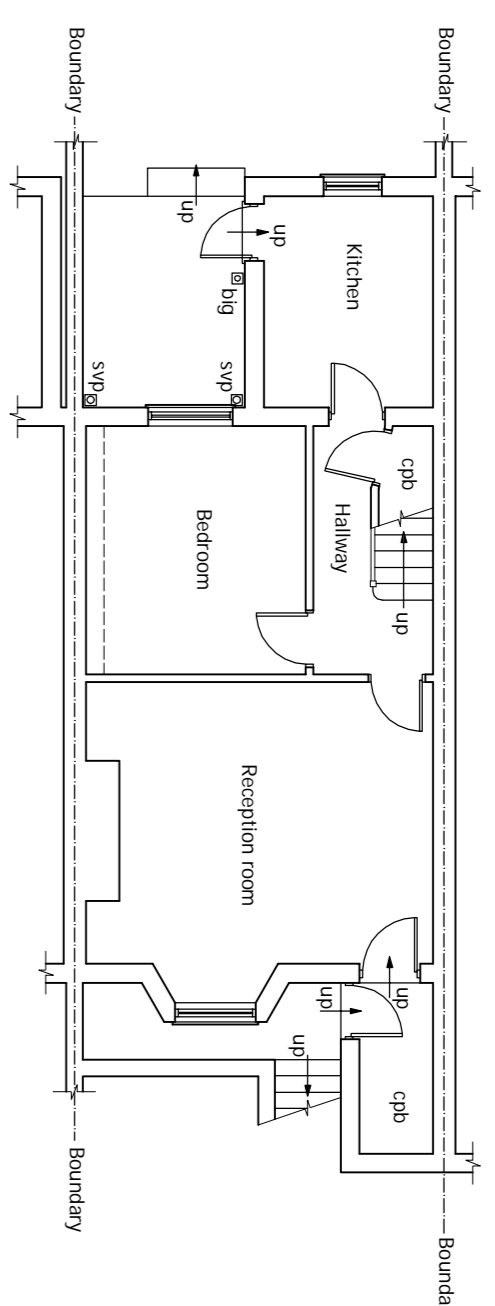
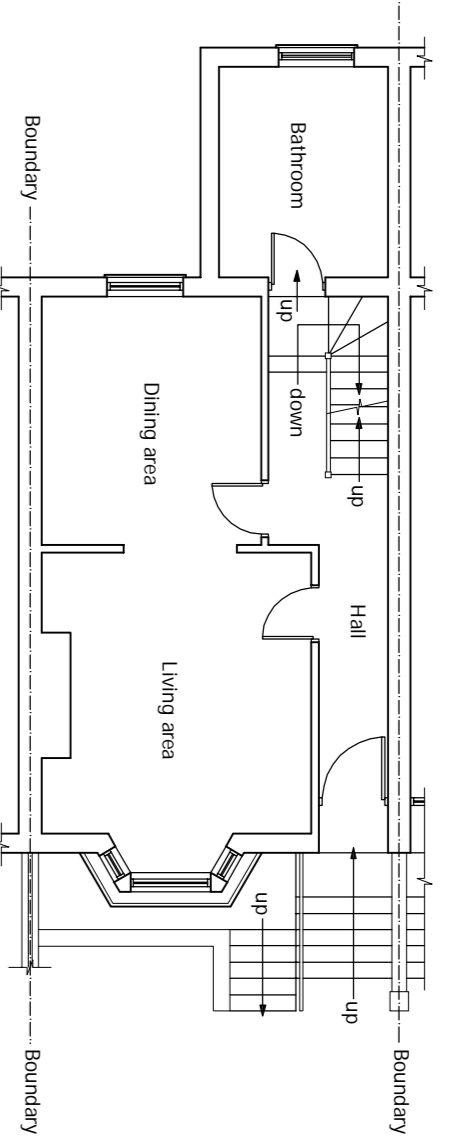
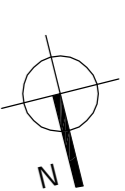


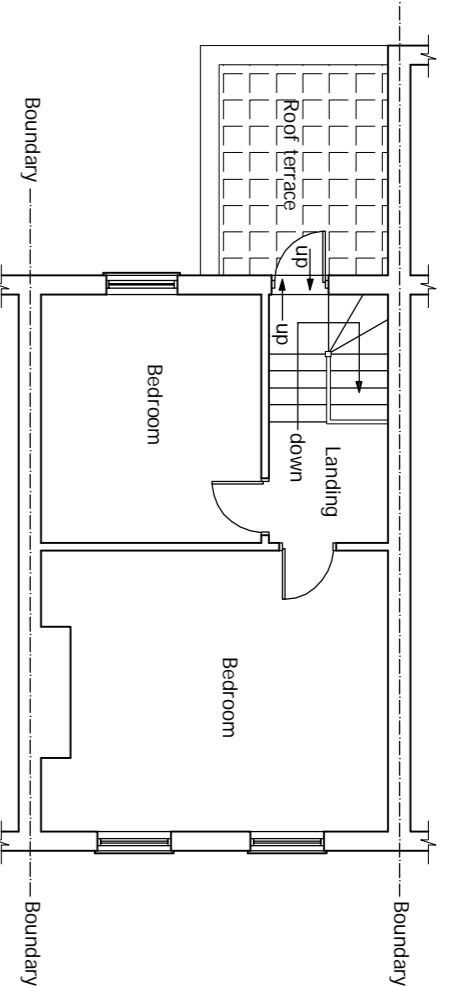
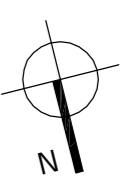
An inspection of the underground drainage was not possible on survey. Client to provide a drainage survey carried out by utility specialist and shown on drawings. ALL DRAWINGS SHOWN IS ASSUMED



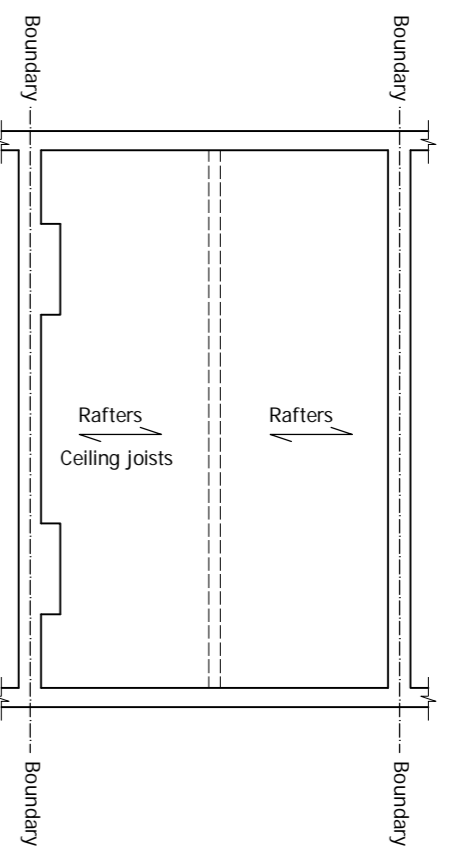
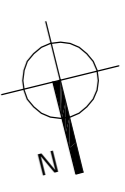
EXISTING LOWER GROUND FLOOR PLAN  
