with Frognaal Hall demolished in the 1920s and its grounds developed for housing. By the mid 1930s nos.13 and 14 Church Row had been added, with two further houses to the west at nos.68 and 70 Frognaal. Frognaal Way had been laid out as a cul-de-sac across the southern section of the grounds, with its houses displaying a variety of innovative architectural styles, including no.9, the Sun House by Maxwell Fry (1935), no.13 by C.H.B Quennell and no.20 for Gracie Fields (1934).

4.12 An aerial view of the area taken in 1946 shows Frognaal Gardens stretching to the north of St John's church, with its substantial semi-detached houses, and the later houses to the north of 'The Mansion', now statutorily listed as 'The Old Mansion, nos.94 & 94a Frognaal'. On the south side of Church Row the new houses at nos.13 and 14 can be seen, with a tennis court to the west of no.13 and Frognaal Way can be seen further south again.

4.13 By the time of the 1953 Ordnance Survey map no.66 Frognaal by Connell, Ward & Lucas (1937) had been added on the corner of Frognaal Way.

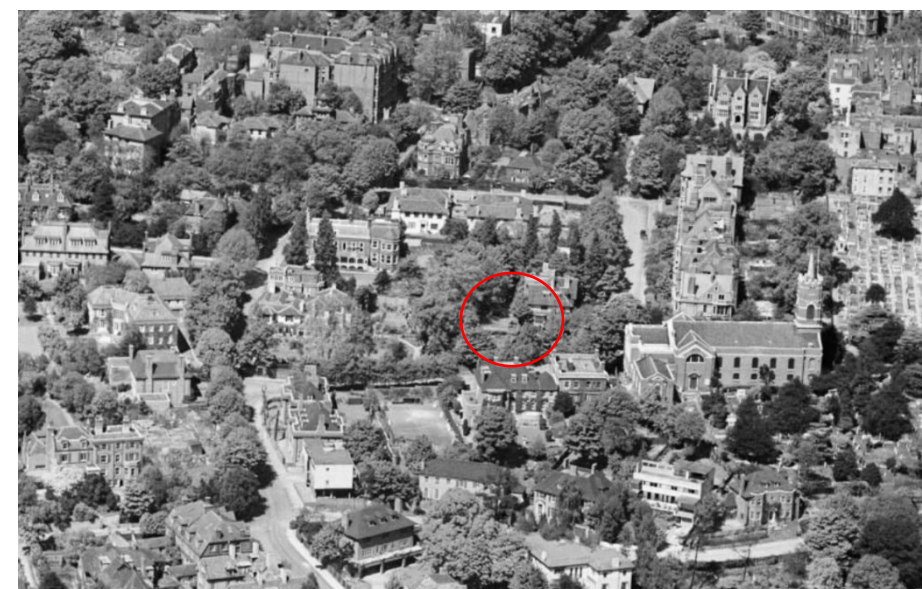
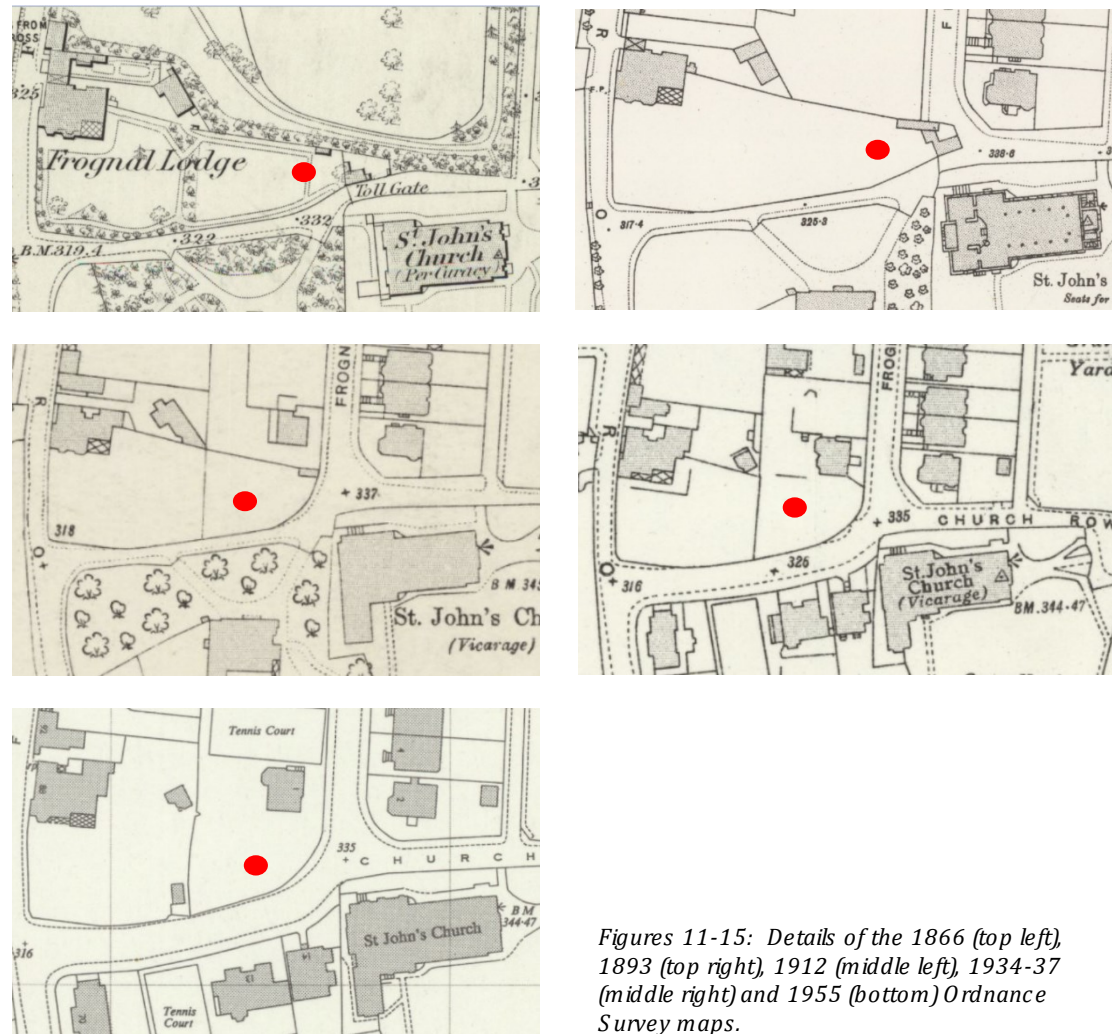
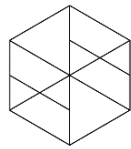


