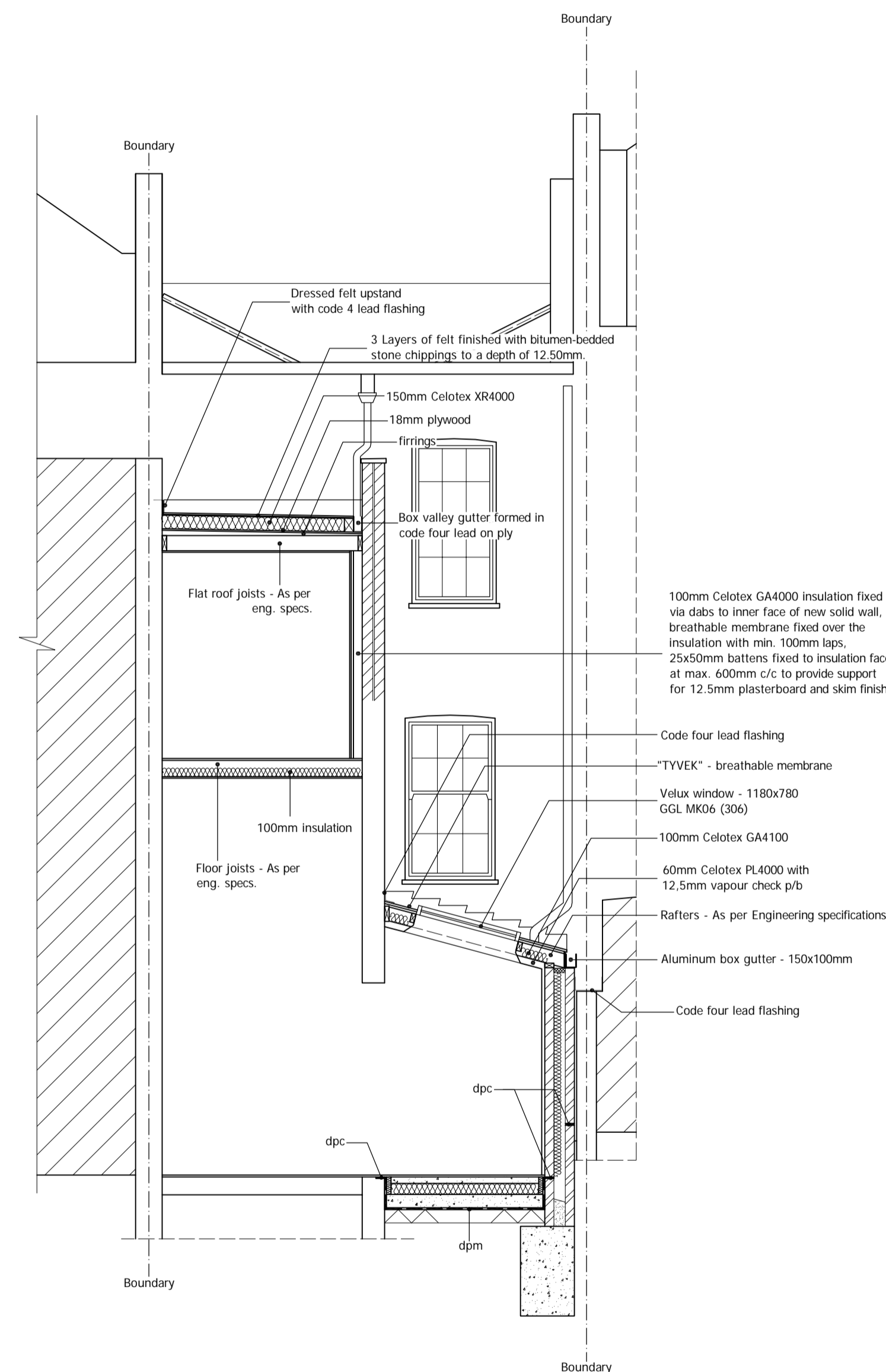
