

Overview

This plan outlines the proposed cosmetic changes to the Venue. The intent of these changes is to enhance the building's appearance and functionality while preserving its historical integrity. All modifications will adhere to the principles of sympathetic restoration and conservation. This is mainly a cosmetic refurbishment with no major works.

Key Principles

Sympathetic Details: All alterations will respect the building's historical character, using materials and techniques that are in keeping with the original structure.

Non-Intrusive Fixings: No fixings or alterations will be made that penetrate or damage the original fabric of the building, unless noted on the plan

Proposed Changes

Internal

- Repainting of modern plastered wall and ceilings using breathable paints.
- Repairs to existing fixtures and fitting which are being retained (doors, skirts etc)
- all brick work to the interior or be fully retained
- retain all existing stone floor surfaces
- the removal of any walls are modern stud walls and have been removed to improve the space.

Lighting:

All electrical wiring will use surface-mounted conduit to avoid damaging the building fabric and applied to existing cable tray etc.

Furnishings and Fixtures:

Installation of new, freestanding furniture and fixtures that does not require fixing to walls or floors. Any fixings will be made in the mortar or grout lines of the brick and flooring to ensure no damage to the historical building materials.

Structural Considerations

No Structural Alterations: There will be no structural changes to the building

Compliance and Approvals

Necessary permissions will be obtained before commencing any work.

Existing mechanical vent / extract and A/C to be fully retained

Notes

Any deviations from the proposed plan will be communicated and approved before implementation.



EXISTING ROLLER SHUTTERS TO BE RETAINED

PROPOSED NEW DOOR AT REAR TO REPLACE EXISTING GLASS SHOP FRONT AND DOORS.

EXISTING STEPS RELOCATED TO LOBBY AREA TO CREATE A DDA COMPLIANT PART M INTERIOR LAYOUT IMPROVING THE INTERIOR LAYOUT

GOLF COURSE IS MANUFACTURED OFF SITE AND BROUGHT IN AS A LOOSE FIXTURE THAT CAN BE REMOVED LEAVING NO DAMAGE TO THE EXISTING BUILDING.

RAISING A SECTION OF FLOORING TO ENSURE DDA COMPLIANCE. BUILT UP IN FREE STANDING TIMBER JOISTS NOT FIXED THROUGH THE FLOOR OR WALLS. TO SITE AS A FREESTANDING RAFT

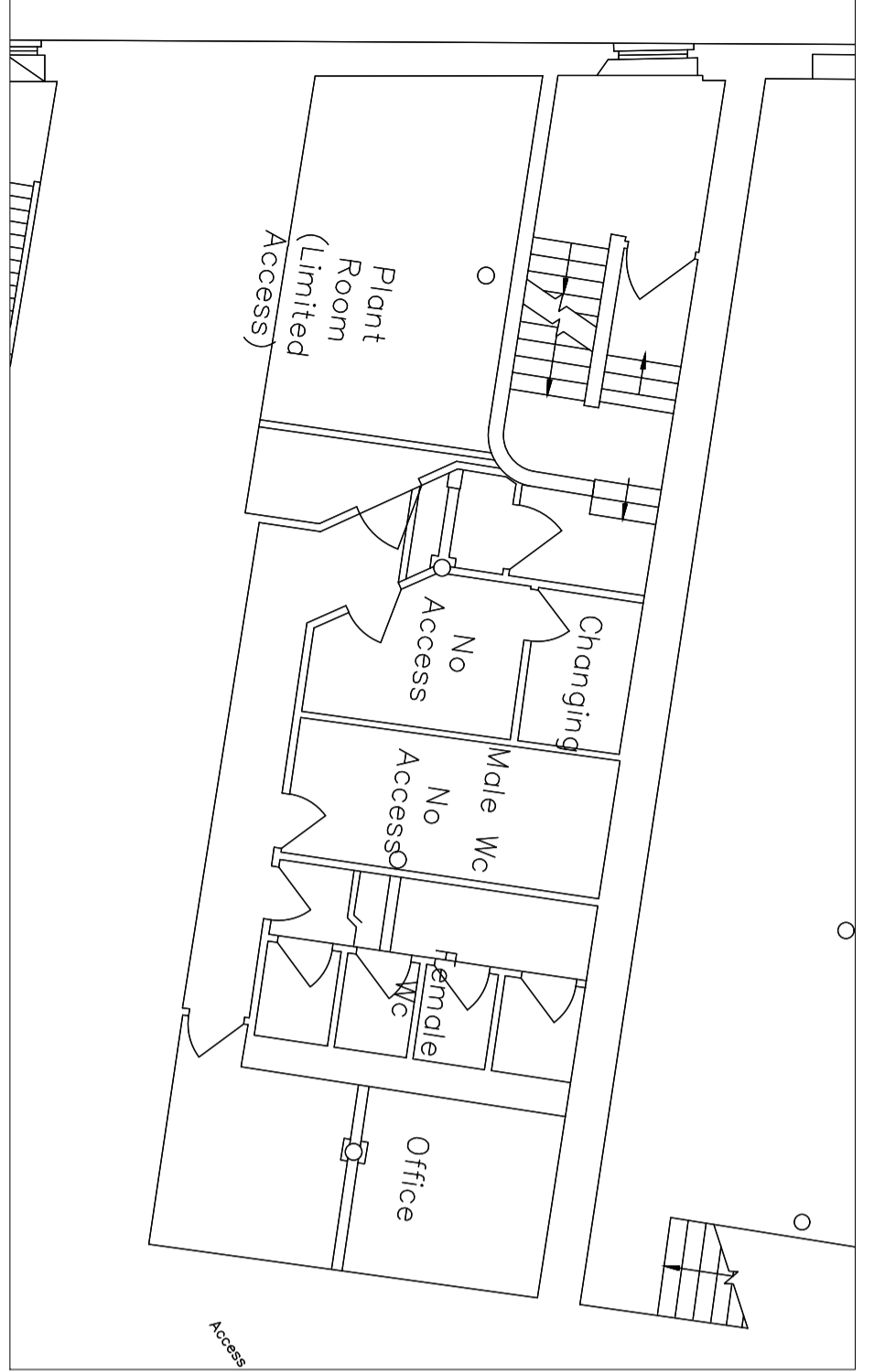
EXISTING VOID TO BE RE-COVERED. THERE IS EVIDENCE THAT THIS VOID WAS ONCE A FLOOR. EXISTING STEEL WORK IS VISIBLE AND EXPOSED. THE FLOOR WILL BE RE INTRODUCED IN TIMBER JOISTS REUSING EXISTING STEEL.