Figure 10: An aerial photograph of the area taken in 1946.



Figures 11-15: Details of the 1866 (top left), 1893 (top right), 1912 (middle left), 1934-37 (middle right) and 1955 (bottom) Ordnance Survey maps.

Development of the site at 12a Church Row

4.14 The 1866 Ordnance Survey map shows Frognal Lodge sitting on a large site in the elbow between Frognal and Church Row. This substantial house had landscaped gardens, paths and trees spreading to the south and east of the property. The historic toll gate stood on a small triangular plot to the east of Frognal Lodge, directly to the north of St John's Church.

4.15 By the time of the 1893 map Frognal Lodge and its site still remained undeveloped. The 1912 map does show the beginnings of change, with the demolition of most of the toll gate building and the future site of no.12a Church Row delineated on the map. However, the site remained empty on the 1934-37 map, and as late as 1955.

4.16 No.12a Church Row was constructed in the late 1950s at the earliest, in a neo-Georgian style, executed in red brick.



Figures 16 & 17: Views of the house from Church Row showing the screening effect of the tall brickwork boundary wall and existing vegetation on the site.

5 Significance of the building

5.1 The National Planning Policy Framework Annex 2 defines significance as “*The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.*”

5.2 A heritage asset is defined as “*A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).*” In this case the designated heritage asset is the Hampstead Conservation Area.

5.3 No.12a Church Row dates from the late 1950s. It is a detached house laid out over two main storeys, with extensions to the rear constructed in the first decade of the 21st century. The house is constructed in the neo-Georgian style, with red brick facades and white painted timber sash windows.

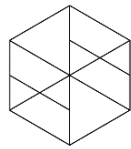
5.4 The house is well setback from Church Row to the south, and from the curved junction with Frognal Gardens to the east. The primary vehicular access is from Church Row and leads to an area of hardstanding to the front of the house. There is a secondary vehicular access to the east, adjacent to a modern, single storey garden room. The main garden areas are to the side of the house, where there is a large swimming pool, areas of lawn and mature shrubs and trees. The house is tucked into the NW corner of the site, with development abutting or sitting in close proximity to the northern boundary with no.1 Frognal Gardens and the western boundary with no.88 Frognal.