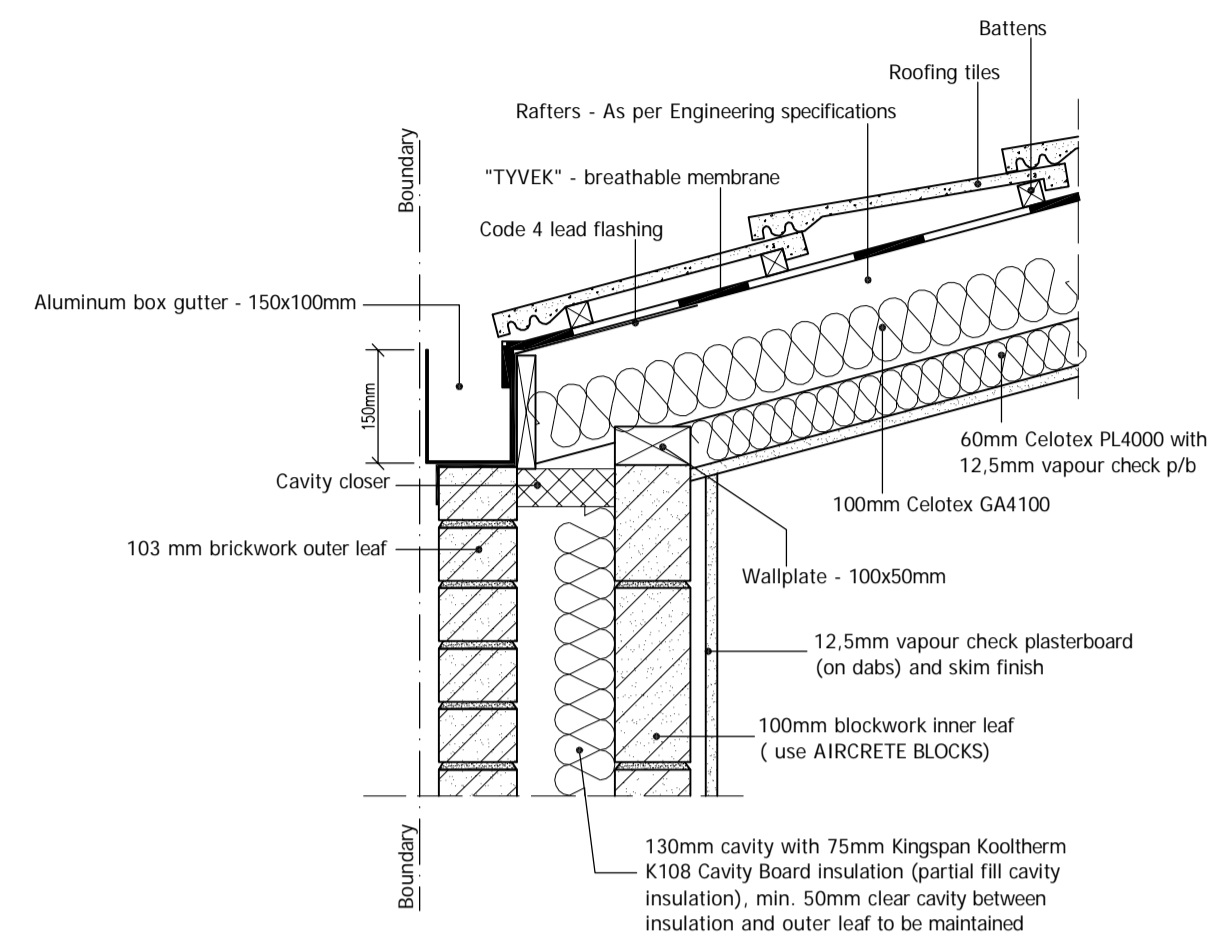