EXISTING STAIRCASE RETAINED

EXISTING GLAZED SHOP FRONT RETAINED

PROPOSED SIGNAGE SCHEME AND EXTERIOR SEE DESIGNERS DETAILS

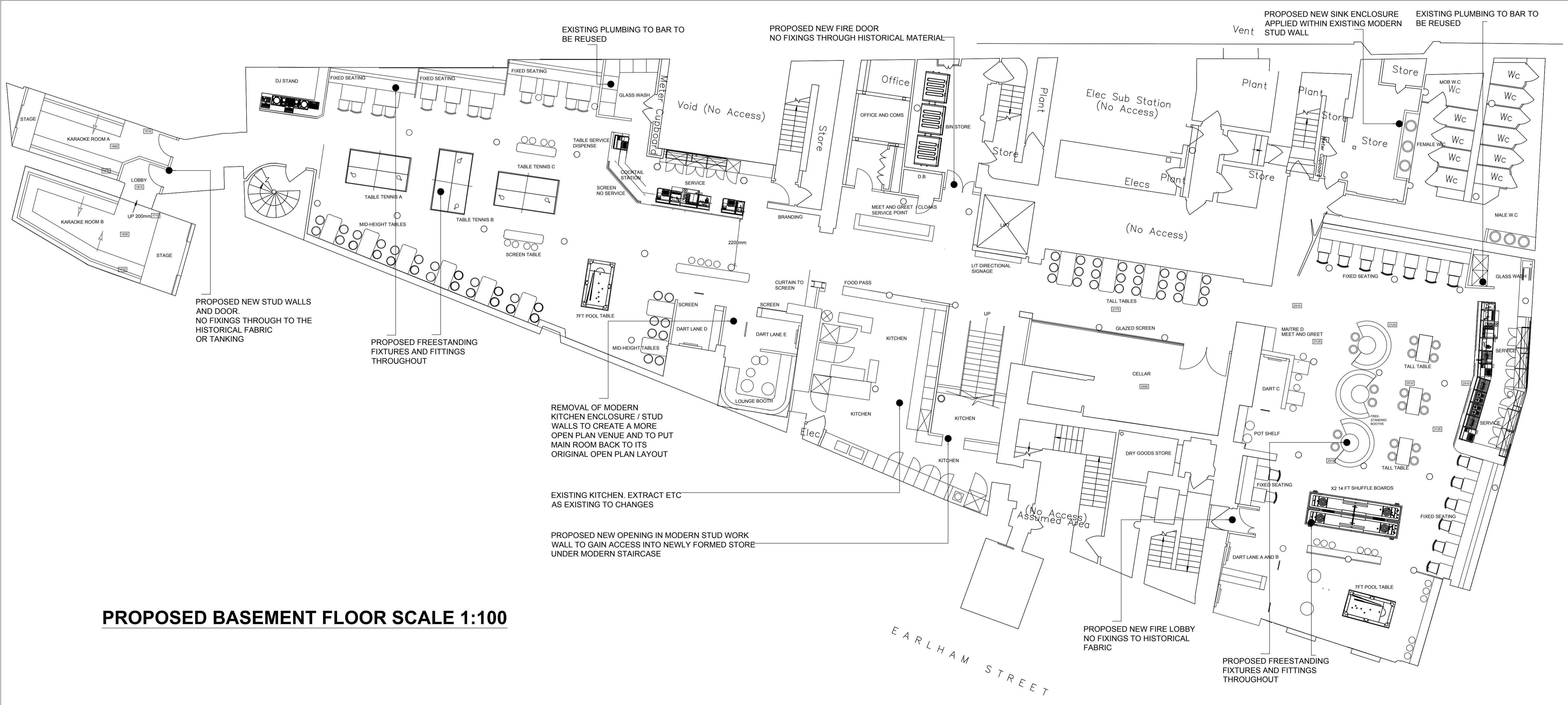
EXISTING ROLLER SHUTTERS AND LIGHTING TO BE RETAINED



PLEASE NOTE THERE ARE NO CHANGES TO THE FIRE FLOOR LAYOUT. THE SPACE WILL BE REDECORATED ONLY WITH EXACT COLOURS AND FINISHES AS EXISTING

PROPOSED FIRST FLOOR SCALE 1:100

PROPOSED GROUND FLOOR SCALE 1:100



EXISTING PLUMBING TO BAR TO BE REUSED

PROPOSED NEW FIRE DOOR NO FIXINGS THROUGH HISTORICAL MATERIAL

PROPOSED NEW SINK ENCLOSURE APPLIED WITHIN EXISTING MODERN STUD WALL

EXISTING PLUMBING TO BAR TO BE REUSED

PROPOSED NEW STUD WALLS AND DOOR. NO FIXINGS THROUGH TO THE HISTORICAL FABRIC OR TANKING

PROPOSED FREESTANDING FIXTURES AND FITTINGS THROUGHOUT

REMOVAL OF MODERN KITCHEN ENCLOSURE / STUD WALLS TO CREATE A MORE OPEN PLAN VENUE AND TO PUT MAIN ROOM BACK TO ITS ORIGINAL OPEN PLAN LAYOUT

EXISTING KITCHEN. EXTRACT ETC AS EXISTING TO CHANGES

PROPOSED NEW OPENING IN MODERN STUD WORK WALL TO GAIN ACCESS INTO NEWLY FORMED STORE UNDER MODERN STAIRCASE

PROPOSED NEW FIRE LOBBY NO FIXINGS TO HISTORICAL FABRIC

PROPOSED BASEMENT FLOOR SCALE 1:100

DISCLAIMER
