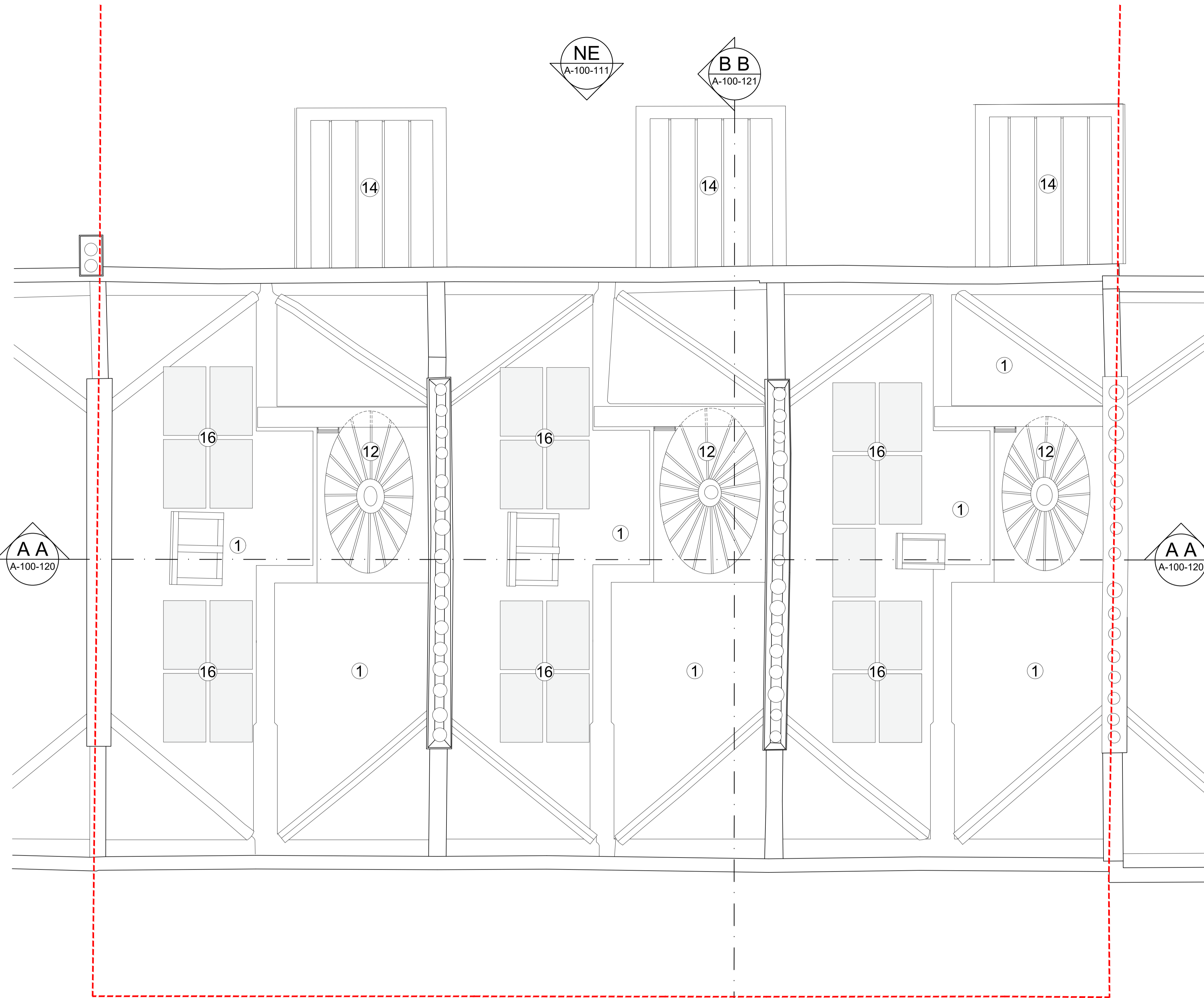


NE
A-100-111

BB
A-100-121



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NOTES

- Application site/ownership
- Proposed walls to be filled in
- 'Pod' insertions at No. 4 Bedford Place
- 'Pod' insertions at No. 5 Bedford Place
- 'Pod' insertions at No. 6 Bedford Place

Material key:

1. Existing Masonry / Render / Metalwork / Timber / Doors / Windows / Roof tiles to be cleaned, replaced, repaired, conserved, restored, painted as required.
2. Proposed new Brickwork to match existing London Stock (in a non-weathered state.)
3. Proposed new painted Stucco / Render.
4. Proposed new painted timber Sash Windows / Doors.
6. Proposed new brickwork arches above openings.
7. Proposed new painted metal Balustrade / Railings.
8. Proposed new garden Staircase with painted metal Handrails / Balustrades.
9. Existing Sash windows, (refurbished if reconditioned if required) and fitted with rear fixed mirrored spandrels to ameliorate structure behind.
11. Access Ladders and Gantries for the purpose of roof access / maintenance / health & safety.
12. Lanterns reconditioned as required and to include translucent glazing.
13. New authentic, consistent chimney pots replacements as required.
14. Proposed Lead flat roof / similar.
15. Decking / Planting / flat roof areas.
16. Proposed PV Panels
17. Blocked existing openings

rev	amendments	date	by	chk
P1	ISSUED FOR PLANNING	10.07.23	DT	MW
P0	ISSUED FOR PLANNING	10.03.23	DT	MW

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project
 4-6 Bedford Place
 London, WC1B 5JD
 client
 Nebra Property

drawing title
APPROVED
 Roof Plan
 drawing status

PLANNING

scale	date	drawn by
1:50 @ A1	10.03.23	DT
1:100 @ A3		
job no.	drawing no.	revision
1890	A-100-104	P1

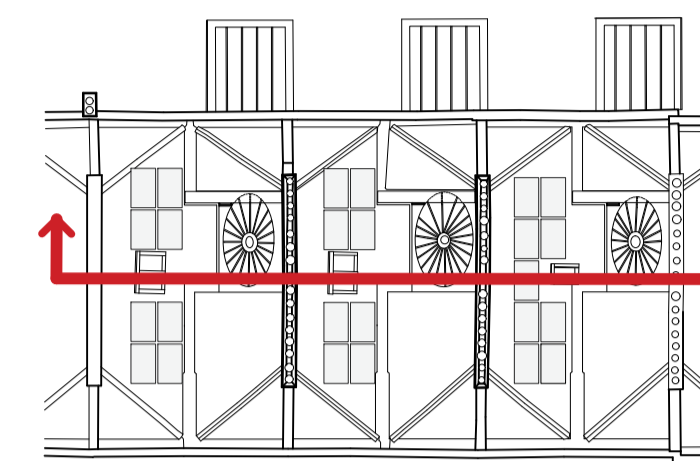


SW
A-100-110

BB
A-100-121

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4. Proposed new painted timber Sash Windows / Doors.
5. [Shaded box]
6. Proposed new brickwork arches above openings.
7. Proposed new painted metal Balustrade / Railings.
8. Proposed new garden Staircase with painted metal Handrails / Balustrades.
9. Existing Sash windows, (refurbished if reconditioned if required) and fitted with rear fixed mirrored spandrels to ameliorate structure behind.
10. [Shaded box]
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16. Proposed PV Panels
17. Blocked existing openings

P1	ISSUE FOR PLANNING	10.03.23	DT	MW
P0	ISSUE FOR PLANNING	10.03.23	DT	MW
	rev amendments		date	by chk