Scale 1:100



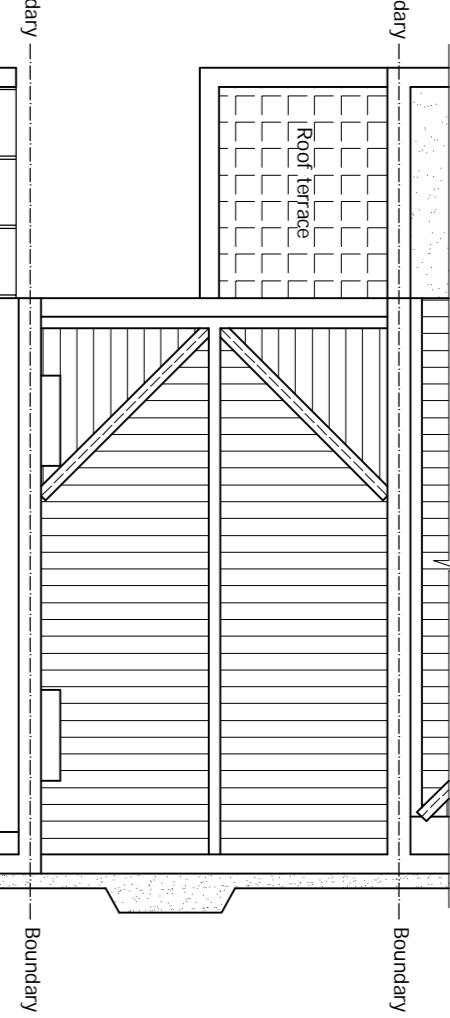
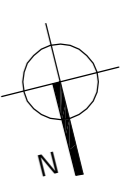
EXISTING GROUND FLOOR PLAN  
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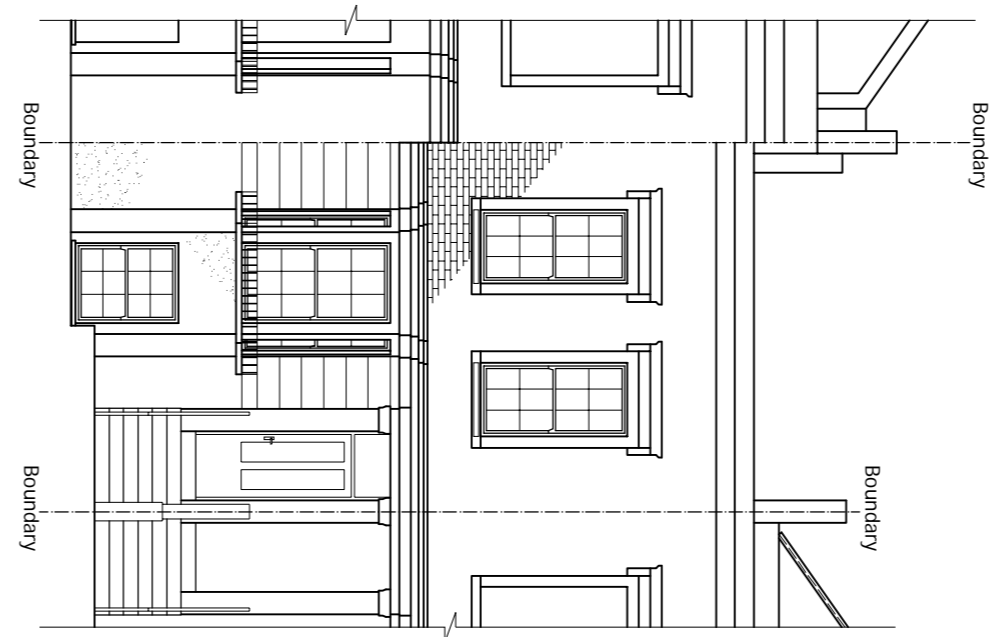
EXISTING FIRST FLOOR PLAN  
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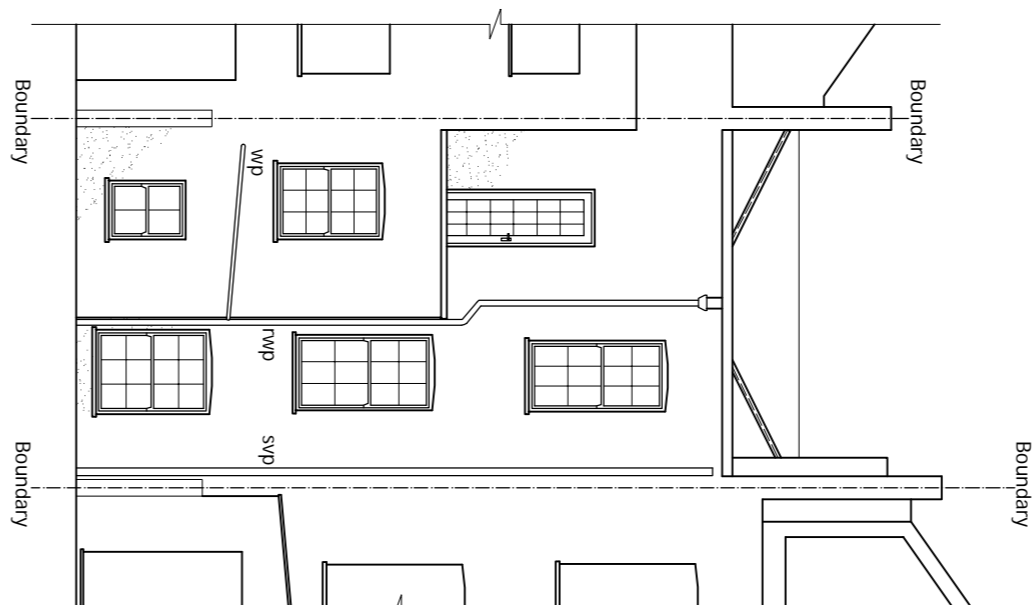
EXISTING ATTIC FLOOR PLAN  
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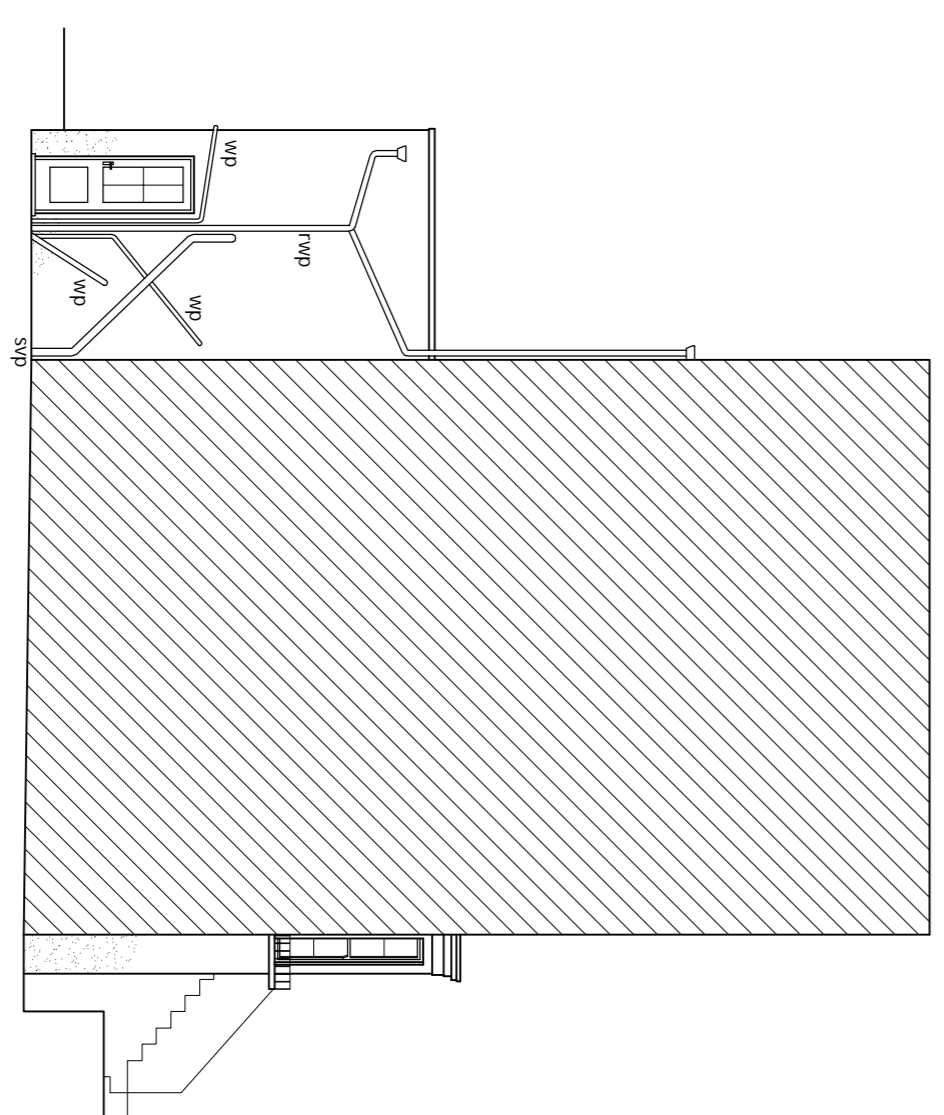
EXISTING ROOF PLAN  