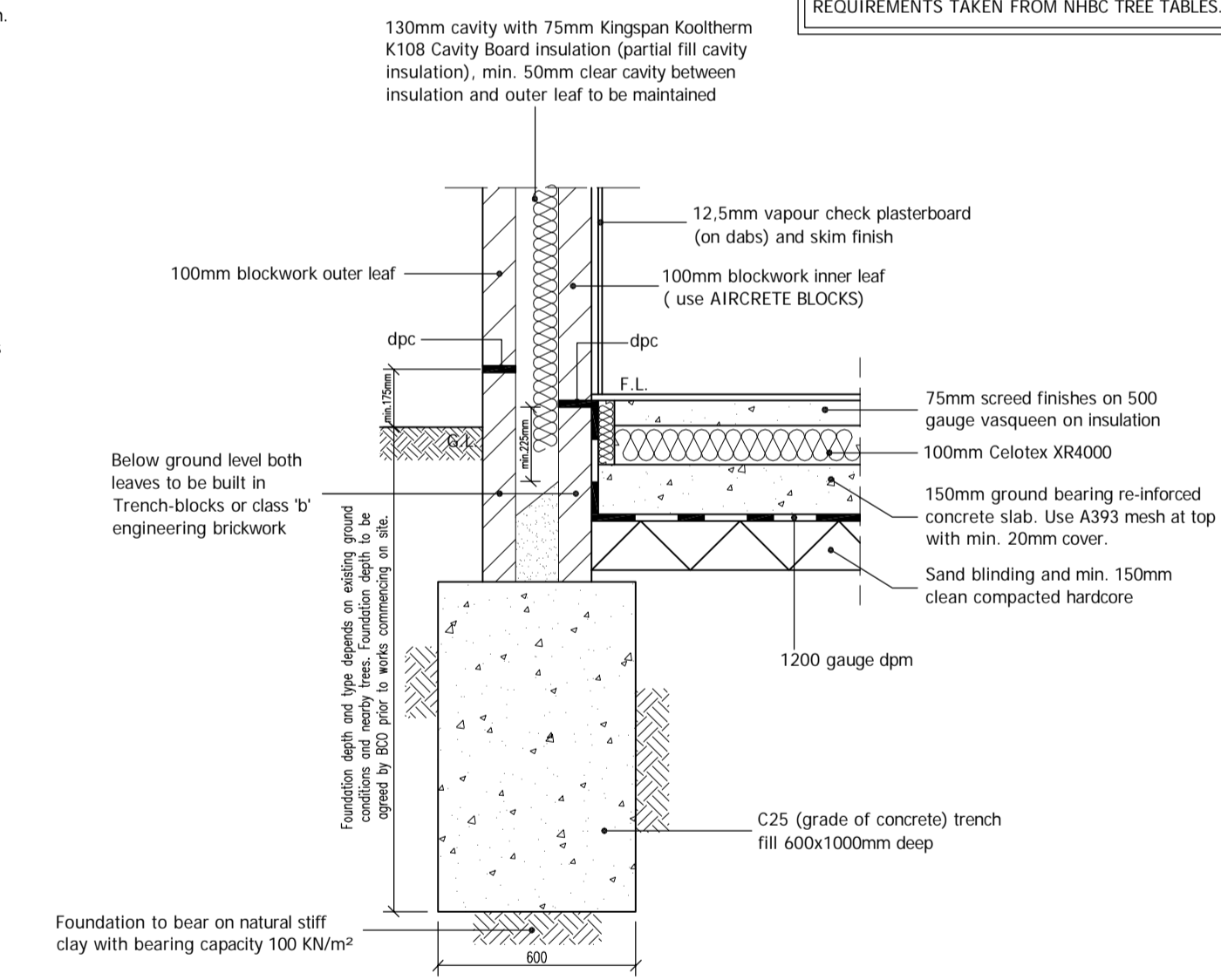
PROPOSED SECTION A-A  
scale 1:50



PROPOSED SECTION B-B  
scale 1:50

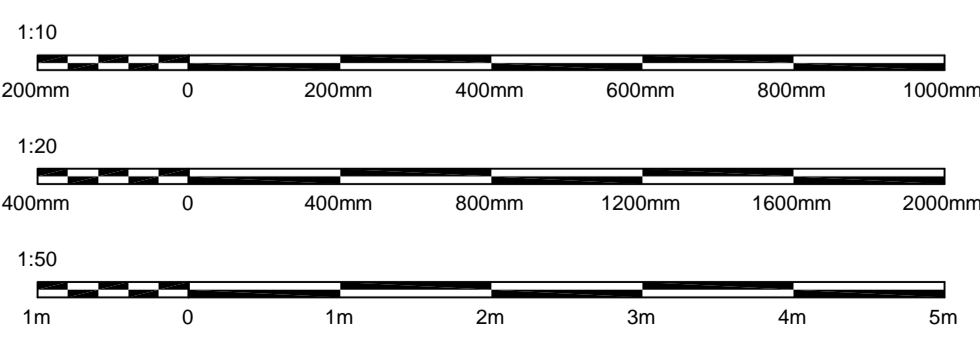


VALLEY GUTTER DETAIL  
scale 1:10



TYPICAL FOUNDATION DETAIL  
scale 1:20

CLIENT TO CONFIRM TREE SPECIES FOR ALL TREES WITHIN 25 METERS OF PROPOSED WORKS TO DETERMINE RECOMMENDED DEPTH OF FOUNDATION REQUIREMENTS TAKEN FROM NHBC TREE TABLES.