5.5 The boundary between the site and Church Row is a mixture of close boarded timber fencing and yellow stock brick, much of which is modern but with some potential fragments from the earlier boundary wall to Frognal Lodge. Due to the height of the wall, the ground floor elevations of the building are concealed in views from the street, with only the 1st floor and roofscape elements visible.

5.6 The original section of the building is broadly rectangular in plan with an inset section on its western façade. Its roofscape consists of hipped slopes, clad in clay tiles and partially concealed behind a parapet wall. The overall form of the roof is incongruous, with the higher ridge of the north-south element intersecting awkwardly with the front section. This physical relationship is highly visible from Church Row and lacks the authenticity of an original 18th century building or a better executed neo-Georgian example.

5.7 To the rear and in the NW corner of the site are later additions, including a garage with accommodation above at 1st floor level. Adjacent to this and across the rear of the house is a full width single storey extension which projects beyond the eastern flank of the house. This has a convoluted series of volumes and roof planes, with a combination of flat roofed and pitched, glazed areas.

5.8 The front façade of the house is a symmetrical composition which is two window bays wide. At ground floor level there are a pair of projecting canted bays, with flat roofs and a very basic standard of construction and articulation. At 1st floor level there are two window openings, with painted timber 8 over 8 sashes. In common with other windows on the building, these have rather crude brickwork arches.



5.9 The eastern façade of the house faces the main garden area to the side of the property. This has a symmetrical frontage of three window bays, with the exception of one narrow additional window at ground floor level towards the rear of the building. At ground floor level two of the apertures have painted timber French doors, with painted timber 8 over 8 sashes at 1st floor level and to the northern ground floor opening.

5.10 The western flank wall has a blank brickwork element and a setback section which contains the main entrance into the building. This has a projecting canopy supported on columns at ground floor level with a window above at 1st floor level.

5.11 Overall the building is very simple and modest in terms of its quality and architectural expression – little more than a brick box. Whilst there is a certain amount of proportion and symmetry to the main southern and eastern facades, these are somewhat austere. This impression is reinforced by the high level of solid to void, particularly on the southern elevation, and the rather squat proportions of the 1st floor windows. Taken as a whole, the building is considered to make a neutral contribution to the character and appearance of the Hampstead Conservation Area. This reflects its lack of intrinsic age or historic value, its post-war execution of what was by then a slightly outdated style, and the lack of any architectural innovation. Overall, the building lacks distinction, but provides a modest and respectful backdrop to surrounding buildings of far greater historic, architectural and communal value.

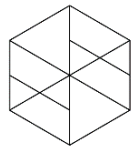
Assessment of significance

5.12 Historic England's document 'Conservation Principles – Policies and Guidance for the sustainable management of the historic environment' (2008) identifies a series of values that can be attributed to a heritage asset, and which help to appraise and define its significance. Paragraph 3.3 of the document outlines that:

"In order to identify the significance of a place, it is necessary first to understand its fabric, and how and why it has changed over time; and then to consider:

- *who values the place, and why they do so*
- *how those values relate to its fabric*
- *their relative importance*
- *whether associated objects contribute to them*
- *the contribution made by the setting and context of the place*
- *how the place compares with others sharing similar values."*

5.13 In assessing the significance of no.12a Church Row it is therefore necessary to examine its origins, history, form, architectural design, layout, materials and relationship with surrounding buildings. In making this assessment, consideration has been given to its intrinsic architectural merit, its completeness, the extent of any alterations and their impact, the contribution of the building to the character of the area and the degree to which the building illustrates aspects of local or national history.



5.14 Historic England's 'Conservation Principles' identifies four values that can be attributed to a heritage asset. These have been examined in turn below.

Evidential Value

This value is derived from the potential of a place to yield evidence about past human activity (para 35) and is generally closely associated with archaeological sites and remains, with age being a strong indicator of evidential value.

In this case the building provides us with little in the way of unique evidence about past human experience, dating from the late 1950s. What little evidential value it has relates to its minor role in exemplifying the building over of the former gardens to Frognal's original 17th and 18th century mansions.

Historical value

Paragraph 39 of the Conservation Principles document outlines that "*Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative.*"

The site was developed on land which was once part of the garden to Frognal Lodge, which still survives to the west. The site has some minor historic interest as a result. However, this relationship is only really appreciable through map analysis and historic research and there is no direct evidence of this historic relationship on the site.

The house dates from the late 1950s at the very earliest and thus has little intrinsic age or historic value.