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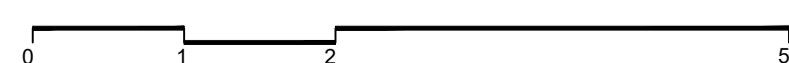
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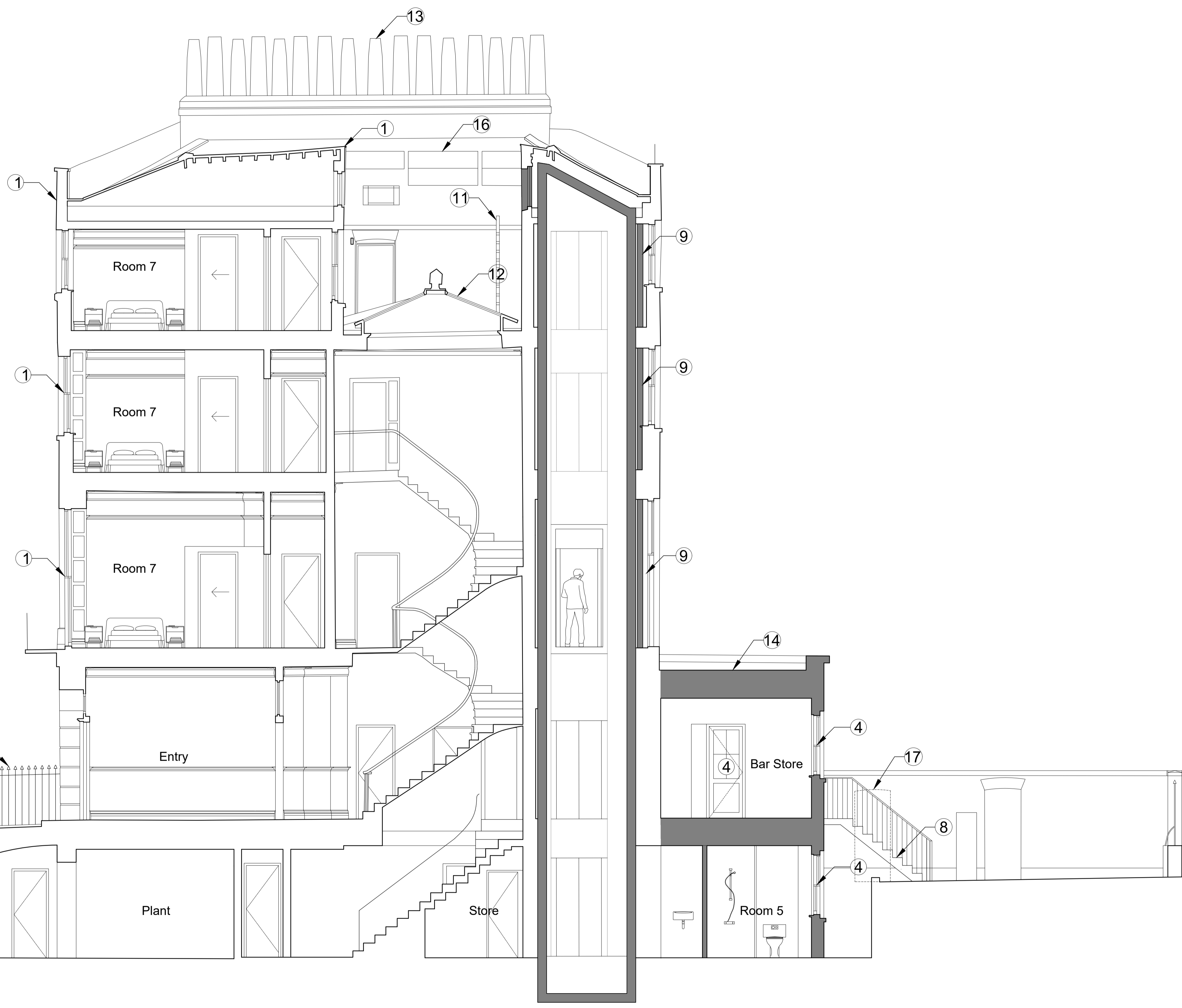
project
 4-6 Bedford Place
 London, WC1B 5JD

client
 Nebra Property

drawing title	APPROVED	
drawing title	Section A-A	
drawing status	PLANNING	
scale	date	drawn by
1:50 @ A1	10.03.23	DT
1:100 @ A3		
job no.	drawing no.	revision
1890	A-100-120	P1



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Third Floor

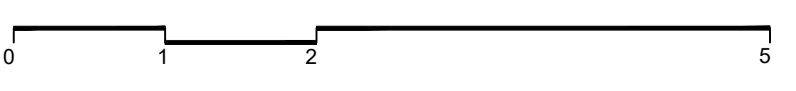
Second Floor

First Floor

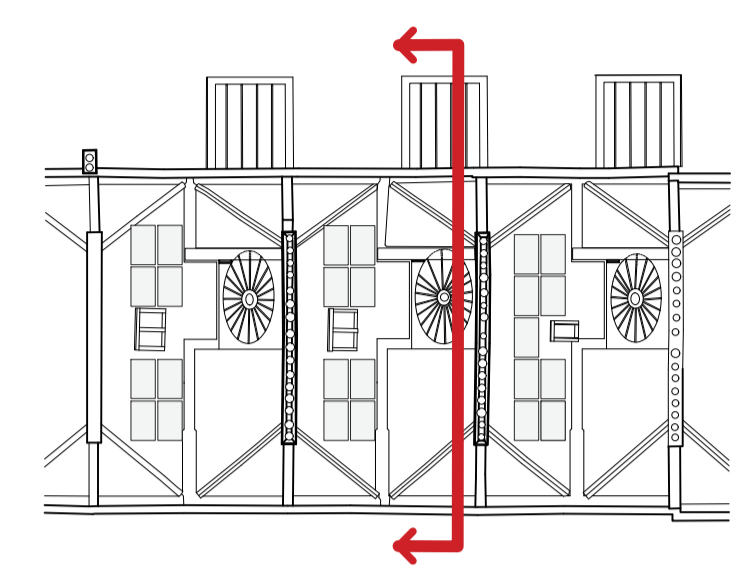
Ground Floor

Lower Ground Floor

Bedford PI Site



NOTES



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rev	amendments	date	by	chk

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 London, WC1B 5JD

client
 Nebra Property

drawing title		
APPROVED Section B-B		
drawing status		
PLANNING		
scale	date	drawn by
1:50 @ A1	10.03.23	DT
1:100 @ A3		
job no.	drawing no.	revision
1890	A-100-121	P1