



# **Arboricultural Impact Assessment**

**for planning purposes**

9 Woodchurch Road  
West Hampstead  
London  
NW6 3PL

**June 2024**

**221056-PD-11**

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# 1 EXECUTIVE SUMMARY

- 1.1 This *Arboricultural Impact Assessment* ('the Report') has been instructed by 9 *Woodchurch Road Limited* ('the Client').
- 1.2 The proposed development at 9 *Woodchurch Road* ('the Site') is for the part-demolition of the existing dwelling and garage and, construction of a new infill dwelling, new basement, and internal alterations to provide self-contained flats with associated hard and soft landscaping ('the Proposed Development'), within the area administered by the *London Borough of Camden* ('the LPA').
- 1.3 The Site was visited, and the trees and other vegetation surveyed, referring to the recommendations of BS5837, on the 10th of June 2024. The details of this survey are found within the Report appendices.
- 1.4 The LPA publishes details of its *Conservation Areas* ('CAs') online. According to this information, the Site is within the *South Hampstead* CA, which affords a baseline level of protection to the surveyed trees, under the relevant provisions of *The Town and Country Planning (Tree Preservation)(England) Regulations 2012*.
- 1.5 The LPA does not publish details of its *Tree Preservation Orders* ('TPOs') online. It is not therefore known, from this information, whether TPOs apply to any of the surveyed trees. No direct communications have been undertaken with the LPA, to obtain information relating to any TPOs.
- 1.6 The Proposed Development requires the removal of 1no. *Category B* tree, a tree, group, hedge and shrub group that are all *Category C* (i.e., 4no. items) and, 2no. *Category U* trees. The loss of these trees and other forms of vegetation is not considered to be noticeable beyond the immediate vicinity and will have a limited impact upon the character of the wider area.
- 1.7 The Proposed Development generally carries a low risk of harm to retained trees, including the off-Site lime (T21), providing that the details of this Report and the *Tree Protection Plans* are adhered to at all times. There are some matters that require further involvement of the arboriculturist, including the provision of an *Arboricultural Method Statement* in advance of any development works occurring. The LPA is able to request this further detail as part of a suitably-worded planning condition.

## 2 INTRODUCTION

### Instruction

- 2.1 This *Arboricultural Impact Assessment* ('the Report') has been instructed by 9 *Woodchurch Road Limited* ('the Client').

### Author

- 2.2 This Report was written by Kimberley Howard ('the Author'). Kimberley is an arboricultural consultant dealing with trees in relation to all forms of human activity including built development. She is an *Associate Member* of the *Arboricultural Association*, *Level 4 Diploma in Arboriculture (ABC)*, the *Professional Tree Inspection certificate (LANTRA)*, and has received a *BSc (Hons) Conservation and Environment (2:1)* from *Writtle University College*.

### Proposed development

- 2.3 The proposed development at 9 *Woodchurch Road* ('the Site' - see *Figure 1*) is for the part-demolition of the existing dwelling and garage and, construction of a new infill dwelling, new basement, and internal alterations to provide self-contained flats with associated hard and soft landscaping ('the Proposed Development'), within the area administrated by the *London Borough of Camden* ('the LPA').

### Scope

- 2.4 This Report has been provided to assist all parties involved in the planning process, in accordance with *British Standard 5837:2012 - Trees in relation to design demolition and construction - Recommendations* ('BS5837').

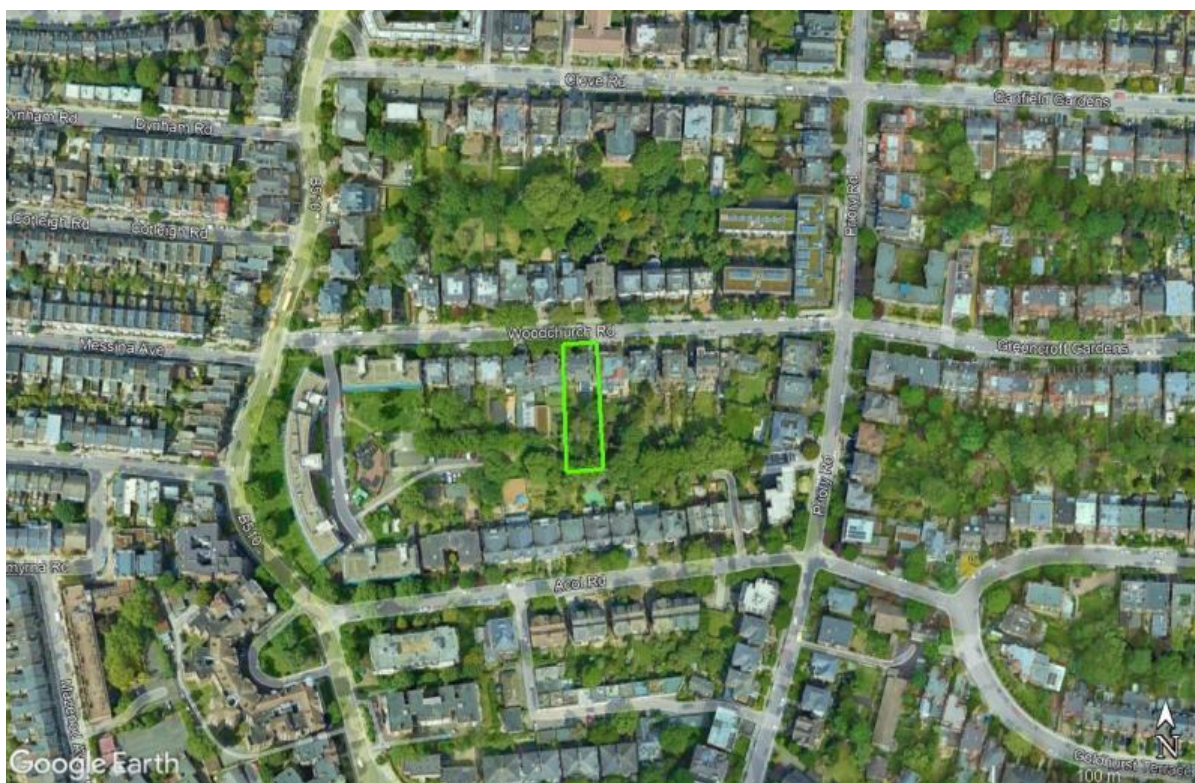
### Site survey

#### Survey date

- 2.5 The Site was visited, and the trees and other vegetation surveyed, referring to the recommendations of BS5837, on the 10th of June 2024 by the Author. The details of this survey are found within the Report appendices.

## Health and safety

- 2.6 The survey was not an assessment of the health and safety of the trees (i.e., the survey was not a thorough investigation of the condition of all of the trees). However, in this instance T9 (ash) was identified as a current notable risk to people and/or property (i.e., *Category U* specimen). Specifically, it was noted this has poor structural and physiological condition, with decline suspected and a fungal fruiting body at 4m above ground level near to the crown break, which indicates that structural decay is present. This tree has been recommended for removal, which should be carried out regardless of any development proposals - should this occur then a Section 211 notifying this work will need to be submitted to the LPA.



**Figure 1:** Showing the general area discussed in this Report within the indicative coloured line and sourced from Google Earth (note: this is not the red line boundary plan of the Proposed Development).

## Report preparation

### External documents

- 2.7 This Report has been prepared, with reference to the following supplied documents and information:
- *Proposed Site Plan (22034-MS-PL-XX-DR-A-102);*
  - *Proposed Lower Ground Floor (22034-MS-PL-B1-DR-A-109);*
  - *Proposed Ground Floor (22034-MS-PL-00-DR-A-110);*

- *Proposed Sections (22034-MS-ZZ-XX-M2-A-240- Prop Sections); and*
- *Proposed Elevations (22034-MS-ZZ-XX-M2-A-270- Prop Elevations).*

## Appendices

2.8 The appendices of this Report include:

- Appendix A (plans); and
- Appendix B (schedules).

## Tree works

2.9 For any tree works specified within this Report (i.e., removal and/or pruning), these works must be considered alongside any additional specifications provided for ecological and *Biodiversity Net Gain* matters, where any such work specifications may apply. Tree works included as part of this Report, unless otherwise stated, have been prepared exclusively by the arboriculturist.

## Definition of terms

### General definitions

2.10 The following terms and abbreviations may be used within this Report. These terms are defined by BS5837 as follows, unless provided without quotation marks:

- **Arboricultural Method Statement ('AMS')** - "*methodology for the implementation of any aspect of development that is within the root protection area, or has the potential to result in loss of or damage to a tree to be retained*".
- **Local Planning Authority ('LPA')** - the planning department of the borough, district, or metropolitan council.
- **Root Protection Area ('RPA')** - "*layout design tool indicating the minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority*".
- **Service(s)** - "*any above- or below-ground structure or apparatus required for utility provision*" that may for example include "*drainage, gas supplies, ground source heat pumps, CCTV and satellite communications*".
- **Tree Protection Plan ('TPP')** - "*scale drawing, informed by descriptive text where necessary, based upon the finalized proposals, showing trees for retention and illustrating the tree and landscape protection measures*".