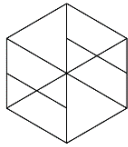
Aesthetic value

Aesthetic value is defined as "*....the ways in which people draw sensory and intellectual stimulation from a place.*"

As described in the paragraphs above, the building dates from the late 1950s and is designed in a neo-Georgian style, which was most popular during the 1930s. By the time no.12a Church Row was constructed in the post war period, the style was somewhat dated, particularly when compared with the mid-century avant garde housing which is a strong feature elsewhere within the conservation area. Whilst its neo-Georgian facades have some sense of classical scale and proportion, they are rather austere and without embellishment or decorative detailing, with slightly crude brick arches which lack the sophistication of better examples of the genre. The position of the main entrance to the side of the house is slightly unusual, whereas neo-Georgian compositions would normally have a centrally located entrance.

Furthermore, the house does not reflect or represent a key phase in the architectural development of the area, being a very late, isolated infill to the existing grain and pattern of development within the area. Aesthetically and architecturally it does not form part of key themes within the conservation area - 17th/18th century mansions and the terraces of Church Row built in the Georgian style of the period; the late 19th/early 20th century housing built over open fields and exemplified by Quennell's fusion of Arts & Crafts/Queen Anne styling; or the development of privately commissioned, individual and innovative housing such as Maxwell Fry's Sun House on Frognal Way or no.66 Frognal by Connell, Ward & Lucas, influenced by European Modernism.

In broad terms the house reflects the grain of the area, with its generous detached and semi-detached houses and large garden areas. However, the house is smaller in terms of its form and massing than most of the other surrounding properties. The later additions to the rear of the building have no inherent architectural value.



Given its position within the streetscene the site does feature in views west along Church Row where its red brick facades and clay tile clad roof sit comfortably with surrounding buildings on Church Row and Frogna Gardens.

Communal value

This value is derived from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience of memory. In this case, any communal value would be 'social', defined at paragraph 56 as *".....places that people perceive as a source of identity, distinctiveness, social interaction and coherence."*

The building has some very minor communal value in so far as it has been part of the local scene since the late 1950s and has thus featured in a minor sense in the day to day lives of those who live, work and pass through the area. However, the site will likely have formed only a very peripheral element in the communal consciousness of the area given its modest quality and the number of other dwellings in the area. What little communal value there is, is local in its focus and the building does not have any regional or national symbolism or value.

5.15 The Council's Hampstead Conservation Area Statement does not identify the as making a positive contribution to the character and appearance of the Hampstead Conservation Area. The Council's pre application response notes that they have re-assessed the contribution of the building and conclude that *"Although the building is a modern development in the neo-Georgian style and not historic like some of the nearby properties, it is a good example of post-war neo-Georgian domestic architecture, with well-considered form and modelling. It is also well positioned in the site by being set back from the road and behind a historic brick wall (which is presumably a remnant of the former grounds of Frogna Lodge. The existing building also relates well to buildings on adjacent and nearby plots, and respects the sensitive historic context in close proximity to St John's Church, which is Grade I listed."*

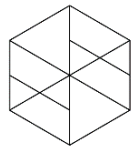
5.16 The value of the building has been carefully considered and the view remains that it makes only a neutral contribution to the character and appearance of the Hampstead Conservation Area. An assessment of the building against the checklist set out in Historic England's document 'Conservation Area Designation, Appraisal and Management: Historic England Advice Note 1' (2016) has been made below. These criteria are useful in helping to confirm whether a building makes a positive contribution to the historic and architectural character of a conservation area. They are listed below with accompanying responses.

Is the building the work of a particular architect or designer of regional or local note?

Response: No. There is no evidence that the building was designed or constructed by anyone of local or national note.

Does it have landmark quality?

Response: No. Although the site is fairly prominent due to the alignment of Church Row, featuring in views westwards, the building itself is very modest and simple and has no landmark quality in an architectural sense. The building was not designed to explicitly or formally address its position in the townscape with any additional articulation or architectural features to the southern and eastern facades which are the most visible from the street. Furthermore, it is well set back from Church Row and partially concealed behind the tall boundary wall. The sloping topography means that the site is set lower than surrounding buildings in views westwards along Church Row, thus reducing its prominence within the streetscene.



Does it reflect a substantial number of other elements in the conservation area in age, style, materials, form or other characteristics?

