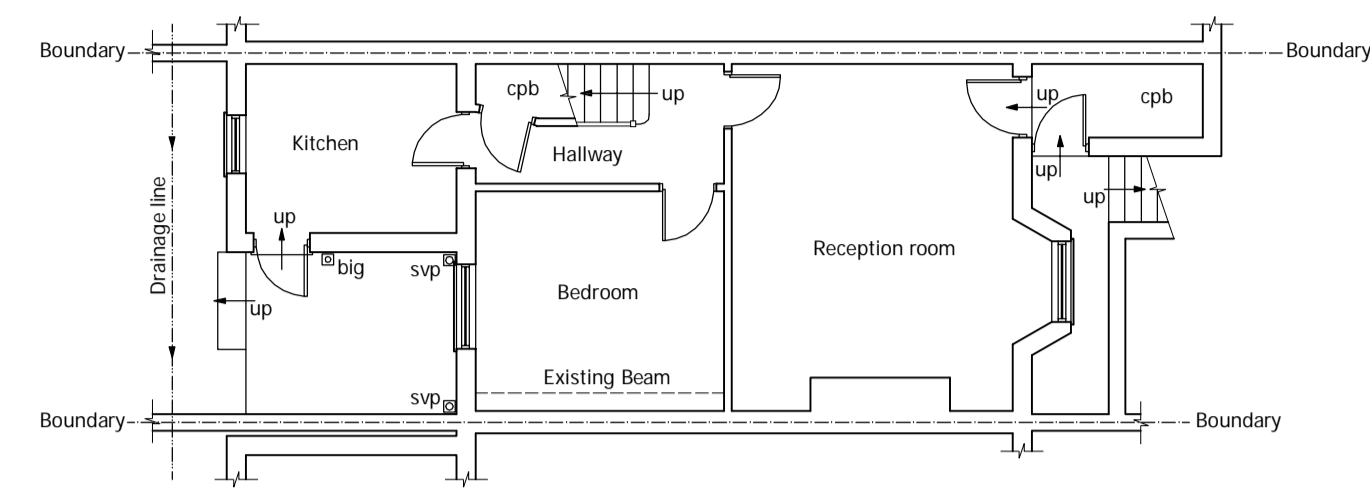
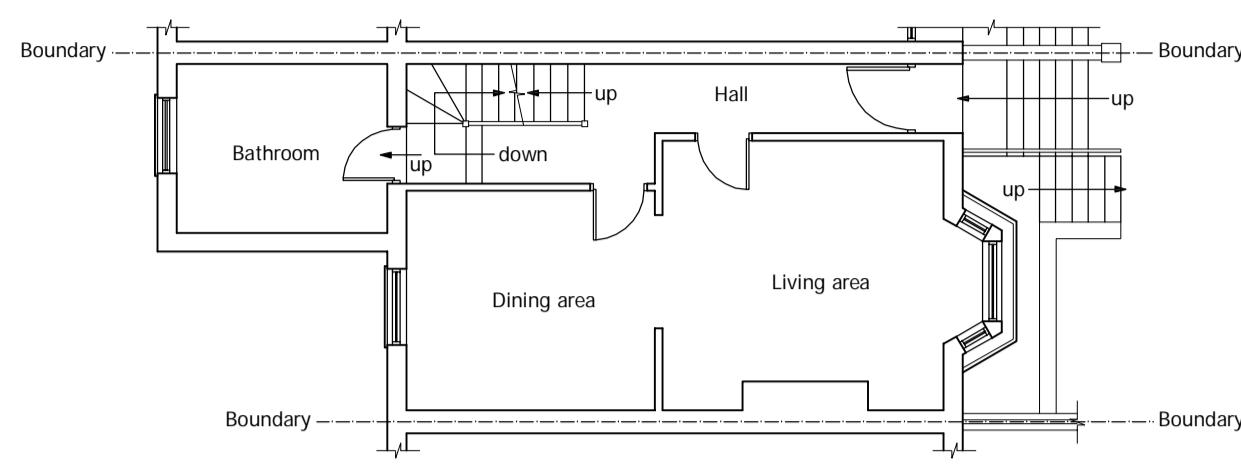
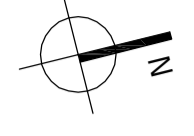