### Arboricultural impact definitions

2.11 With regard to arboricultural impacts to retained trees, where this Report makes reference to any degree of impact, the following definitions apply unless it is otherwise stated:

- **Low impact** - The form and/or condition of the affected tree (or tree group, etc.) is considered unlikely to be affected to any particular degree, and by extension its visual qualities and life expectancy will not be undermined and its BS5837 categorisation is consequently unlikely to change.
- **Moderate impact** - The form and/or condition of the affected tree (or tree group, etc.) may be affected to such a degree that its visual qualities and life expectancy could be undermined and its BS5837 categorisation consequently may be subject to change.
- **High impact** - The form and/or condition of the affected tree (or tree group, etc.) is considered likely to be affected to such a degree that its visual qualities and life expectancy will likely be undermined and its BS5837 categorisation is consequently likely to change.



### 3 SITE INFORMATION

#### Current Site use

- 3.1 The Site currently comprises a detached dwellinghouse that has been converted into several residential flats. To the front of the Site there is a single vehicular crossover from *Woodchurch Road* and a separate pedestrian access (see *Figure 2*). Further, the frontage generally comprises hard surfacing with narrow tree and shrub borders restricted to the north and west boundaries. To the rear of the Site, there is a garden that comprises lawn areas, trees and shrubs.
- 3.2 The Site is notably higher to its north (front garden) compared to its south (rear garden), which is typical of the arcadian character. There are steps down from the existing building into the rear garden though the somewhat newer rear extension is level with this garden.



*Figure 2: Along Woodchurch Road looking towards the front of the Site with T17 centre- left, T12 rear-left, T19 centre-right and T21 far right for reference.*

#### Relevant planning history

- 3.3 There is no relevant planning history, in the context of this report and the Proposed Development.

## Geotechnical information

### British Geological Survey

- 3.4 The *British Geological Survey* ('BGS') provides on-line information, regarding the general soil properties of an area, including the underlying bedrock and any superficial deposits that overlay the bedrock. This information indicates that the Site is situated upon a bedrock of *London Clay Formation* (comprised of clay, silt and sand), over which no superficial deposits are recorded.
- 3.5 There are no publicly available borehole logs within or adjacent to the Site that are provided by the BGS.

### Root morphology

- 3.6 Soils where the clay content is significant will tend to encourage tree root growth at shallower depths - often, within the upper 600mm of soil<sup>1</sup>. Where other soil components are present to greater extents, root morphology may differ, though impermeable layers of heavy compacted clay may restrict penetrative root growth, which may influence how far roots radiate from the stem of the tree to acquire nutrients.

## 4 TECHNICAL ARBORICULTURAL DETAILS

### Landscape details

#### Distribution

- 4.1 The surveyed trees and other forms of vegetation are located to the front and rear of the Site. The front of the Site contains 3no. small trees (T17 to T19 - see *Figure 2* above) and a vegetation group (G20) and, beyond this, off-Site, there is an early mature lime (T21).
- 4.2 Within the rear garden, this comprises several early and mature trees and, shrub groups - see *Figures 3 & 4*. The notable trees include the linear group of limes (G5) along the southern boundary and the mature sycamore (T12) that is situated along the eastern boundary. Elsewhere, notable trees of interest includes a yew (T2), an oak (T4) and a Leyland cypress (T7) and a considerable cotoneaster shrub (S3) that is situated along the western boundary.



*Figure 3: Looking south along the rear garden with T1 right and T2 mid-centre for reference.*

#### Visibility

- 4.3 The group and trees that are situated to the front of the Site have unimpeded views from the public realm owing to these growing adjacent with the *Woodchurch Road* and a footpath; long range views are restricted due to other trees within the street scene or within front gardens.

- 4.4 With regard to the rear garden trees and other forms of vegetation, there is only a glimpsed view of T12 between the gap that separates the Site and 7 Woodchurch Road (see Figure 2 above). Generally, views are afforded from the dwellings and their rear gardens of adjoining properties that at best are considered to be private views.



Figure 4: Standing adjacent to the rear elevation with T12 far-centre, G15 left and S14 mid-centre.

## BS5837 details

### Survey criteria

- 4.5 The surveyed trees and other vegetation items have been generally categorised, in terms of the arboricultural and landscape criteria as defined in BS5837. These criteria consider the arboricultural merits of individual trees, in addition to the wider value afforded in contributing to the character of the landscape.

### BS5837 categorisation

- 4.6 In BS5837 terms, the surveyed trees and other forms of vegetation comprise:
- *Category B* (i.e., moderate-quality): 5no. trees and 1no. group;
  - *Category C* (i.e., low-quality): 6no. trees, 4no. groups, 2no. shrub groups and 1no. hedgerow; and
  - *Category U* (i.e., poor-quality): 2no. trees

### **Root Protection Areas**

- 4.7 Based on the ground conditions of the Site that includes the known or foreseeable presence of buried structures, in addition to the context within which the surveyed trees and other vegetation items are growing, the standardised circular RPAs have not been amended.

### **Statutory protections**

#### **Conservation Areas**

- 4.8 The LPA publishes details of its *Conservation Areas* ('CAs') online. According to this information, the Site is within the *South Hampstead CA*, which affords a baseline level of protection to the surveyed trees, under the relevant provisions of *The Town and Country Planning (Tree Preservation)(England) Regulations 2012*.

#### **Tree Preservation Orders**

- 4.9 The LPA does not publish details of its *Tree Preservation Orders* ('TPOs') online. It is not therefore known, from this information, whether TPOs apply to any of the surveyed trees. No direct communications have been undertaken with the LPA, to obtain information relating to any TPOs.

## 5 PLANNING POLICY AND GUIDANCE

### National

#### Background information

- 5.1 Planning policy at national level is set out in the government's *National Planning Policy Framework* ('the NPPF')<sup>2</sup>, published in December 2023.
- 5.2 At this level, policy addresses the key principles of development. At its core, there is a presumption in favour of sustainable development incorporating good and durable design, by combining economic, social, and environmental strands in a balanced manner. Trees comprise an element of green infrastructure, which is one aspect of the environmental strand of sustainability.

#### National Planning Policy Framework 2023

- 5.3 In the context of the Proposed Development, the NPPF provides the following guidance that is relevant in terms of the surveyed trees:
- **Paragraph 136** - *"Trees make an important contribution to the character and quality of urban environments, and can also help mitigate and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined, that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users."*

### Greater London

#### Background information

- 5.4 Planning policy at the *Greater London* level is currently set out in *The London Plan* ('the LP'). The current iteration of the LP was published, in March 2021.

#### London Plan 2021

- 5.5 In the context of the Proposed Development the LP provides the following guidance that is relevant in terms of the surveyed trees:
- **Policy G7: Trees and Woodlands** - *"Development proposals should ensure that, wherever possible, existing trees of value are retained. If planning permission is granted that necessitates the removal of trees there should be adequate*

*replacement based on the existing value of the benefits of the trees removed, determined by, for example, i-tree or CAVAT or another appropriate valuation system. The planting of additional trees should generally be included in new developments particularly large-canopied species which provide a wider range of benefits because of the larger surface area of their canopy".*

## Local

### Background information

- 5.6 Planning policy at the local level is currently set out in the LPA's *Camden Local Plan* ('the LDP'), published in 2017.

### Camden Local Plan

- 5.7 In the context of the Proposed Development, the current LDP provides the following guidance that is relevant in terms of the surveyed trees:

- **Policy D2: Heritage** - *"The Council will: e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area; ... g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area"; and*
- **Policy A3: Biodiversity** - *"The Council will protect, and seek to secure additional, trees and vegetation. We will: j. resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value including proposals which may threaten the continued wellbeing of such trees ... [and] l. expect replacement trees or vegetation to be provided where the loss of significant trees or vegetation or harm to the wellbeing of these trees and vegetation has been justified in the context of the proposed development".*

## South Hampstead Conservation Area Appraisal 2011

- 5.8 The CA within which the Site is situated has been appraised within the *South Hampstead Conservation Area Appraisal* (the 'SHCAA'), that was published in 2011. Within the SHCAA, there is no particular reference to the Site though trees are mentioned. Specifically, it states from Section 5.23 to 5.25 *"the conservation area generally has a decent level of tree cover which should be protected and enhanced where possible."* The SHCAA goes on to state *"the general canopy/tree character of the conservation area is largely formed of continuous bands of trees spanning rear gardens with intermittent tree cover in front gardens. The general level of tree cover in the conservation area is relatively high and comprised of a wide range of sizes and*

*species.*". It further adds *"views along rear garden vistas and into areas of dense tree cover are characteristic of the conservation area and should be protected. Views of mature trees between buildings from the public highway provide a sense of space and openness and give the impression of properties with large rear gardens."* This appraisal suggests that considerable value is afforded to rear garden trees.