Response: In part. The building is a detached, single family house, set on a spacious plot and thus it accords with the form and grain of many other buildings within the conservation area. It is constructed of red brick and red clay tile and utilises Classical scale and proportions, albeit set within a rather low quality, dated neo-Georgian aesthetic. This reflects elements of a number of buildings within the conservation area. However, these features are part of the building's essential neutrality, forming a modest, unassuming backdrop to other more distinguished buildings within the conservation area.

Does it relate to adjacent designated heritage assets in age, materials or in any other historically significant way?

Response: No. The building was a late addition to the streetscene along Church Row and has no relationship with the Grade I listed St John's Church in terms of age, materials or any other historically significant way. It has a small amount of significance as part of the building over of the grounds of Frognal Lodge.

Does it contribute positively to the setting of adjacent designated heritage assets?

Response: No, the building does not make any specific or demonstrable contribution to the setting of adjacent designated heritage assets. It forms part of the general residential setting to St John's Church and is a neutral component in views along Church Row. Similarly, the building forms part of the wider setting of nos.88/88a Frognal, formerly Frognal Lodge, however this relationship is restricted by the distance and limited sightlines between the properties.

Does it contribute to the quality of recognisable spaces including exteriors or open spaces with a complex of public buildings?

Response: No.

Is it associated with a designed landscape eg a significant wall, terracing or a garden building?

Response: No

Does it individually, or as part of a group, illustrate the development of the settlement in which it stands?

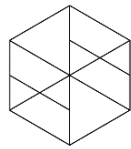
Response: In part. All buildings by their very existence form part of, and illustrate, the development of the settlement. To a small degree the existing building illustrates the process of large 17th, 18th and early 19th mansions having their former gardens built over as Hampstead suburbanised during the later 19th and first half of the 20th century. However, the building does not represent or reflect key phases in the development of Hampstead as outlined above.

Does it have significant historic association with features such as the historic road layout, burgage plots, a town park or a landscape feature?

Response: No

Does it have historic associations with local people or past events?

Response. No. There are no known historic associations with local people or past events of note.



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Does it reflect the traditional functional character or former uses in the area?

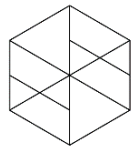
Response: Yes. The current building is in domestic use which is in keeping with much of the surrounding area. However, that in itself is not remarkable given the residential character of this part of Hampstead. The proposed building on the site would also be in residential use.

Does its use contribute to the character or appearance of the area?

Response: In part. The building is in residential use which is in keeping with the conservation area but individually it makes no specific contribution. The proposed building will also be in residential use.

Summary

5.17 In conclusion, no.12a Church Row is considered to make a neutral contribution to the character and appearance of the Hampstead Conservation Area. It dates from the late 1950s and thus has little age or historic interest in its own right. Whilst it has some limited value as part of the process of suburbanisation within Hampstead from the late 19th century onwards it is a very late example of infill development. Architecturally the building has elements which can be found elsewhere within the conservation area, such as the use of red brick, sash windows and a tiled roof. However, this is a very common palette of materials and is not remarkable or of any particular value on its own. The neo-Georgian styling of the building is a very late example of its type, dating from the post-war period. Overall, the building lacks distinction and is an inoffensive, demonstrably neutral element within the streetscene forming a modest, simple backdrop to other buildings of far greater value and interest.



6 Consideration of the issues

6.1 The proposals are for the retention of the existing building. Single storey extensions will be added to the eastern and western facades at ground floor level, with additional accommodation created to the north at 1st floor level. The roofscape will be altered, with a new mansard roof introduced, setback behind the existing parapet walls of the house. Dormers will be incorporated onto the eastern and western slopes. A basement will be created beneath part of the existing footprint of the house.

6.2 The garage provision on site will be relocated from the NW corner of the house and a new structure will be constructed adjacent to the existing southern vehicular access onto the site.

6.3 The existing modern garden room in the eastern portion of the site will be replaced with a new, slightly enlarged structure.

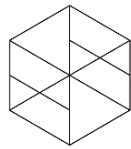
Extensions

6.4 Whilst the Council were not supportive of the demolition and replacement of the house at pre-application stage, their advice contained useful commentary regarding the proposed additions to the bulk and massing of the building. The letter confirmed that:

“The addition of the side extension and additions to the west and north of the building would not substantially increase the footprint of the building, and would allow the house to still sit comfortably within the plot in appropriate positioning away from the road. The side extension (to the east side of the building) would not extend an unreasonable depth into the garden, and would be an appropriate height. As such, the proposed scale and bulk added by the extensions to the west, north, and east may be acceptable, and would not be considered to substantially alter the form of the building.”