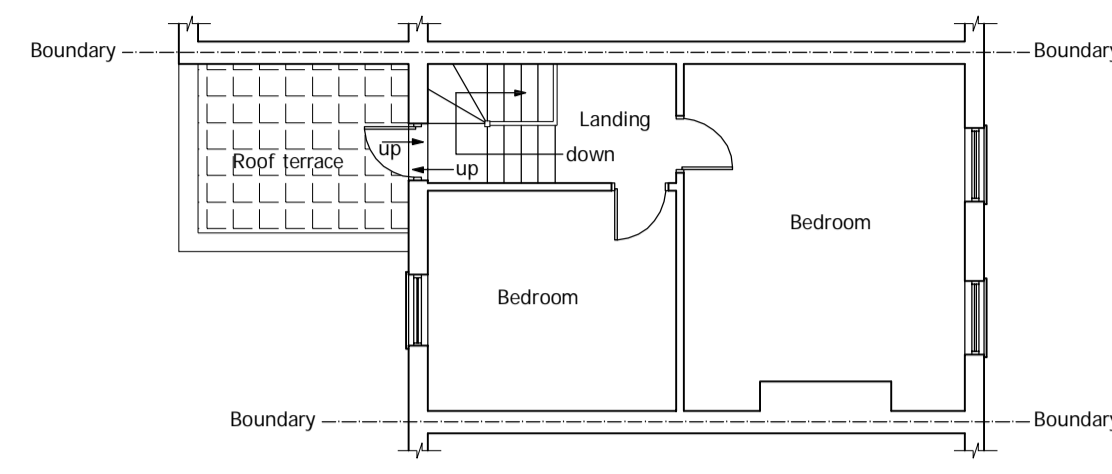
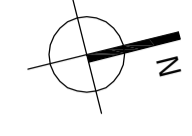
An inspection of the underground drainage was not possible on survey. Client to provide a drainage survey carried out by utility specialist and notify the designer. ALL DRAINAGE SHOWN IS ASSUMED.



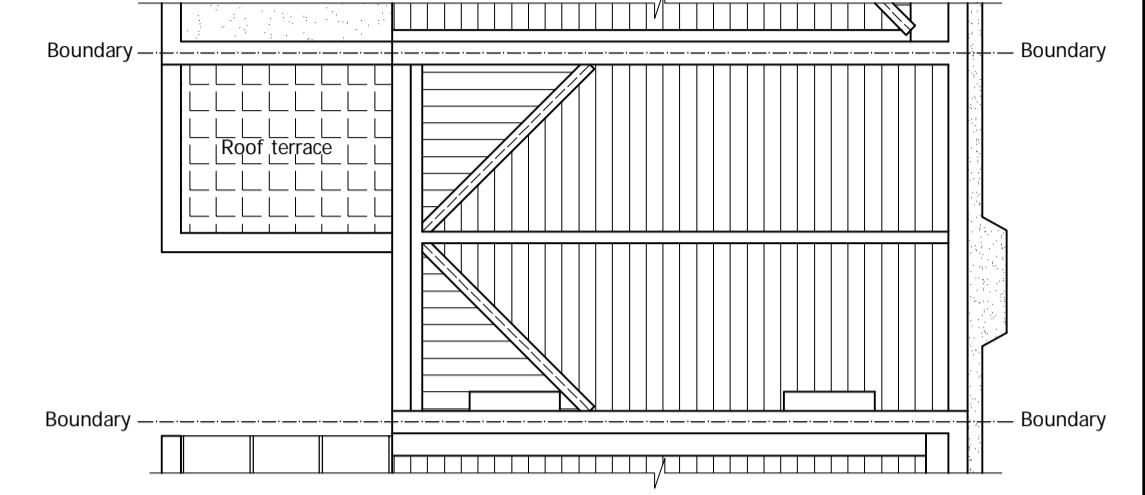
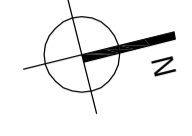
EXISTING LOWER GROUND FLOOR PLAN
scale 1:100