 USE ONLY WRITTEN OR CALCULATED DIMENSIONS. DO NOT SCALE. THIS DRAWING MUST ONLY BE USED FOR THE PURPOSES INTENDED. ALL DIMENSIONS MUST BE CONFIRMED ON SITE.
 THE DRAWING IS ISSUED WITHIN ONE YEAR AND IS NOT INTENDED FOR USE IN MANUFACTURE.
 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT SPECIFICATIONS AND DETAILS.
 ALL DRAWINGS ARE SUBJECT TO APPROVAL BY BUILDING CONTROL.
 ANY DISCREPANCIES OR CONFLICTS BETWEEN ALL DRAWINGS MUST BE DRAWN TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION.
 THE DRAWING IS ISSUED WITHIN ONE YEAR AND IS NOT INTENDED FOR USE IN MANUFACTURE.
 ALL DIMENSIONS MUST BE CONFIRMED ON SITE.
 THE DRAWING IS ISSUED WITHIN ONE YEAR AND IS NOT INTENDED FOR USE IN MANUFACTURE.
 ALL DIMENSIONS MUST BE CONFIRMED ON SITE.
 THE DRAWING IS ISSUED WITHIN ONE YEAR AND IS NOT INTENDED FOR USE IN MANUFACTURE.
 ALL DIMENSIONS MUST BE CONFIRMED ON SITE.

client
BAT AND BALL

job title
COVENT GARDEN LONDON

drawing title
PROPOSED BUILDERS WORKS PLANNING STAGE (3)

scale @ A1

date MARCH 24 drawn by

drg. no.
BB CG_1020_03

PHONE 07766883798

W: WWW.COLLECTIVE-DESIGN.CO.UK
E: SIMON@COLLECTIVE-DESIGN.CO.UK

A: BALTIC 39
39 HIGH BRIDGE STREET
NEWCASTLE UPON TYNE
NE1 1EW