## 6 ARBORICULTURAL IMPACT ASSESSMENT

### Removals

#### Numerical data

6.1 The Proposed Development requires the removal of the following:

- *Category B* (i.e., moderate-quality): 1no. tree (T2);
- *Category C* (i.e., low-quality): 1no. tree (T1), 1no. group (G15), 1no. hedge (H16) and 1no. shrub group (S14); and
- *Category U* (i.e., poor-quality): 2no. trees (T9 and T19)

#### Reasons for removals

6.2 The reason for the specified tree removals is mostly to facilitate the implementation of the Proposed Development that includes logistical and spatial requirements. The exception to this is T9 and the reason for its removal has been discussed at paragraph 2.6.

#### Impacts of removals

6.3 The majority of the specified tree removal is focused to the rear garden, with the exception of T19 located to the front of the Site and its northern boundary.

6.4 The loss of the rear gardens trees and other forms of vegetation is not considered to be noticeable beyond the immediate vicinity and will have a limited impact upon the character of the wider area.

6.5 In relation to T19, this is a small tree and its loss is not considered to impact the character of the street scene of *Woodchurch Road*, particularly as adjacent trees will be retained.

#### Mitigation greening

6.6 At this stage of the planning process, the Proposed Development has not provided details regarding the planting of new trees and other forms of vegetation. However, there is considered to be sufficient capacity to mitigate the proposed loss of trees and vegetation with new planting located within the Site.

6.7 Details relating to the provision of a landscape specification can be provided, in response to a suitable planning condition.

## Pruning

### Numerical data

- 6.8 The Proposed Development does not require pruning to any of the retained trees. There may be a requirement to undertake some light pruning work to G20 to allow sufficient space to the proposed bin store, and to G13 to install the new boundary fence. This work is considered to be very minor and ordinarily would not require a Section 211 notice to be submitted to the LPA in the absence of development. As such, the extent of work will be discussed at a pre-commencement Site meeting with the arboriculturist and main appointed contractor.

### Retained tree juxtapositions

- 6.9 In relation to the retained trees and vegetation (including any outside of the Site), the Proposed Development does not place any increased pressure upon these items that may result in inappropriate management (e.g., major branch removal or heavy pruning). The Proposed Development is therefore considered to be acceptable, regarding its juxtaposition to the retained trees and vegetation.

### Arboricultural oversight during works

- 6.10 The implementation of the Proposed Development is considered to require a continued presence of the arboriculturist, to provide arboricultural advice to the design team and to ensure that the principles of protection as are outlined in this Report are adhered to (that are discussed from the following sub-section within this Report).
- 6.11 In order to ensure that the risk of significant harm that may occur to any of the retained trees is as low a probability as possible, it is considered that a Site visit by the arboriculturist will occur at least at the following points, with the findings of each visit being summarised in written format and issued to at least the Client, main contractor, and LPA tree officer (noting that a finalised list ought to be provided as part of a detailed AMS prepared in response to a planning condition as per the recommendations of *Table B.1* of BS5837):
- a pre-commencement meeting at Site with at least the main appointed contractor to discuss the details of tree protection and works;
  - to sign-off the tree protection measures prior to the commencement of any works to implement the Proposed Development (except in the case of specified tree works that can occur prior to this point);
  - to oversee the excavation for the lower ground floor within the RPA of T20;

- prior to the commencement of the landscape phase of work with a Site meeting with at least the main landscape contractor; and
- upon the completion of works to implement the Proposed Development.

## Site access and logistics

- 6.12 At the time of preparing this Report, details pertaining to the means of accessing the Site and the general logistical requirements to implement the Proposed Development are not currently understood. Notwithstanding this, the prevailing Site conditions will likely mean that the main access to and from the Site will be along the northern boundary with *Woodchurch Road*, which generally carries a low impact to the retained trees providing the TPPs at Appendix A are adhered to.

## Development related activities

### General protection details

- 6.13 The draft TPPs at Appendix A (i.e., *221056-P-13* and *221056-P-14*) set out the specifications for tree protection that are associated with the implementation of the Proposed Development, based on the details that are currently available. These TPPs includes an outline AMS (i.e., indicative of the basic principles of works - a specific AMS ought to be prepared for a planning condition as per the recommendation of *Table B.1* of BS5837), which provides some baseline information relating to the installation, implementation, and management of the specified tree protection measures.

### Lower ground floor

- 6.14 One of the proposed lower ground floor lightwells is situated within the nominal RPA of the off-Site lime (T21). This encroachment equates to 3.8% of its total RPA with a 4m radial distance from its closest point to the tree stem (i.e., 34% closer). This is considered to be a minor encroachment within the RPA; however, it will be necessary for the excavation of the lightwell to be carried out under arboricultural supervision to ensure that where significant roots are present (i.e., at or greater than 25mm diameter) these can be pruned cleanly back to the edge of the excavation. It will be necessary that the construction of the lightwell will require further involvement of the arboriculturist, including the provision of an AMS in advance of works commencing to ensure the risk of harm to the tree remains as low as practicably possible.

### **Removal and replacement of hard surfacing**

- 6.15 The hard surfacing to the front of the Site will be removed and replaced as part of the landscape phase of work. Up until this point, the hard surfacing will be retained and used as ground protection throughout the construction phase of work. Should it be the case that some or all of the hard surfacing within the RPAs require removal during the construction phase, it will be necessary for the arboriculturist to instruct the specification of temporary ground protection to be used prior to its removal occurring.
- 6.16 The following performance principles should be adhered to when removing the existing hard surfacing in the RPAs, regardless of which phase of development this should occur within:
- works are to be carried out manually using hand-tools under the supervision of an arboriculturist
  - prior to the commencement of works, trial holes will be excavated by hand in the RPAs of retained trees to understand the depth of the existing hard surfaces and inform working operations;
  - there will be no excavation into the soil below the formation of the existing sub-base of the hard surfacing;
  - works will commence at the point closest to the tree and operate backwards (i.e., away from it) until outside of the RPA;
  - all demolished material will be removed to a designated area located outside of the RPA;
  - temporary ground protection suitable to the anticipated gross loading to be applied to that area will be installed and will remain there until the replacement surfacing is to be installed.

### **Boundary treatment - front**

- 6.17 Along the northern boundary, should the existing low boundary wall with pillars be removed and replaced it will be necessary for this to adhere to the following performance principles, to ensure the risk of harm to the retained trees (i.e., T17, T18 and T21) is as low as possible. The demolition of the wall and pillars will be carried out manually and will occur *Woodchurch Road* side, using a top-down, pull-back method and, the wall will be demolished to its footings upon which the new boundary treatment will be constructed from.

### **Boundary treatment - rear**

- 6.18 A new boundary treatment is proposed in the rear garden to create private amenity space, as shown on the TPP at Appendix A (i.e., 221056-P-14). Details relating to this boundary treatment are not currently understood however, it is assumed this will comprise a close board fence. As this is located within the RPAs of retained trees, it will be necessary for each post hole to be excavated manually to check for the presence of significant roots. Where these are found the post hole will be relocated. Prior to concrete being poured into the holes to secure the posts, these will be lined with an impermeable membrane to prevent the cement locally raising the pH levels of the soil.
- 6.19 It may be necessary to carry out some light crowing lifting or pruning to G13 to facilitate the installation of the fence and, such work is considered to be minor.

### **Soft landscaping**

- 6.20 Landscaping operations will typically take place at the end of the construction period. These works will normally require the removal of tree protection measures, to facilitate the required access for works. There is a risk that plant and machinery may damage the soil structure within which tree roots are growing.
- 6.21 These risks can be managed, by maintaining good professional standards of work and by working in accordance with an AMS. The principle of avoiding soil disturbance or changes in levels within the RPAs of retained trees must be followed, unless otherwise confirmed by the arboriculturist.

### **Services and utilities**

- 6.22 At this stage of the planning process, it is assumed that the existing service runs will be retained and reused as part of the Proposed Development.
- 6.23 In the eventuality that access to existing service runs or to install new service runs involves work operations within the RPA of the retained trees, any impact to affected trees can be managed by following the recommendations of BS5837 (i.e., by working in accordance with an AMS and through the use of appropriate methods of work - a specific AMS ought to be prepared for a planning condition as per the recommendation of *Table B.1* of BS5837), which includes as a normative reference the *National Joint Utilities Guidance*<sup>3</sup>. The LPA has the capacity to request further details with a suitably-worded planning condition.

## Planning policy considerations

### National policies

6.24 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.3), the Proposed Development is considered to respond to these policies in the following manners:

- **Paragraph 136** - The Proposed Development is considered able to retain existing trees where appropriate and has the capacity to plant new trees as part of a landscaping scheme.