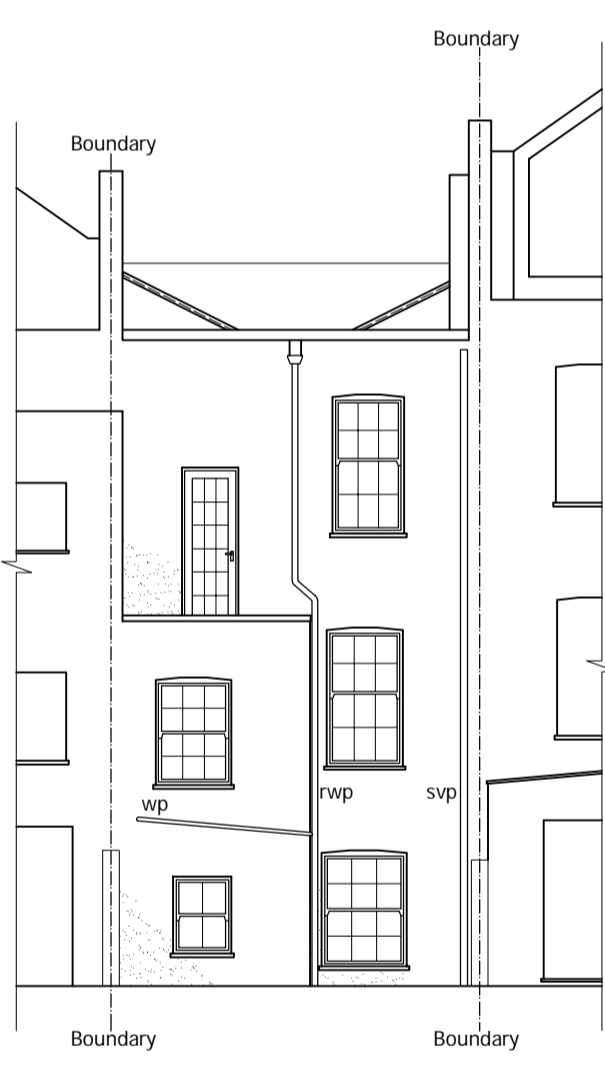
EXISTING GROUND FLOOR PLAN
scale 1:100



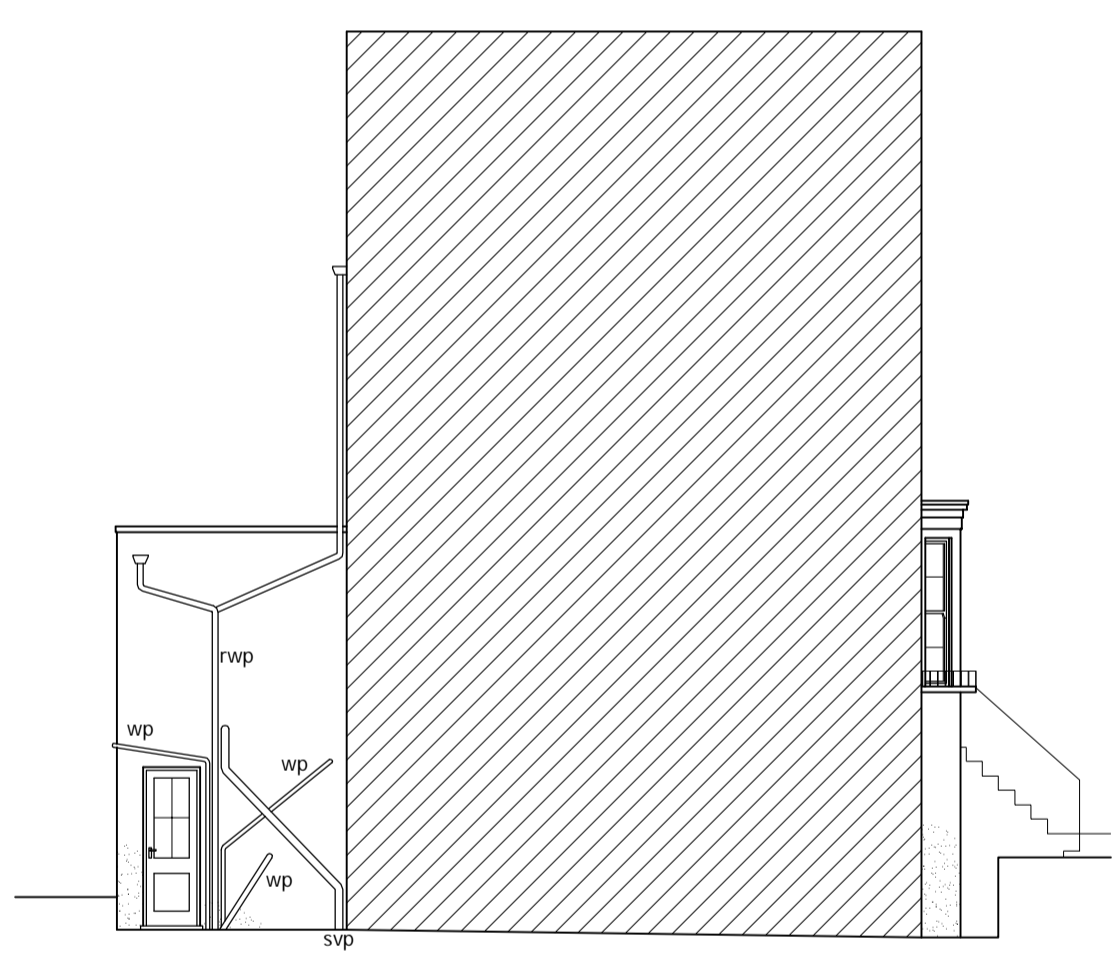
EXISTING FIRST FLOOR PLAN
scale 1:100



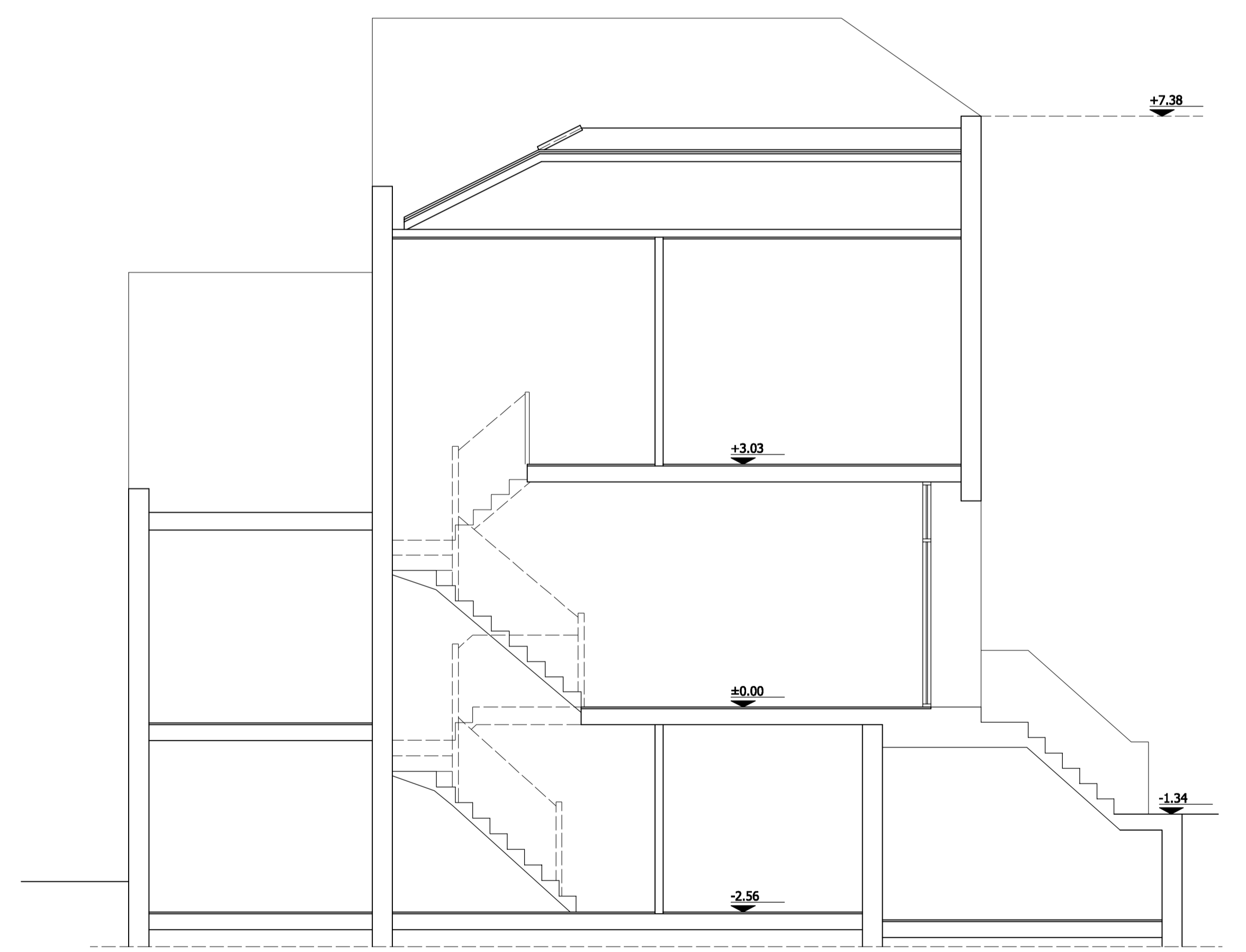
EXISTING ROOF PLAN
scale 1:100



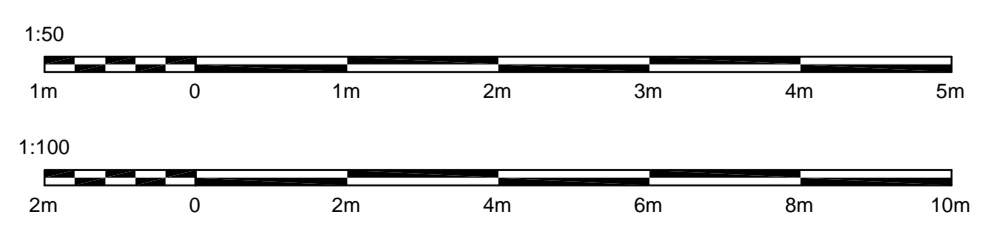
EXISTING REAR ELEVATION
scale 1:100



EXISTING SIDE ELEVATION
scale 1:100



EXISTING SECTION
scale 1:50



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|---|----------|
| DRAWING STATUS | PLANNING |
| FOR PLANNING AND BUILDING CONTROL APPROVAL ONLY NOT FOR CONSTRUCTION | |
| Architectural Design Studio Tel No. 07838 135 957 | |
| www.discountplanskd.com discountplanskd@gmail.com | |

GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and verify all dimensions on site during the course of the work and prior to setting out on site. This drawing is to be read in conjunction with all other Architect's and Engineer's drawings. Structural Engineers calculations and any specialist supplier's approved details.
Prior to commencement of building works the contractor or homeowner is responsible and should:
1. Ensure that all existing drawings and calculations are complete, approved by Building Control or Planning Department and that they are the correct latest drawings before any works start on site by means of certification of copies.
2. Agree and register with the building control department that the work is subject to completion on site drawings.
3. Verify building area & ground conditions including existing positions and new construction of all pipe, electrical, water & other services drawings etc. which are not shown in the commencement of drawings. Owner is responsible for establishing and boundary lines on site. One is not responsible for checking and verifying any drawings have been approved by the planning and building control departments. A land search should be carried out by the homeowner if relevant. DPL are not responsible for building changing design methods from proposed works.