6.5 The current entrance into the house is located on the western elevation and is tucked away from the main access points into the site. A new, modestly scaled single storey extension will be added to the western side of the house, set back substantially from the front elevation. The main entrance will be located on the southern façade of the extension, facing Church Row, and will thus be more legible and practical. Above this there will be a very small 1st floor addition, squaring off the plan. These additions will match the character, detailing and materiality of the main house.

6.6 To the east there will be a new single storey extension, setback from the front building line. This will be faced in contemporary brickwork with a series of glazed doors set into arched openings, a motif which can be seen throughout the conservation area, particularly for door and window openings. The symmetrical and rhythmic arrangement of the openings reflects the neo-Georgian character of the house and will provide an orangery style aesthetic. The proposed extension will be set at low level and will be fully subordinate to the overall form and massing of the building, reading as a secondary component. Given the high boundary wall around the site, the extension will not be visible from the public realm and there will be no change to the contribution of the building to the streetscene along Church Road.



6.7 The single storey element of the house in its NE corner will be remodelled on a similar footprint, to form part of the extended kitchen/diner. This will be contemporary in style to the ground floor, with a hipped roof above. This will house a traditional dormer which matches those on the proposed mansard – the previously proposed modern dormer has been omitted. An extension will also be added at 1st floor level to the north and NW of the main envelope of the house, providing additional bedroom space. Here the extension will match the character of the main house with a hipped roof above. This section of the site is well concealed to the rear of the building and screened by the tall boundary wall to the site. The proposals will create a more architecturally coherent appearance to this part of the site, replacing the current convoluted series of flat and pitched roof elements, and the unattractive modern garage door.

Windows

6.8 The ground floor bay windows on the front façade will be rebuilt to take account of a lower internal floor level, creating a taller and more elegant form. The bays will retain sash windows on all three sides, with subdivided panes, thus preserving the overall appearance of the house.

Roof extension

6.9 The existing hipped roof will be replaced by a mansard, setback behind the parapet walls of the house. Two dormers will be included to each of the eastern and western slopes. These will be traditionally designed and set well up from the eaves and away from the ridge and hips of the roof. They are of a proportionate size to the overall slopes upon which they are situated, ensuring that they appear as subordinate features.

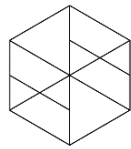
6.10 Dormers and visually prominent roofscapes are a common feature within the conservation area, including to properties on Frognaal Gardens and on the south side of Church Row. The proposed mansard is considered appropriate for the site, given its surrounding context and the character and appearance of the Hampstead Conservation Area. This type of roof form can be found on many 18th/early 19th century and neo-Georgian buildings in the surrounding area. The mansard roof form will retain the parapet wall of the house as a feature and will maintain the visual primacy of the elevations in relation to the roofscape. Tiles from the existing roof will be reused as far as possible on the new mansard roof.

6.11 The proposed modifications to the roofscape of the building will sit comfortably within the immediate and wider context, particularly in views from Church Row looking NW where the highly articulated roofscapes of the buildings on Reddington Road form a significant element in the background of views of no.12a. There will be no increase in the height of the roof. The sloping gradient of Church Row also means that the dwelling and its roof does not appear visually dominant within the streetscene.

Basement

6.12 A new basement will be introduced beneath part of the footprint of the existing house. This will not extend out beneath garden areas. The basement will house a plant room, games room and storage areas. It will have no external expression, such as lightwells or rooflights. This will ensure that the basement has no impact upon the character of the site or the wider conservation area.

6.13 The Council confirm in their pre-application response that *“In principle, there is no objection to the basement, particularly given the modest size. It is not considered that it would harm the contribution that the building makes to the conservation area, and as such would be acceptable, subject to further details.”*



Landscaping

6.14 The proposals will also include a range of beneficial landscaping enhancements to the site. The large swimming pool to the east will be infilled and replaced with new areas of lawn. Planting will be augmented with new shrubs and trees, and a water feature will be incorporated. This will increase the amount of greenery and soft landscaping on the site, reinforcing its existing verdant character. The vehicular hardstanding area on the site will be reduced and a turntable added adjacent to the southern vehicular access, allowing cars to enter and exit the site in forward gear.