### Regional policies

6.25 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.5), the Proposed Development is considered to respond to these policies in the following manners:

- **Policy G7: Trees and Woodlands** - The Proposed Development is able to demonstrate that existing trees of value can be appropriately retained and protected. Where tree removal is proposed it is considered that new tree planting can be achieved within the Site, as part of a landscaping scheme.

### Local policies

6.26 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.7), the Proposed Development is considered to respond to these policies in the following manners:

- **Policy D2: Heritage** - The Proposed Development is considered to be able to preserve the character or appearance of the *South Hampstead Conservation Area* and the landscape impact arising from the proposed tree removal is considered to be limited to the immediate vicinity only.
- **Policy A3: Biodiversity** - The trees that are specified for removal are not considered to have significant amenity (or historic, cultural or ecological) value. The Proposed Development is able to demonstrate that existing trees of value can be appropriately retained and protected and, new tree planting can be implemented as part of a landscaping scheme.

## 7 CONCLUSIONS

- 7.1 The Proposed Development requires the removal of 1no. *Category B* tree, a tree, group, hedge and shrub group that are all *Category C* and, 2no. *Category U* trees. The loss of these trees and other forms of vegetation is not considered to be noticeable beyond the immediate vicinity and will have a limited impact upon the character of the wider area.
- 7.2 The Proposed Development generally carries a low risk of harm to retained trees, including the off-Site lime (T21), providing that the details of this Report and the TPPs are adhered to at all times. There are some matters that require further involvement of the arboriculturist, including the provision of an AMS in advance of any development works occurring. The LPA is able to request this further detail as part of a suitably-worded planning condition.
- 7.3 Finally, it is considered that the Proposed Development is able to comply with planning policy, at all spatial scales.

## 8 APPENDICES CONTENTS

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- 221056-P-11 Existing Layout and Tree Works
- 221056-P-12 Proposed Layout and Tree Works
- 221056-P-13 Tree Protection Plan - Lower Ground Floor Arrangement
- 221056-P-14 Tree Protection Plan - Ground Floor Arrangement

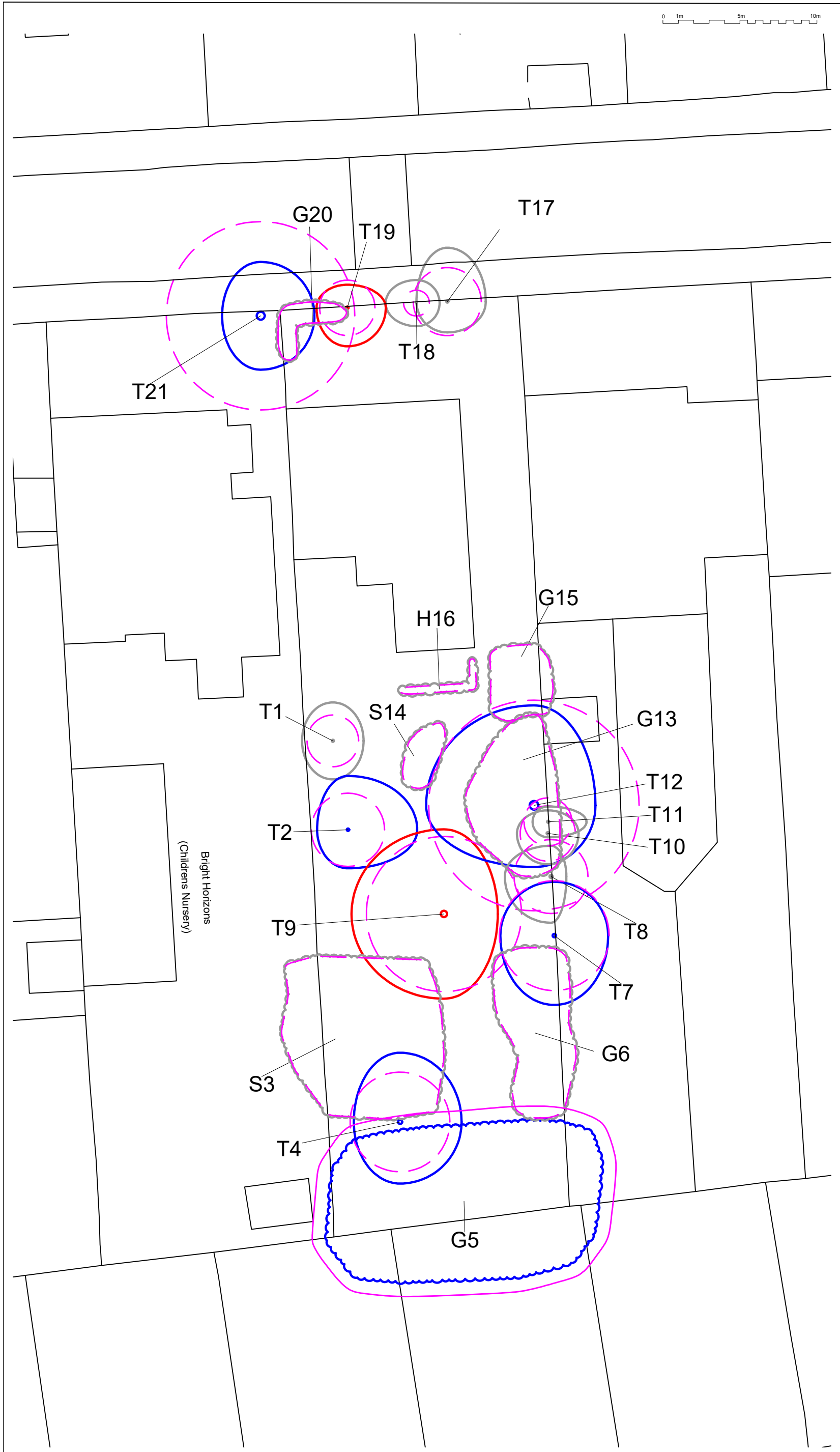
### APPENDIX B - Schedules

- 221056-PD-10 Tree Schedule
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# APPENDIX A - Plans

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- 221056-P-14 Tree Protection Plan - Ground Floor Arrangement



**BS 5837:2012 TREE RETENTION CATEGORIES**

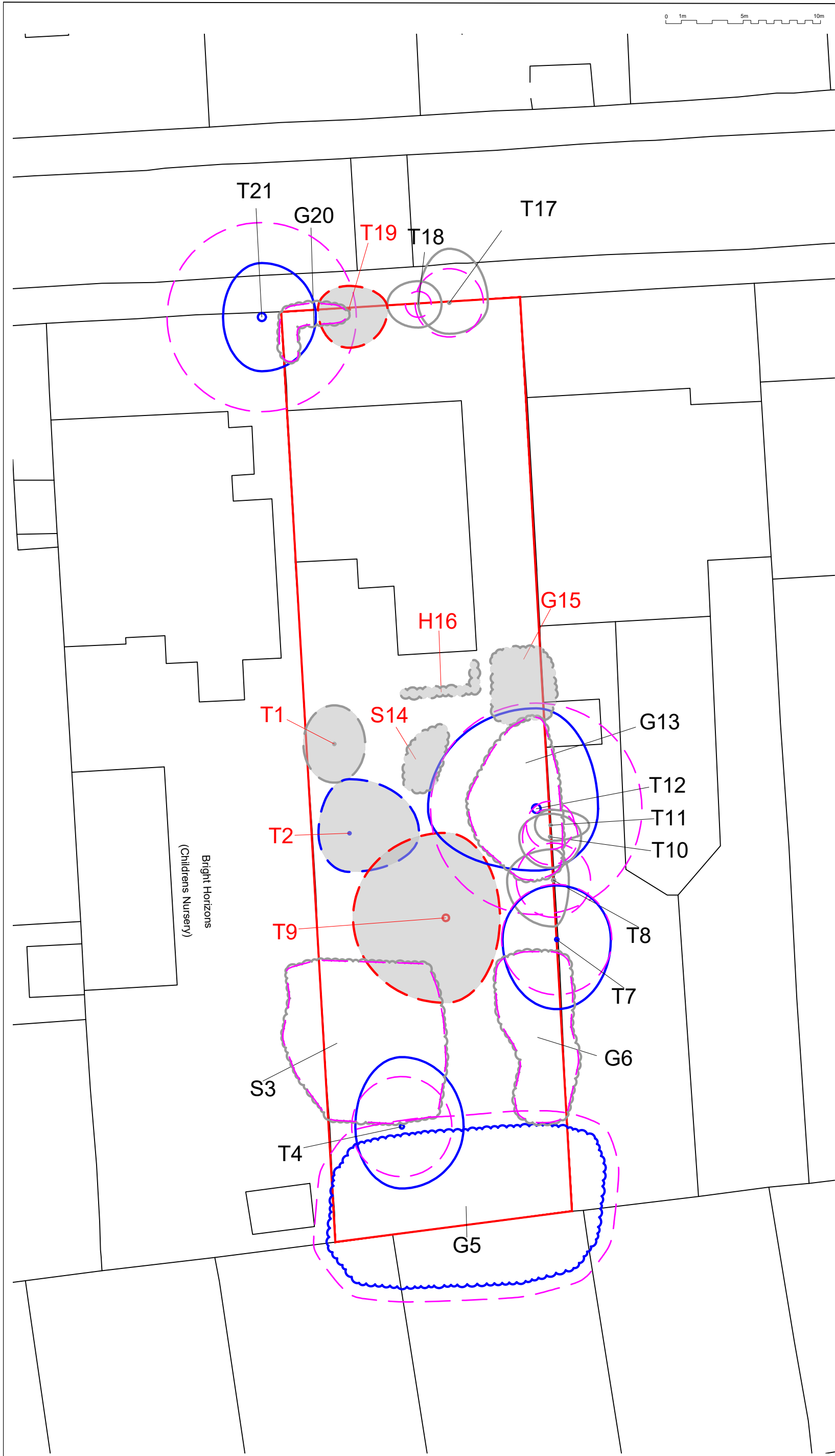
- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
- Unique group identification number
- Root Protection Area (RPA)
- Category A**  
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
- Category B**  
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
- Category C**  
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
- Category U**  
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas**  
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.