DRAWING STATUS <b>PLANNING</b>	FOR PLANNING AND BUILDING CONTROL APPROVAL ONLY NOT FOR CONSTRUCTION	<b>GENERAL NOTES:</b> Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and confirm all dimensions on site during the course of the work and prior to setting out on site. This drawing is to be read in conjunction with all other Architect's and Engineer's drawings. Structural Engineers' calculations and any specialist Engineer's approved drawings. Prior to commencement of building works the contractor or homeowner is responsible and should: 1. Ensure that all existing drawings and calculations are complete, approved by Building Control or Planning Department and that they are the current issued drawings before any works start on site by means of verification of existing drawings and regular site visits by the building control department that the work is done in accordance with the drawings. 2. Obtain an approved decision from planning and obtain a party wall certificate for all drawings and calculations. 3. Verify building area & ground conditions including existing positions and new construction of all pipe, drainage, water & other services drawings etc. which the site must be the responsibility of the contractor. Owner is responsible for establishing and boundary lines on site. DPL are not responsible for checking and verifying any drawings have been approved by the planning and building control departments. A land search must be carried out by the contractor. 4. If any DPL structural designs are subject to building control approval, it is the contractor's responsibility to ensure that the drawings are approved by the planning and building control departments. 5. The wall/s which have been designed to be removed on site to be checked on site by building control. 6. Responsibility for load bearing or non-load bearing walls before purchase of stone/A, if non-load bearing stone's should not be ordered. No refund or claim can be given against DPL on the supply/rejection charged for these stone/A. 7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary property and insurance requirements are in place. Do not move off the drawing as the working may be off. Works carried out in building notice or prior to planning approval are at the contractor/homeowner risk. 8. All DPL drawings must be approved before works commence. Builders/homeowner's liability should please refer to planning and building control departments are fully responsible for the method of construction works or check in planning notice. 9. Any discrepancies, either between parties and site dimensions or between the drawings and other contractors' drawings, or any other works, shall be brought to the attention of DPL before work commences on site. Any discrepancy in on site that will need to be brought to DPL attention straight away before work commences and permission of contractor to proceed with the work. Includes those of contractor if contractor is not the contractor, any other party which is on site that will need to be brought to DPL attention straight away before work commences and permission of contractor to proceed with the work. 10. All of DPL structural designs are subject to building control approval. If there is a difference in a different method of construction, it is the contractor's responsibility to ensure that the drawings are approved by the planning and building control departments. 11. The wall/s which have been designed to be removed on site to be checked on site by building control. 12. Responsibility for load bearing or non-load bearing walls before purchase of stone/A, if non-load bearing stone's should not be ordered. No refund or claim can be given against DPL on the supply/rejection charged for these stone/A. 13. An inspection of the underground drainage was not possible on survey. Contractor should check with the local water authority before starting work on site and verify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE CHECKED BY CONTRACTOR. 14. DPL does not hold full copyright of this material and have the full right to control the use of these works, any drawings, photographs or plans that through these rights will be subject to legal proceedings, brought against them, client accepting these terms and conditions that the drawings are not to be used for any other purpose than the intended use for the ground. All works to be carried out in accordance with the latest applicable codes of practice and to comply with current building regulations.	SITE ADDRESS 168 LEIGHTON ROAD, LONDON, NW5 2RE  DRAWING TITLE PROPOSED DRAWINGS - extensions  SCALE AS SHOWN @ AT DRAWN HEAD OFFICE DRAWING NUMBER: DPL.03. A REVISION: A DATE: 20. JUNE, 2024
	Architectural Design Studio Tel.No. 07838 135 957  www.discounplanskd.com discounplanskd@gmail.com		