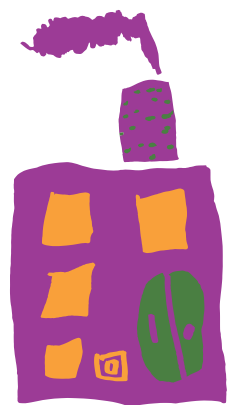


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S U R V E Y R E P O R T



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Email: m.dymond@trinitycc.co.uk

25 May 2023

Our Ref: **RAA/413Z**

Mr. M. Dymond
Trinity Construction Consultancy
Unit 5 Columba Orion Court
Addison Way
Great Blakenham
Suffolk
IP6 0LW

Dear Mr Dymond

5 HOLLY MOUNT, LONDON NW3

We thank you for your Invitation to provide a proposal and cost to overcome the problems of dampness to the indicated walls only within the basement at the above property. However, I believe that there is a risk of water ingress as the structure is subterranean, we understand that the client does not want to adopt a full waterproofing system incorporating perimeter drainage channels or sumps.

In view of the above as requested our following specification and quotation is based on a damp proofing scenario only and does not constitute a waterproofing system, therefore will be unsuitable in the event of physical water ingress.

With regard to the indicated damp affected walls, please see the following works specification and quotation.

All directions given in this report were taken from outside the property facing the front.

The inspection was carried out using non-destructive investigation methods with the aid of an electric surface resistance moisture meter.

OBSERVATIONS

WALLS:

The property is a terraced house constructed in approximately 1780 of traditional solid brick and has achieved a Grade 2 listed status.

The weather conditions at the time of our inspection were dry, bright and mild.

Evidence of above average moisture readings were noted to internal wall surfaces where indicated for treatment on the enclosed plan.

After consideration of the pattern of moisture readings found and the general pattern of dampness noted, we conclude that the dampness is due to:

- The presence of hygroscopic salts within the wall fabric.
- Residual dampness following water penetration as a result of a previously leaking Thames Water main.

■ 01491 577560 ■ info@stonehousewaterproofing.co.uk ■ www.stonehousewaterproofing.co.uk

Stonehouse Property Care Limited Registered in England and Wales 4053661

Registered Office:

8 Centenary Business Park
Station Road, Henley-on-Thames
Oxfordshire RG9 1DS



Gold Member



RECOMMENDATIONS

In order to overcome the problems of damp /salt contamination referred to above, we have prepared a Specification of Remedial Work. This Specification includes:

We recommend the use of **CDM 508R Mesh** cavity drain membrane.

We understand the need for a dry internal wall surface and therefore recommend the use of a Cavity Drain membrane. This may be fixed over existing finishes retaining and protecting them for future generations.

This system is the only damp-proofing system considered appropriate for historic buildings because:

- Original historic wall finishes can be retained and protected.
- No cement is used.
- The system does not induce additional stresses on the building fabric.
- It is fully reversible in the future the membrane can be stripped away exposing the original wall surface.

PLEASE NOTE

We understand the initial requirement is for a damp proofing barrier to the indicated wall surfaces only, therefore our guarantee is restricted to a damp proofing guarantee for the specific areas treated only. The system can be upgraded to a Type C drained cavity membrane system to incorporate perimeter drainage and pumps at any time in full accordance with BS8102, 2022.



KEY

Internal Type C Waterproofing	
	Newton 508
	Newton 508 mesh
	Newton 508 to floor
	Basedrain
	Sump location

External Type A Waterproofing	
	Hydrobond to walls
	Hydrobond to floor
	Acriflex Fybro
	Newton 107F to walls
	Newton 107F to floor
	109LM to walls

Internal Type A Waterproofing	
	Newton 107F to walls
	Newton 107F to floor
	Vandex BB76E to walls
	Vandex BB76E to floor
	Stonehouse Premix No.5