Plotting of trees and groups is estimated as there is no topographical survey information. The dimensions cannot be relied upon as exact and must be treated as indicative only.

rev	date	description	drawn by
Base Drawing: OSMAP			
<b>Title</b>			
BS 5837 Tree Survey Plan			
<b>Client</b>			
9 Woodchurch Road Limited			
<b>Project</b>			
9 Woodchurch Road, West Hampstead, London, NW6 3PL			
<b>Date</b>	<b>Drawn by</b>	<b>Authorised</b>	<b>Scale</b>
12/06/2024	HR	KAH	1:250@A3
<b>Drawing No</b>			<b>Rev</b>
221056-P-10			-





**BS 5837:2012 TREE RETENTION CATEGORIES**

-  Canopy spread (m)
-  Tree Stem
-  Unique tree identification number
-  Root Protection Area (RPA)
-  Group canopy extents shown in their retrospective retention category.
-  Unique group identification number
-  Root Protection Area (RPA)
-  **Category A**  
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
-  **Category B**  
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
-  **Category C**  
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
-  **Category U**  
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
-  **BS5837 Root Protection Areas**  
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.



Plotting of trees and groups is estimated as there is no topographical survey information. The dimensions cannot be relied upon as exact and must be treated as indicative only.

rev	date	description	drawn by
-	-	-	-

Base Drawing: OSMAP

Title  
Existing Layout and Tree Works Plan

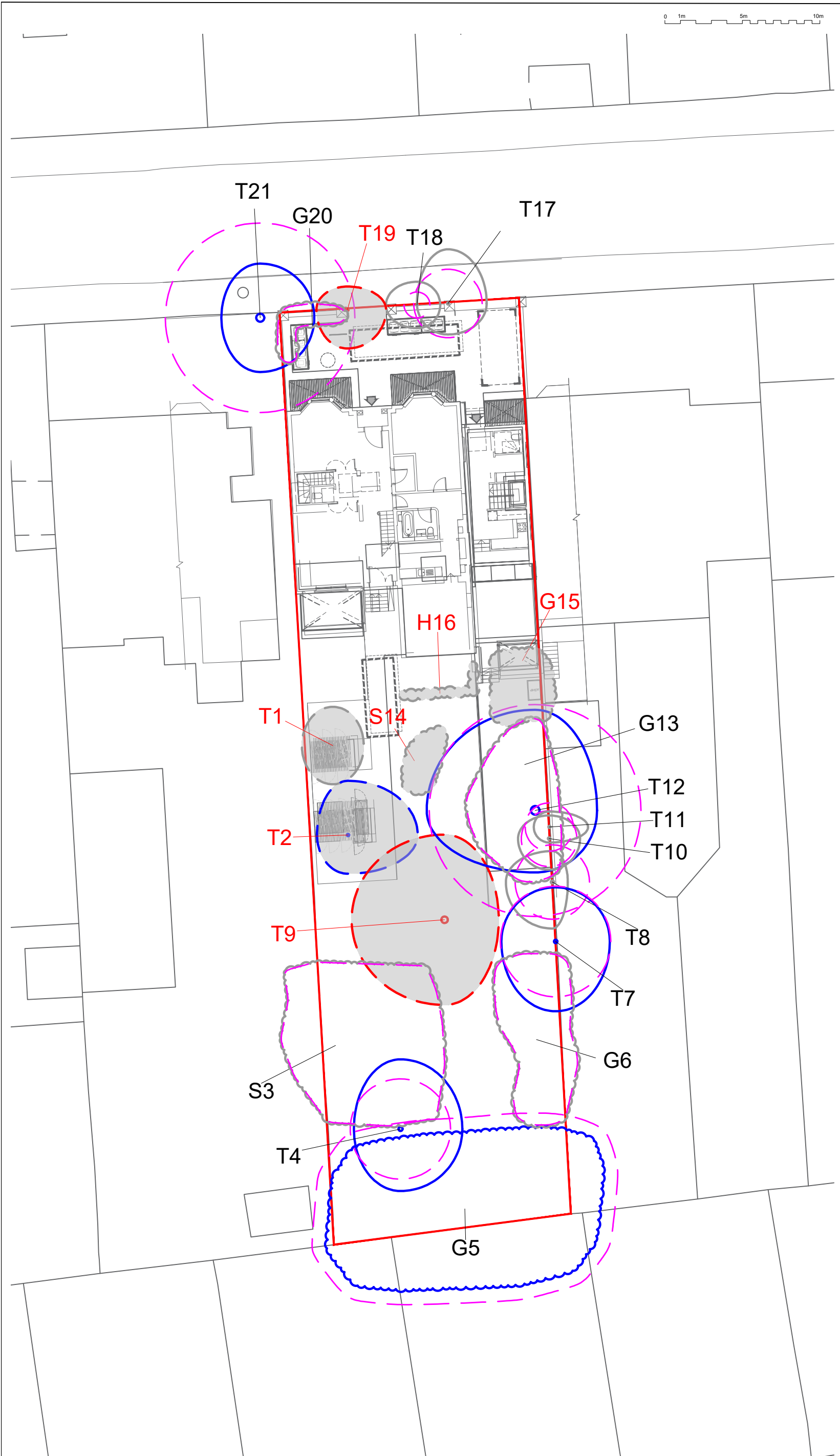
Client  
9 Woodchurch Road Limited

Project  
9 Woodchurch Road, West Hampstead,  
London, NW6 3PL













Date	Drawn by	Authorised	Scale
12/06/2024	HR	KAH	1:250@A3

Drawing No	Rev
221056-P-11	-





**BS 5837:2012 TREE RETENTION CATEGORIES**

-  Canopy spread (m)
-  Tree Stem
-  Unique tree identification number
-  Root Protection Area (RPA)
-  Group canopy extents shown in their retrospective retention category.
-  Unique group identification number
-  Root Protection Area (RPA)
-  **Category A**  
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
-  **Category B**  
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
-  **Category C**  
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
-  **Category U**  
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
-  **BS5837 Root Protection Areas**  
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.



Plotting of trees and groups is estimated as there is no topographical survey information. The dimensions cannot be relied upon as exact and must be treated as indicative only.

rev	date	description	drawn by
Base Drawing: OSMAP			

Title  
**Proposed Layout and Tree Works Plan**

Client  
**9 Woodchurch Road Limited**

Project  
**9 Woodchurch Road, West Hampstead, London, NW6 3PL**

Date	Drawn by	Authorised	Scale
12/06/2024	HR	KAH	1:250@A3

Drawing No	Rev
221056-P-12	-



# General Arboricultural Method Statement

## TREE WORKS

Only the tree works specified within this report may be undertaken, after the appropriate planning consents have been acquired and in order to implement the consent. In the event of any uncertainty regarding tree works, the arboriculturist will be consulted and where appropriate the Local Planning Authority.

All tree works will be undertaken, in accordance with the best-practice recommendations provided in BS 3998:2010. The statutory responsibilities as outlined in the Wildlife and Countryside Act 1981 (as amended) and the The Conservation of Habitats and Species Regulations 2017 and The Conservation of Habitats and Species (Amendment) (EU Exit) Regulations 2019.

## TREE PROTECTION FENCING

The tree protection fencing and (where appropriate) ground protection, will be installed as specified within this plan, prior to the commencement of any demolition and construction works. No plant or materials will be delivered to site prior to the construction of the tree protective fencing other than those required to install the tree protection fencing. On every third panel, a sign will be fixed that states "Tree Protection Zone (CEZ). Keep out. Any incursion into this area must be agreed in advance with the arboriculturist and Local Planning Authority." An example of this sign is provided within this plan.