4. Owner is responsible for providing additional information and covering any engineering design needs for any additional structural details through the site from the start to end of building works requested by building control or any other third party's instructions during building works.
5. The contractor to ensure that the Party Wall remains clear of any other party wall or service excavations within 2 metres of adjoining buildings or building over a public sewer. (clients responsibility)

1. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary permits and approvals are in place. Do not work off the drawing as the working may be off. Works carried out in building control or prior to planning approval are of the contractor/homeowner risk.
2. All DPL drawings must be approved before works commence. Building Homeowner's liability should plans being approved by planning & building control departments are fully responsible for the method of construction or works to be carried out.
3. Any drawings, either between parties and also drawings of reference from drawings and other contractors or suppliers, or any other party's drawings, shall be brought to DPL before work starts on site. All drawings which are on site shall be used to be brought to DPL attention straight away before work commences and positions of elements are marked on an electronic grid as approved and approved by building control or the engineer before work can commence. Foundation design needs must be approved in writing by building control prior to starting.
4. All of DPL structural designs are subject to building control approval. If relevant the building foundation is different a full-scale test will be carried out to establish the existing foundation load and building control approval is a different method of construction. If requested by building control after a full or partial foundation, this will need to be designed by an engineer with an additional cost being agreed.
5. All walls which have been designed to be removed on site are to be checked on site by building control. Responsibility for full bearing or non-load bearing walls before purchase of materials. If non-load bearing walls are removed, the contractor to ensure that the Party Wall remains clear of any other party wall or service excavations within 2 metres of adjoining buildings or building over a public sewer. (clients responsibility)

An inspection of the underground drainage was not possible on survey. Contractor should check individual rain and floor levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
THIS - this drawing has been created by DISCOUNT PLANS LTD for the "client" only, and is bound to the contract and conditions between both party's in which a signed contract for copies of work including permit-making has been made. No other party's drawings or other drawings or drawings shall be allowed or taken made of drawings and any other drawings relating to this project or otherwise remain can be made against DPL.
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|---|-------------------------|
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| DRAWING TITLE EXISTING DRAWINGS - extensions | |
| SCALE AS SHOWN | BY AT DRAWN HEAD OFFICE |
| DRAWING NUMBER | REVISION DATE |
| DPL.01. | A 20. JUNE. 2024 |