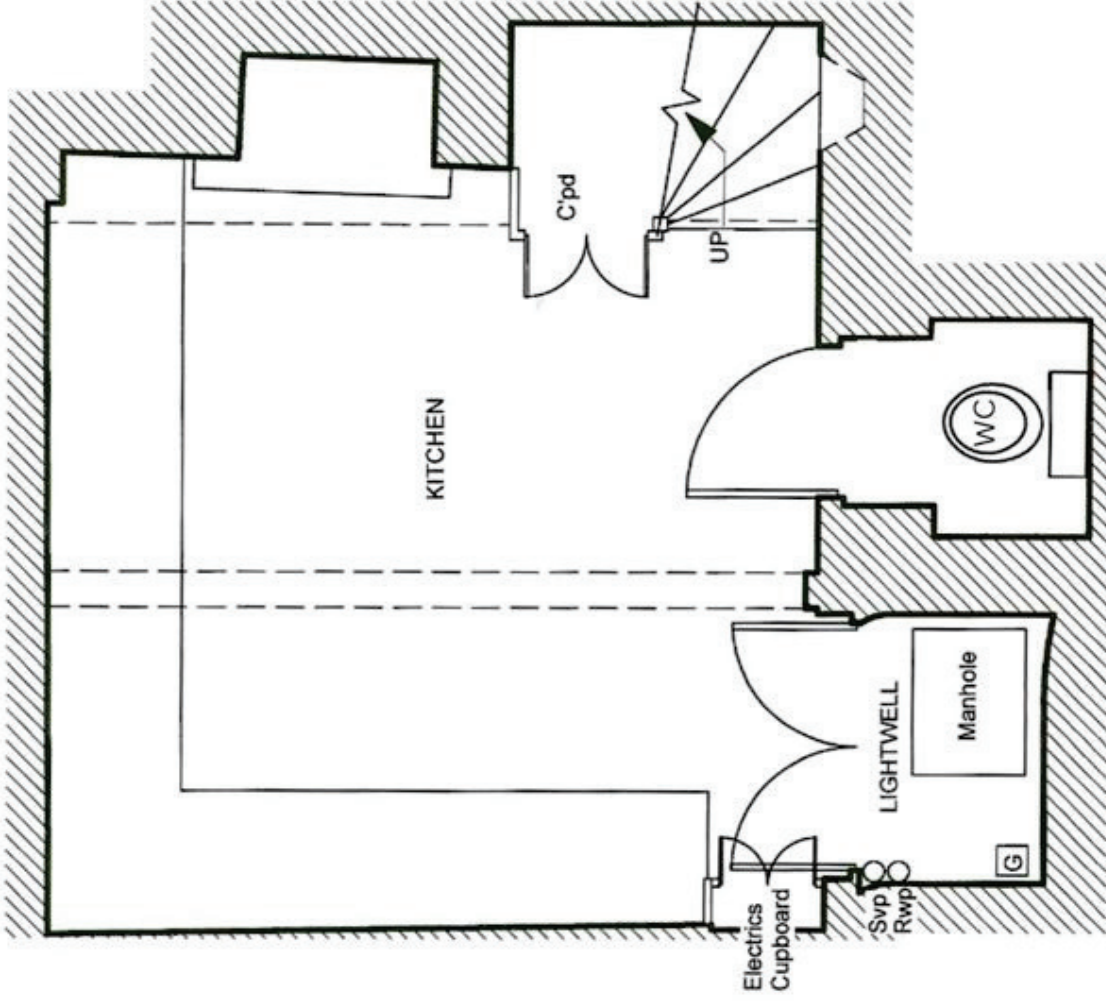
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01 Existing Basement Plan

01 1:50@A3

SPECIFICATION OF REMEDIAL WORK

FOR MEMBRANE APPLICATION & PLASTERING:

1. TO BE CARRIED OUT BY OTHERS:

Provide mains electricity (240v) and clean water.

Remove all fixtures and appliances as necessary to facilitate the membrane application and re-plastering, including obstructing radiators, shelving, built in cupboards, services and battening etc.

2. TO BE CARRIED OUT BY STONEHOUSE PROPERTY CARE LIMITED:

Provide polythene and hardboard protection to floor surfaces within the treatment area.

Provide polythene protection over door opening to minimise the spread of dust to other areas of the property.

Remove wall plaster to the walls and heights indicated on the attached sketch plan no. 413Z (in accordance with the **re-plastering specification**), bag up and remove from site.

Prepare walls as necessary.

Apply the **CDM 508 Mesh** damp-proofing system in accordance with the manufacturers recommendations to the areas and heights indicated on the enclosed plan.

LEAVE SITE CLEAN AND TIDY

3. TO BE CARRIED OUT BY STONEHOUSE PROPERTY CARE LIMITED:

Render the meshed membrane with a sand: cement: lime mix to a wood float finish at a ratio of 6:1:1.

Or plaster the meshed membrane Using Hardwall or similar and skim finish. Alternatively adhere plasterboard to the meshed membrane with the dot and dab method and skim finish.

LEAVE SITE CLEAN AND TIDY

4. TO BE CARRIED OUT BY OTHERS:

Reinstate radiators and fixtures and fittings.

Reinstate /renew skirting boards to match existing pattern.

Apply decorations after treatment.



IMPORTANT NOTES

We have not inspected parts of the property, which were covered, unexposed or inaccessible at the time of our inspection. We cannot give our assurance that any such area is free from, dampness, infestation or fungal decay.

It is important that the damp proof system is not punctured in any way. If a fixing to the wall is required, advice should be sought from ourselves. Always inform Stonehouse if the system is damaged or disturbed after completion, because repairs will be necessary.

When removing plaster, it is inevitable that a considerable amount of dust will be created. Not only is this dust likely to settle in the areas scheduled for re-plastering but also in other parts of the property. It is therefore essential for furnishings, furniture and effects to be adequately protected. Such work is not allowed for by us and should be completed prior to the arrival of our operatives on site.

When re-plastering onto the Newton Membrane hair-line cracking may occur. This will not present a problem regarding the efficacy of the new plaster and should be made good when decorating. Making good is not allowed for in the quotation.

IMPORTANT NOTES

Please Note; The above specification does not constitute a waterproofing system, therefore our guarantee is restricted to a damp proofing guarantee for the specific areas treated only. The system can be upgraded to a Type C drained cavity membrane system to incorporate perimeter drainage and pumps at any time in full accordance with BS8102, 2022.