The position of the tree protection fencing must not be amended and no individual panels will be uncoupled, without the agreement of the arboriculturist and/or Local Planning Authority.

## SERVICES AND DRAINAGE

The installation of drainage runs, manholes, storage tanks, and utilities will be positioned outside the root protection areas (RPAs) of retained trees. If the installation of new services and drainage runs are required within the root protection areas (RPAs) of retained trees, all methods of working will follow the guidance within Table 3 of BS 5837 or the National Joint Utilities Group's (NJUG) Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees (volume 4, issue 2).

Excavation works within the RPAs of retained trees will be undertaken manually with the use of hand tools only (under the supervision of the arboriculturist), unless otherwise agreed in advance by the arboriculturist. It is recommended that an air lance - and if required a soil vacuum - is used, to excavate service trenches within RPAs. If soil conditions are not suitable for this method of excavation, alternative hand tools can be used once agreed in advance by the arboriculturist.

All roots greater than 25mm in diameter will be retained and will immediately be wrapped in hessian or another appropriate material, to prevent desiccation and temperature fluctuations. Roots will be pushed aside to allow for runs to be installed, where this is practical and without causing root damage.

No machinery will be permitted within the CEZ, at any time, unless agreed in advance with the arboriculturist.

## NO-DIG CONSTRUCTION AREAS

Areas that will require no-dig methods of construction are shown within this plan. Working methods within these areas will comply with the details outlined in the main report and in advance of works being undertaken will be agreed with the arboriculturist.

## ARBORICULTURAL CLERK OF WORKS

Attendance by the arboriculturist on Site is required, as per the specifications outlined within the Report to which this plan is appended.

It will be the responsibility of the main contractor (or other managing individual or organisation) to confirm the date and time of attendance, providing at least five working days of notice so that the project arboriculturist can confirm attendance.

## GENERAL PROTECTION METHODS

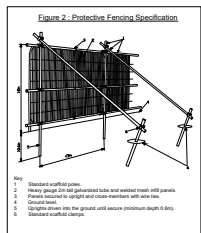
No fires will be permitted, within 20m of the crown of any tree or other area of vegetation that includes hedgerows and groups of trees.

No changes in soil level will occur, within the CEZs and RPAs, without agreement in advance with the arboriculturist.

The CEZs will at all times remain free of liquids, materials, vehicles, plant, and personnel, without agreement in advance with the arboriculturist.

Any liquid materials spilled on site will immediately be cleared up. If liquids are spilled within 2m of any CEZ or RPA, the incident will immediately be reported to the arboriculturist, to determine the appropriate response.

All damage to trees and other vegetation will immediately be reported to the arboriculturist, to determine the appropriate response.



## BS 5837:2012 TREE RETENTION CATEGORIES

- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
- Unique group identification number
- Root Protection Area (RPA)
- Category A**  
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
- Category B**  
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
- Category C**  
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
- Category U**  
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas**  
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.

Position of protective barriers to be installed prior to the commencement of development works occurring on site. Barriers are to remain in their exact positions and can only be removed immediately prior to the commencement of the landscape phase of work.

Construction Exclusion Zone (CEZ)

Existing hard surfacing to act as an alternative to barrier protection. Should this surface be removed prior to the commencement of the landscape phase of work then temporary ground protection will be installed, with the specification to be confirmed by the arboriculturist.

Area requiring arboricultural supervision during excavation of the lower ground floor. Where significant roots are present, these will be grouted clearly back to the edge of the excavation. Refer to the Arboricultural Impact Assessment, for further details.

Refer to 221056-P-14 TPP for protection measures.

Plotting of trees and groups is estimated as there is no topographical survey information. The dimensions cannot be relied upon as exact and must be treated as indicative only.

rev	date	description	drawn by
Base Drawing: 22034-MS-PL-B1-DR-A-109			

Title  
Tree Protection Plan - Lower Ground Floor

Client  
9 Woodchurch Road Limited

Project  
9 Woodchurch Road, West Hampstead,  
London, NW6 3PL

Date	Drawn by	Authorised	Scale
12/06/2024	HR	KAH	1:250@A3

Drawing No	Rev
221056-P-13	-



# General Arboricultural Method Statement

## TREE WORKS

Only the tree works specified within this report may be undertaken, after the appropriate planning consents have been acquired and in order to implement the consent. In the event of any uncertainty regarding tree works, the arboriculturist will be consulted and where appropriate the Local Planning Authority.

All tree works will be undertaken, in accordance with the best-practice recommendations provided in BS 3998:2010. The statutory responsibilities as outlined in the Wildlife and Countryside Act 1981 (as amended) and the The Conservation of Habitats and Species Regulations 2017 and The Conservation of Habitats and Species (Amendment) (EU Exit) Regulations 2019.

## TREE PROTECTION FENCING

The tree protection fencing and (where appropriate) ground protection, will be installed as specified within this plan, prior to the commencement of any demolition and construction works. No plant or materials will be delivered to site prior to the construction of the tree protective fencing other than those required to install the tree protection fencing. On every third panel, a sign will be fixed that states "Tree Protection Zone (CEZ). Keep out. Any incursion into this area must be agreed in advance with the arboriculturist and Local Planning Authority." An example of this sign is provided within this plan.

The position of the tree protection fencing must not be amended and no individual panels will be uncoupled, without the agreement of the arboriculturist and/or Local Planning Authority.

## SERVICES AND DRAINAGE

The installation of drainage runs, manholes, storage tanks, and utilities will be positioned outside the root protection areas of retained trees. If the installation of new services and drainage runs are required within the root protection areas (RPAs) of retained trees, all methods of working will follow the guidance within Table 3 of BS 5837 or the National Joint Utilities Group's (NJUG) Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees (volume 4, issue 2).

Excavation works within the RPAs of retained trees will be undertaken manually with the use of hand tools only (under the supervision of the arboriculturist), unless otherwise agreed in advance by the arboriculturist. It is recommended that an air lance - and if required a soil vacuum - is used, to excavate service trenches within RPAs. If soil conditions are not suitable for this method of excavation, alternative hand tools can be used once agreed in advance by the arboriculturist.

All roots greater than 25mm in diameter will be retained and will immediately be wrapped in hessian or another appropriate material, to prevent desiccation and temperature fluctuations. Roots will be pushed aside to allow for runs to be installed, where this is practical and without causing root damage.

No machinery will be permitted within the CEZ, at any time, unless agreed in advance with the arboriculturist.

## NO-DIG CONSTRUCTION AREAS

Areas that will require no-dig methods of construction are shown within this plan. Working methods within these areas will comply with the details outlined in the main report and in advance of works being undertaken will be agreed with the arboriculturist.

## ARBORICULTURAL CLERK OF WORKS

Attendance by the arboriculturist on site is required, as per the specifications outlined within the Report to which this plan is appended.

It will be the responsibility of the main contractor (or other managing individual or organisation) to confirm the date and time of attendance, providing at least five working days of notice so that the project arboriculturist can confirm attendance.

## GENERAL PROTECTION METHODS

No fires will be permitted, within 20m of the crown of any tree or other area of vegetation that includes hedgerows and groups of trees.