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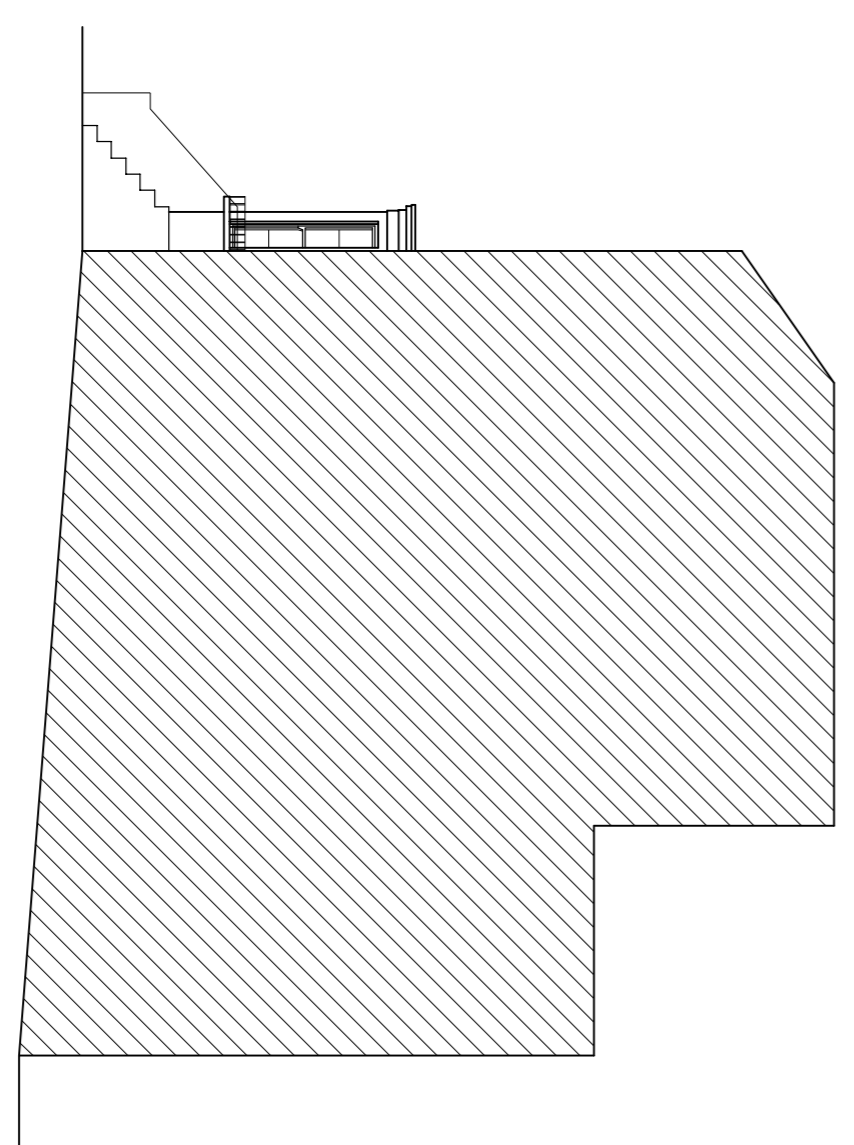
EXISTING FRONT ELEVATION  
Scale 1:100



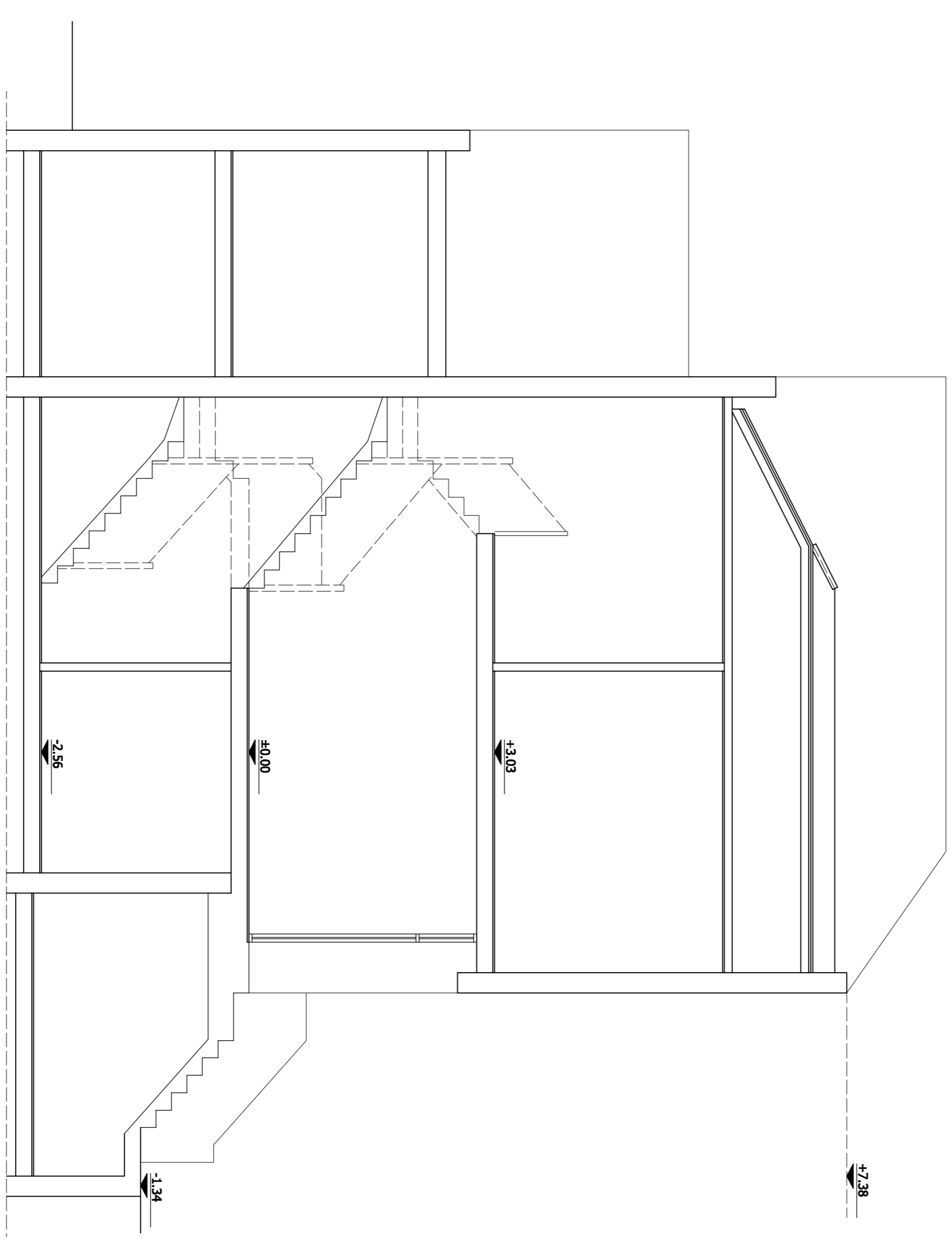
EXISTING REAR ELEVATION  
Scale 1:100



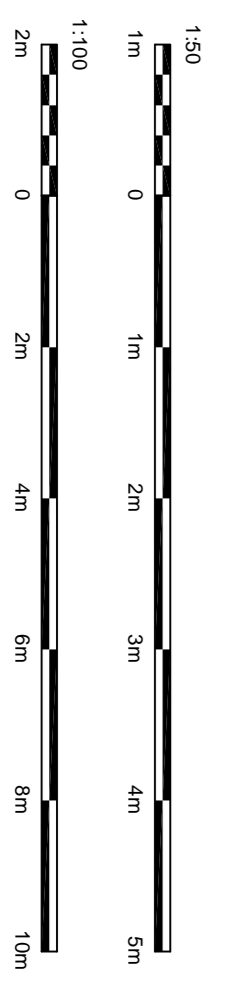
EXISTING SIDE ELEVATION  
Scale 1:100



EXISTING AdJ. SIDE ELEVATION  
Scale 1:100



EXISTING SECTION  
Scale 1:50



<b>DRAWING STATUS</b>	<b>PLANNING</b>
FOR PLANNING AND BUILDING CONTROL APPROVAL ONLY FOR CONSTRUCTION	