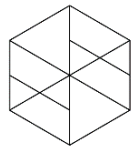
Garage and Garden Room

6.15 Existing garage provision on the site is currently located in its NW corner, with a modern and unattractive garage door. This area will now become habitable accommodation within the house. A new garage will be provided adjacent to the southern vehicular access on to the site. This will be a low-level structure, tucked below the height of the boundary wall with Church Row. The building will be faced in vertical timber slats, with a green roof, green northern wall and planters on its east elevation, ensuring that it sits comfortably within its landscaped garden setting. The garage will read as an ancillary, subordinate structure on the site.

6.16 There is an existing modern, detached garden room situated adjacent to the northern vehicular access into the site. This will be replaced with a new garden room on a slightly larger footprint, which will fit snugly into the eastern corner of the triangular shaped site. This will have a simple contemporary design, with areas of glazing and vertical timber cladding. This will read as a secondary, pavilion element within the newly landscaped garden and will be tucked discreetly behind the tall boundary wall of the site.

6.17 With regard to the proposed relocation of the garage and the new garden room, the Council noted in their pre application response that:

“The garden is large enough to accommodate both the proposed garden buildings, and the combined footprint would leave more than enough garden space (particularly considering the proposed removal of the swimming pool). The positioning to the edges of the garden would also be appropriate, and even though there may be some visibility from the public realm outside the site, this would be limited to the tops of the buildings, the visual impact of which would be softened by the inclusion of green roofs. The design of both buildings appears to be acceptable, though further details including detailed sections and elevations would need to be provided at application stage. It would also be a benefit to remove the garage from the main building, where it currently is an unwelcome and uncharacteristic addition that detracts from the appearance of the building.”

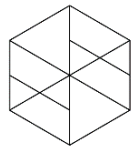


Impact of the proposals upon the character and appearance of the Hampstead Conservation Area

6.18 The proposals for the site are considered acceptable in terms of siting, scale, massing, design and materiality. The current house is relatively small when compared with others in the vicinity, particularly those along the east side of Frognal Gardens and on the southern side of Church Row, which are 2 or 3 storeys in height and topped with expressed accommodation at roof level, lit by dormers. The proposals will modestly extend the footprint of the building and will sit comfortably on the plot, maintaining a sense of spaciousness around the house. They will be largely concealed by the high walls around the site and the extent of tree cover and soft landscaping.

6.19 The proposed mansard roof is a locally distinctive form and one that is sympathetic to its surrounding context, providing an appropriate termination to the neo—Georgian facades of the retained building. The new roof form will maintain the high parapet walls of the house and the visual balance and level of subordination achieved by the current roof form.

6.20 Overall, the proposals are considered appropriate. The existing house is retained, with generous garden areas maintained to the south and east. There will be only a modest increase in the bulk and massing of the house allowing the current balance of built and unbuilt form on the site to be preserved. The proposed development will reflect and respond to the form of surrounding properties and the grain and pattern of development in this part of the conservation area.



Assessment of the proposals against the relevant heritage policy framework

The Planning (Listed Buildings and Conservation Areas) Act 1990

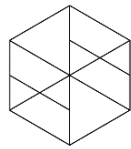
6.25 The existing building will now be retained, with additions and extensions, as well as the creation of a basement beneath part of its footprint. New build elements will be discreetly positioned and sensitively designed so that they sit comfortably on the site in relation to its architectural character, form and massing. The modified roofscape of the building relates positively to the neo-Georgian architectural character of the building and is of a form and profile which appears in other parts of the conservation area. Thus, taken as a whole, the proposals are considered to demonstrably preserve the character and appearance of the Hampstead Conservation Area, thus satisfying section 72 of the Act.

6.26 As described above, the proposals are considered to preserve the setting of surrounding listed buildings in compliance with the s.66 requirement of the Act.

The National Planning Policy Framework 2023

6.27 The NPPF requires the significance of heritage assets to be described and for planning applications to take account of the desirability of sustaining and enhancing this significance (paras 200, 201 and 203). New development should make a positive contribution to local character and distinctiveness (para 203). Great weight should be given the conservation of designated heritage assets (para 205).

6.28 This Heritage Appraisal has identified the significance of the site and its contribution to the surrounding conservation area. The existing building will be retained, with sympathetically designed and subordinately scaled additions. This will preserve its contribution to the character and appearance of the Hampstead Conservation Area and the site will continue to provide a modest, neutral setting to buildings of higher historic and architectural value. Local distinctiveness will be maintained and reinforced through an adherence to the established pattern, grain and alignment of development, alongside contextual materials and architectural features. Consequently, the proposals are considered to comply with the requirements of the NPPF.