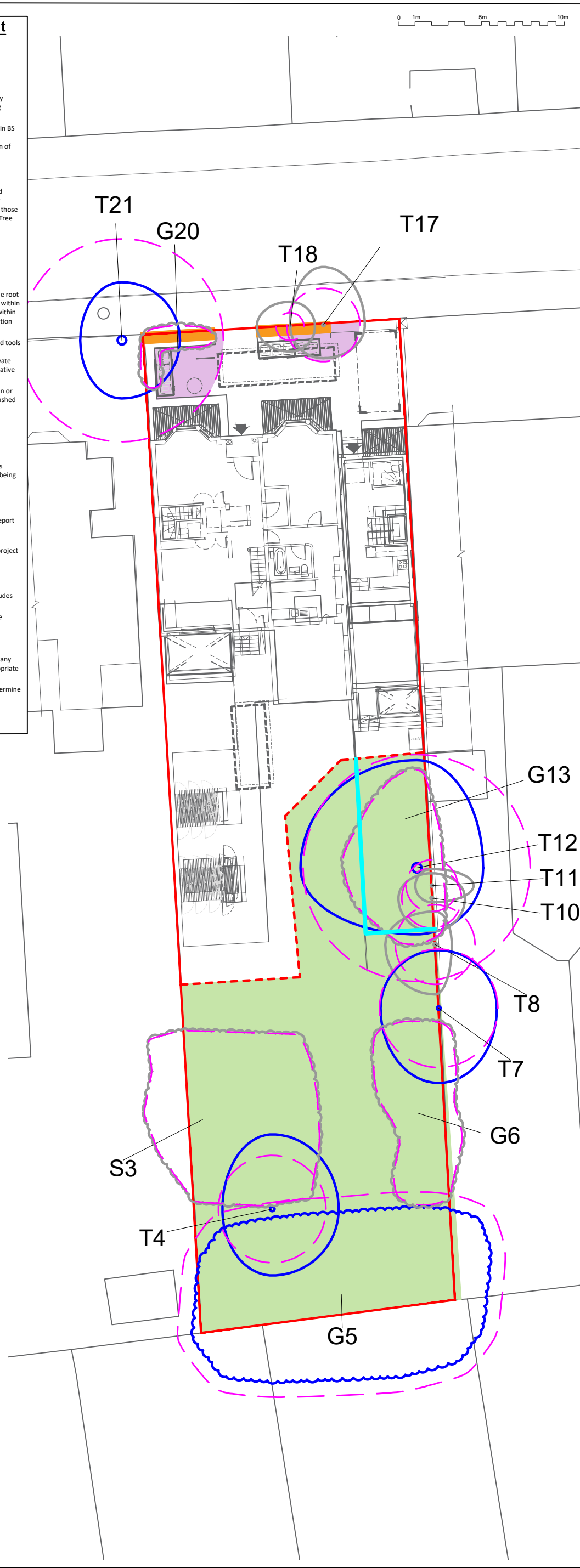
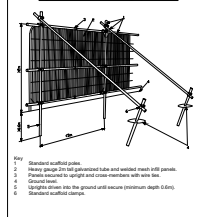
No changes in soil level will occur, within the CEZs and RPAs, without agreement in advance with the arboriculturist.

The CEZs will at all times remain free of liquids, materials, vehicles, plant, and personnel, without agreement in advance with the arboriculturist.

Any liquid materials spilled on site will immediately be cleared up. If liquids are spilled within 2m of any CEZ or RPA, the incident will immediately be reported to the arboriculturist, to determine the appropriate response.

All damage to trees and other vegetation will immediately be reported to the arboriculturist, to determine the appropriate response.

Figure 2 - Protective Fencing Specification



## BS 5837:2012 TREE RETENTION CATEGORIES

- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
- Unique group identification number
- Root Protection Area (RPA)
- Category A**  
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.
- Category B**  
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.
- Category C**  
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.
- Category U**  
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas**  
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.
- Position of protective barriers to be installed prior to the commencement of development works occurring on site. Barriers are to remain in their exact positions and can only be removed immediately prior to the commencement of the landscape phase of work.
- Construction Exclusion Zone (CEZ)
- Should the existing boundary treatment be removed and replaced refer to the Arboricultural Impact Assessment, for further details.
- Existing hard surfacing to be removed and replaced as part of the landscape phase of work. Refer to the Arboricultural Impact Assessment, for further details.
- New boundary fence to be installed. Refer to the Arboricultural Impact Assessment, for further details.

Plotting of trees and groups is estimated as there is no topographical survey information. The dimensions cannot be relied upon as exact and must be treated as indicative only.

rev	date	description	drawn by
Base Drawing: 22034-MS-PL-B1-DR-A-109			
Title Tree Protection Plan - Ground Floor			
Client 9 Woodchurch Road Limited			
Project 9 Woodchurch Road, West Hampstead, London, NW6 3PL			
Date	Drawn by	Authorised	Scale
12/06/2024	HR	KAH	1:250@A3
Drawing No 221056-P-14			Rev -



# **APPENDIX B - Schedules**

- 221056-PD-10 Tree Schedule
- 221056-PD-12 Tree Work Schedule

# 221056-PD-10-Tree Schedule (BS5837)

## 221056 - 9 Woodchurch Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m <sup>2</sup> )	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T1	1 Malus sp. (Apple sp.)	5.5	14	1	2.5	2.0	2.5	2.0				1.5		Early Mature	Structural condition Good. Physiological condition Fair. Access to inspect base - Restricted / obscured. Base / stems obscured - Vegetation. Crown reduction - Historic. Ivy or climbing plant. Position estimated - no topographical survey information. Dimensions indicative.	10/06/2024	8.9	1.7	10-20	C1	
Tree T2	1 Taxus baccata (Yew)	6.0	19 COM	2	3.5	4.5	2.5	2.0				0.0		Early Mature	Structural condition Fair. Physiological condition Good. Access to inspect base - Restricted / obscured. Base / stems obscured - Vegetation. Ivy or climbing plant. Leaning trunk - Minor. Pruning wounds - Recent. Unbalanced crown - Minor. Position estimated - no topographical survey information. Dimensions indicative.	10/06/2024	17.8	2.4	20-40	B2	
Shrub S3	3 Pyracantha coccinea (Pyracantha)	7.0	17 AVE									0.0		Mature	Structural condition Fair. Physiological condition Good. Access to inspect base - Not possible. Base / stems obscured - Vegetation. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information.	10/06/2024	-	-	10-20	C1	
Tree T4	1 Quercus robur (English Oak)	15.0	27	1	4.5	4.0	4.0	3.0				3.0		Semi Mature	Structural condition Good. Physiological condition Good. Position estimated - no topographical survey information. Dimensions indicative.	10/06/2024	33.0	3.2	20-40	B2	

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

TPO **orange** Tree Preservation Order - in the absence of this being specified, it does not necessarily mean there is an absence of a Tree Preservation Order

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Generated By



## 221056 - 9 Woodchurch Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m <sup>2</sup> )	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Group G5	1 Ligustrum sp. (Privet sp.)	17.0	55 AVE									0.0		Early Mature	Structural condition Fair. Physiological condition Good. Access to inspect base - Not possible. Base / stems obscured - Vegetation. Ivy or climbing plant. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information. Linear group of limes trees along the rear boundary. Stem diameter of largest tree estimated - access restricted.	10/06/2024	-	-	20-40	B2	
	1 Ilex aquifolium (Holly)																				
	5 Tilia cordata (Small Leaved Lime)																				
Group G6	2 Sambucus nigra (Elder)	8.0	11 AVE									0.0		Semi Mature	Structural condition Good. Physiological condition Good. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information. Largest stem diameter of the group recorded. Height varies between 6m and 8m. Tree and shrub group.	10/06/2024	-	-	10-20	C2	
	1 Philadelphus sp. (Mock Orange sp.)																				
	2 Fraxinus excelsior (Ash)																				
	1 Corylus avellana (Common Hazel)																				
Tree T7	1 Cupressocyparis leylandii (Leyland Cypress)	14.0	29 COM	2	3.5	3.5	4.5	3.5				1.0		Early Mature	Structural condition Fair. Physiological condition Fair. Access to inspect base - Restricted / obscured. Base / stems obscured - Structure. Fork - Weak with included bark. Structural impact - Footpath / highway / drive disturbance. Stems - Co-dominant. Position estimated - no topographical survey information. Growing against boundary brick wall.	10/06/2024	40.0	3.6	20-40	B2	

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

TPO **orange** Tree Preservation Order - in the absence of this being specified, it does not necessarily mean there is an absence of a Tree Preservation Order

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Generated By

## 221056 - 9 Woodchurch Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m <sup>2</sup> )	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T8	1 Cupressocyparis leylandii (Leyland Cypress)	14.0	20	1	2.0		1.0		3.0		3.0		1.0		Semi Mature	Structural condition Fair. Physiological condition Fair. Access to inspect base - Restricted / obscured. Base / stems obscured - Structure. Competition - Adjacent trees. Crown conflict - Structure / boundary / wire / tree. Position estimated - no topographical survey information. Growing against boundary brick wall.	10/06/2024	18.1	2.4	10-20	C2
Tree T9	1 Fraxinus excelsior 'Pendula' (Weeping Ash)	13.0	42	1	5.5		3.5		5.5		6.0		0.0		Mature	Structural condition Poor. Physiological condition Poor. Access to inspect base - Not possible. Base / stems obscured - Vegetation. Decline - Suspected. Deadwood - Minor. Decay / structural defect - Bole. Epicormic growth - Base. Fungal fruiting body - structural decay suspected. Ivy or climbing plant. Position estimated - no topographical survey information. Dimensions indicative. Fungal fruiting body Inonotus hispidus on north side of stem at 4m above ground level. Dense epicormic growth surrounding base.	10/06/2024	79.8	5.0	0-10	U
Tree T10	1 Cupressocyparis leylandii (Leyland Cypress)	14.0	15	1	1.5		2.0		2.0		2.0		1.0		Semi Mature	Structural condition Fair. Physiological condition Fair. Access to inspect base - Restricted / obscured. Base / stems obscured - Structure. Competition - Adjacent trees. Crown conflict - Structure / boundary / wire / tree. Position estimated - no topographical survey information. Growing against boundary brick wall.	10/06/2024	10.2	1.8	10-20	C2
Tree T11	1 Cupressocyparis leylandii (Leyland Cypress)	14.0	13	1	1.0		2.5		1.0		1.0		1.0		Semi Mature	Structural condition Fair. Physiological condition Fair. Access to inspect base - Restricted / obscured. Base / stems obscured - Structure. Competition - Adjacent trees. Crown conflict - Structure / boundary / wire / tree. Position estimated - no topographical survey information. Growing against boundary brick wall.	10/06/2024	7.6	1.6	10-20	C2