Architectural Design Studio T: 0116 273 3381 F: 0116 273 3382 www.architecturaldesignstudio.com	
<b>GENERAL NOTES</b>	1. All work shall be carried out in accordance with the Building Regulations and all work shall be carried out in accordance with the Building Regulations and all work shall be carried out in accordance with the Building Regulations.
<b>GENERAL NOTES</b>	2. The client is responsible for ensuring that the building is suitable for its intended use and that all work is carried out in accordance with the Building Regulations.
<b>GENERAL NOTES</b>	3. The client is responsible for ensuring that the building is suitable for its intended use and that all work is carried out in accordance with the Building Regulations.
<b>GENERAL NOTES</b>	4. The client is responsible for ensuring that the building is suitable for its intended use and that all work is carried out in accordance with the Building Regulations.
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<b>GENERAL NOTES</b>	9. The client is responsible for ensuring that the building is suitable for its intended use and that all work is carried out in accordance with the Building Regulations.
<b>GENERAL NOTES</b>	10. The client is responsible for ensuring that the building is suitable for its intended use and that all work is carried out in accordance with the Building Regulations.
<b>SITE ADDRESS</b>	168 LEIGHTON ROAD, LONDON, NW5 2RE
<b>DRAWING TITLE</b>	EXISTING DRAWINGS - IRL CONVERSION
<b>DRAWING NUMBER</b>	DPL_01
<b>SCALE</b>	AS SHOWN
<b>REVISION</b>	HEAD OFFICE
<b>DATE</b>	20 JUNE 2024