The London Plan 2021

6.29 The proposals are also considered to comply with the adopted London Plan 2021. The thrust of policy HC1 (Heritage conservation and growth) is that the significance of heritage assets should be conserved. In this case the proposals for the site are considered to conserve the significance of the Hampstead Conservation Area and the setting of surrounding listed buildings.

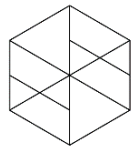
The London Borough of Camden Local Plan (2017)

6.30 The proposals are considered to comply with the relevant sections of Policy D1 – Design and Policy D2 – Heritage of the Council's Local Plan.

6.31 The proposed development will be of high quality and will respect local character through the use of appropriate architectural design and contextual materials. Taken as a whole, the proposals will preserve the character and appearance of the Hampstead Conservation Area, through sympathetic design and appropriate scale, massing and site layout. The proposals will augment and improve the green setting to the building and will preserve the balance of built to unbuilt form on the site, with the removal of the current large swimming pool and a reduction in the amount of vehicular hard standing. The proposals will also preserve the setting of surrounding listed buildings.

The Hampstead Conservation Area Appraisal 2001 (HCAA)

6.32 The proposals are high quality and have been sensitively designed in order to respond to and respect local context and character. They are considered to comply with policies H21 and H24 and respect the built form and historic context of the area as well as local views. The building line, roofline and elevational detail of the proposed building, alongside its architectural characteristics and materiality have been carefully considered to ensure that the proposals preserve the character and appearance of the conservation area. It should be noted that policy H21 goes beyond the s.72 duty within the Planning (Listed Buildings and Conservation Areas) Act 1990 which only requires development to preserve character and appearance, rather than actively enhance as policy H21 suggests.



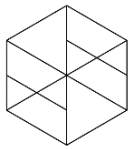
7 Conclusion

7.1 The proposals are for the retention of the existing building and extensions and additions at ground and 1st floor level. The roof will be replaced with a new mansard.

7.2 The proposed changes to the profile and massing of the building can be accommodated on the site without harm to the setting of surrounding listed buildings or sightlines through this part of the conservation area. The proposals will reflect the prevailing form, grain and pattern of development, as well as locally distinctive architectural forms, features and materials. The spacious and verdant character of the site will be maintained and enhanced. Overall, the development will be well designed and appropriate for its context.

7.3 The proposed landscaping work will provide an enhanced setting for the new house and will improve the verdant qualities of the site and its biodiversity. The replacement garden room and the new garage will be positioned adjacent to tall sections of boundary wall and will be designed to blend into their garden setting, reading as ancillary, subordinate structures on the site.

7.4 The proposals are considered to fully comply with the statutory tests in the Planning (Listed Buildings and Conservation Areas) Act 1990, the provisions of the National Planning Policy Framework 2023, the London Plan 2021 and the relevant sections of the London Borough of Camden Local Plan 2017.



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Conservation areas

Conservation areas are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas. The Council will:

- e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;*
- f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;*
- h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.*

Listed Buildings

Listed buildings are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. To preserve or enhance the borough's listed buildings, the Council will:

- k. resist development that would cause harm to significance of a listed building through an effect on its setting.*

The Hampstead Conservation Area Statement (2001)

A6 The Hampstead Conservation Area Statement has a number of policies which are relevant.

Demolition

Policy H5 The Council will seek the retention of those buildings which are considered to make a positive contribution to the character or appearance of the Conservation Area and will only grant consent for demolition where it can be shown that the building detracts from the character of the area. Consent will not be granted for demolition unless a redevelopment scheme has been approved which will preserve or enhance the Conservation Area (see UDP Policy EN32 and SPG Demolition Guidelines).

Policy H6 All applications should show clearly the extent of demolition works proposed.

New Development

Policy H21 The UDP provides the context and guidance for proposals for new development with regard to appropriate land uses. New development should be seen as an opportunity to enhance the Conservation Area and should respect the built form and historic context of the area, local views as well as existing features such as building lines, roof lines, elevational design, and where appropriate, architectural characteristics, detailing, profile, and materials of adjoining buildings.

Policy H24 The topography of the area gives Hampstead a distinctive character and street pattern. It has created small building plots, a range of building forms, a dense built up urban character with only small amounts of associated open space. In contrast to this, the gentler slopes afford more space and more spacious layout. This contrast is a major characteristic and new development should respect it.