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

TPO **orange** Tree Preservation Order - in the absence of this being specified, it does not necessarily mean there is an absence of a Tree Preservation Order

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Generated By

## 221056 - 9 Woodchurch Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m <sup>2</sup> )	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T12	1 Acer pseudoplatanus (Sycamore)	19.0	57	1	6.5		4.0		4.0		7.0		4.0		Mature	Structural condition Fair. Physiological condition Good. Access to inspect base - Restricted / obscured. Base / stems obscured - Vegetation. Ivy or climbing plant. Position estimated - no topographical survey information. Dimensions indicative. Stem and crown covered in ivy.	10/06/2024	147.0	6.8	20-40	B2
Group G13	1 Sambucus nigra (Elder) 4 Prunus sp. (Cherry sp.)	6.5	13 AVE										0.0		Semi Mature	Structural condition Fair. Physiological condition Fair. Access to inspect base - Restricted / obscured. Base / stems obscured - Vegetation. Deadwood - Major. Fallen tree / trees - Partial collapse. Ivy or climbing plant. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information. Largest seem diameter of the group recorded. Contains some fallen or collapsed trees.	10/06/2024	-	-	10-20	C1
Shrub S14	3 Rosa sp. (Rose sp.)	2.0	3 AVE										0.0		Early Mature	Structural condition Good. Physiological condition Good. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information.	10/06/2024	-	-	10-20	C1
Group G15	1 Prunus sp. (Cherry sp.) 5 Ligustrum sp. (Privet sp.) 2 Ilex aquifolium (Holly)	9.5	15 AVE										0.0		Early Mature	Structural condition Fair. Physiological condition Fair. Access to inspect base - Not possible. Base / stems obscured - Vegetation. Decline - Evident / observed. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information. Height varies between 5m and 9.5m. Holly trees are in decline. Tree and shrub group.	10/06/2024	-	-	10-20	C1
Hedge H16	17 Euonymus fortunei 'Variegatus' (Fortune's Spindle cv.)	1.5	2 AVE										0.0		Semi Mature	Structural condition Good. Physiological condition Good. Hedgerow - Maintained. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information.	10/06/2024	-	-	10-20	C1

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

TPO **orange** Tree Preservation Order - in the absence of this being specified, it does not necessarily mean there is an absence of a Tree Preservation Order

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## 221056 - 9 Woodchurch Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m <sup>2</sup> )	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T17	1 Malus sp. (Apple sp.)	6.0	18 COM	2	3.5		2.5		2.0		2.0	2.0		Early Mature	Structural condition Fair. Physiological condition Good. Epicormic growth - Bole / principal stems. Fork - Suspected structurally sound. Structural impact - Footpath / highway / drive disturbance. Position estimated - no topographical survey information. Dimensions indicative. Stem growing against boundary brick wall.	10/06/2024	15.4	2.2	10-20	C1	
Tree T18	1 Cerasus serrula (Tibetan Cherry)	4.5	7	1	1.5		1.5		1.5		2.0	1.5		Young	Structural condition Good. Physiological condition Good. Staked tree / trees. Young planted tree / trees. Position estimated - no topographical survey information. Dimensions indicative.	10/06/2024	2.2	0.8	10-20	C1	
Tree T19	1 Prunus cerasifera 'Nigra' (Purple Cherry Plum)	5.5	15	1	1.5		2.5		2.5		2.0	2.0		Early Mature	Structural condition Poor. Physiological condition Fair. Decay / structural defect - Principal stems. Fork - Weak with included bark. Foreign object. Pruning wounds - Decayed. Position estimated - no topographical survey information. Dimensions indicative. Main stem is dead, crown formed by growth from primary lateral.	10/06/2024	10.2	1.8	0-10	U	
Group G20	1 Aucuba japonica	3.0	3 AVE									0.0		Semi Mature	Structural condition Good. Physiological condition Good. Dimensions estimated. Numbers indicative of group. Position estimated - no topographical survey information. Shrub group.	10/06/2024	-	-	10-20	C1	
	1 Forsythia sp. (Forsythia)																				
	1 Cotoneaster sp. (Tree Cotoneaster)																				
	1 Amelanchier sp. (Snowy Mespilus)																				

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

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# 221056 - 9 Woodchurch Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m <sup>2</sup> )	RPR (m)	Life expectancy (yrs)	BS Category				
					N	NE	E	SE	S	SW	W	NW													
Tree T21	1 Tilia x vulgaris (Common Lime)	11.0	51	1	3.5		3.5		3.5		2.5				2.5				Early Mature	Structural condition Fair. Physiological condition Good. Access to inspect base - Not possible. Base / stems obscured - Structure. Base / stems obscured - Vegetation. Epicormic growth - Base / bole / principal stems. Structural impact - Footpath / highway / drive disturbance. Stems - Co-dominant. Off-Site. Access not available to inspect. Position estimated - no topographical survey information. Dimensions indicative. Stem bifurcates at 2m. High pollard at 7.5m.	10/06/2024	117.7	6.1	20-40	<b>B2</b>

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

TPO **orange** Tree Preservation Order - in the absence of this being specified, it does not necessarily mean there is an absence of a Tree Preservation Order

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

### Summary table with retention category

	Group	Hedgerow	Shrub	Tree	Total
B2	1	0	0	5	6
C1	3	1	2	3	9
C2	1	0	0	3	4
U	0	0	0	2	2
Total	5	1	2	13	21

### Summary table with life stage

	Group	Hedgerow	Shrub	Tree	Total
Early Mature	2	0	1	6	9
Mature	0	0	1	2	3
Semi Mature	3	1	0	4	8
Young	0	0	0	1	1
Total	5	1	2	13	21

Category and definition	Criteria (including subcategories where appropriate)			Identification on plan
<b>Trees unsuitable for retention (see note)</b>				
<b>Category U</b>  Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none"> <li>* Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning)</li> <li>* Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline</li> <li>* Trees infected with pathogens of significance to health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality</li> </ul> <p>NOTE Category U trees can have existing or potential conservation value which it might be desirable to preserve; see 4.5.7</p>			<b>RED</b>
	<b>1 Mainly arboricultural qualities</b>	<b>2 Mainly landscape qualities</b>	<b>3 Mainly cultural values, including conservation</b>	
<b>Trees to be considered for retention</b>				
<b>Category A</b>  <b>Trees of high quality</b>  with an estimated remaining life expectancy of at least 40 years	Tree that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue).	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features.	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture).	<b>GREEN</b>
<b>Category B</b>  <b>Trees of moderate quality</b>  with an estimated remaining life expectancy of at least 20 years	Trees that might be included in category A, but are downgraded because of impaired condition (e.g. presence of significant though remediable defects, including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation.	Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality.	Trees with material conservation or other cultural value.	<b>BLUE</b>
<b>Category C</b>  <b>Trees of low quality</b>  with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories.	Trees present in groups or woodlands, but without this conferring on them significantly greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits.	Trees with no material conservation or other cultural value.	<b>GREY</b>



# 221056-PD-12-Tree Work Schedule

221056 - 9 Woodchurch Road



ID	No. / Species	BS5837 Category	Purpose of works Recommended works	Status
T1	1 <i>Malus sp.</i> Apple sp.	C1	To facilitate development Fell - Ground level.	Proposed
T2	1 <i>Taxus baccata</i> Yew	B2	To facilitate development Fell - Ground level.	Proposed
T9	1 <i>Fraxinus excelsior 'Pendula'</i> Weeping Ash	U	To manage risk to property Fell - Ground level.	Proposed
S14	3 <i>Rosa sp.</i> Rose sp.	C1	To facilitate development Fell - Ground level.	Proposed
G15	2 <i>Ilex aquifolium</i> Holly	C1	To facilitate development Fell - Ground level.	Proposed
	5 <i>Ligustrum sp.</i> Privet sp.			
	1 <i>Prunus sp.</i> Cherry sp.			
H16	17 <i>Euonymus fortunei</i> ' <i>Variegatus</i> ' Fortune's Spindle cv.	C1	To facilitate development Fell - Ground level.	Proposed
T19	1 <i>Prunus cerasifera 'Nigra'</i> Purple Cherry Plum	U	To facilitate development Fell - Ground level.	Proposed

## Tree work analysis (trees and trees in groups)

	To facilitate development	To manage risk to property	Total
Fell - Ground level	6	1	7
Total	6	1	7



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