



2406 - 5 Cannon Place Design & Access Statement

INCLUDING Heritage Statement Fire Safety Statement

Reference

240520-REP-002 Design and Access Statement & Heritage
Impact Assessment

Date 15/06/2024

Notes

P01 - Issued for Planning



2406 - 5 Cannon Place
Design & Access Statement

INCLUDING
Heritage Statement
Fire Safety Statement

Reference
240520-REP-002 Design and Access Statement & Heritage Impact Assessment
Date 15/06/2024
Notes
P01 - Issued for Planning

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DRAWING ISSUE RECORD

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1.0 Executive Summary

Executive Summary

This Design and Access Statement accompanies a householder application at 5 Cannon Place, NW3 1EH, and should be read in conjunction with the drawings listed adjacent.

We consider the architectural context of the site, local planning policy, structural requirements and the design proposal itself.

This application seeks approval for the following works:

Formation of new rear 2FL window

Formation of new LGF front window

Lowering of existing LGF front window to form new patio door opening.



2.0 Practice Profile

Practice Profile

Fraher and Findlay is an award winning design-led architectural partnership established in early 2009. We deliver creative, yet accessible designs, always drawing from a project's unique relationship to its history and context anchoring it into the built and natural environment. We don't apply preconceived stylistic responses to our projects; instead we react to the brief, context and integrated/hidden narrative of the client.

Our design strategy assesses each project as a unique architectural response, introducing experiential spaces as opposed to spaces based on theories. Through this approach we believe that space, whether private or public, can be individual, dynamic and beautiful.



Extension to a locally listed building in Richmond



Extension to a Grade II listed building in Islington



Extension and alterations to Segal House, Lewisham



3 Cannon Place

5 Cannon Place



3.0 Existing Building Conditions

3.1 Site, Location and Context

Site

5 Cannon Place is a four-storey detached late Victorian brick house forming a pair of detached buildings. The site sits in the hill on the North side of Cannon Place.

The property is in the Hampstead Conservation Area (Christ Church/Well Walk sub-area) and is subject to Article 4 directions. The property is not listed.

Front elevation at Lower Ground Floor level is screened by the high existing boundary wall



3.0 Existing Building Conditions

3.2 Existing Building

Existing Building

5 Cannon Place is a detached house of four stories, with two-storey double bays to the front elevations, topped by small balconies.

Walls are faced in London stock brick with corners and lintels picked out in red brick with roughcast stucco detailing to bays To the rear key stones and door surrounds have more detail.

The twin dual pitched roofs are finished in plain clay tiles. The relatively high boundary walls are yellow brick between red brick piers.

The lower ground floor accommodation is a generally single aspect semibasement effectively due to the ground levels.

The main entrance is on the upper ground floor level, accessed from a canopied external stair to the side of the building. There is a a separate entrance underneath the main entrance stair for the lower ground floor.

The side alley runs to the brick retaining wall of the rear garden, top of which is some 3.5m up from street level.

There is no external access between the street level front garden

The Main entrance floor consists of kitchen , two sitting rooms and a cloakroom, 1-2Fl have three bedrooms per floor and bathrooms.

Lower Ground floor has a self contained apartment a Room + Box room, Kitchen and bathroom + storage.

The existing windows are a mixture of single and double glazed timber framed windows

Existing Material Palette:

- Plain clay tile Roof
- London Stock Brick with Terracotta brick detail
- Timber framed windows, white



Aerial View of 5 Cannon Place



Aerial View of 5 Cannon Place



Street View of 5 Cannon Place. 23

New windows to match existing in 3 Cannon Place



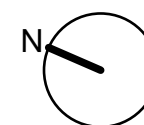
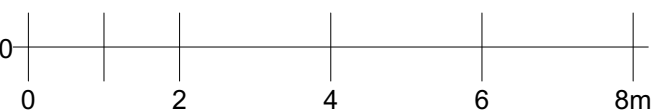
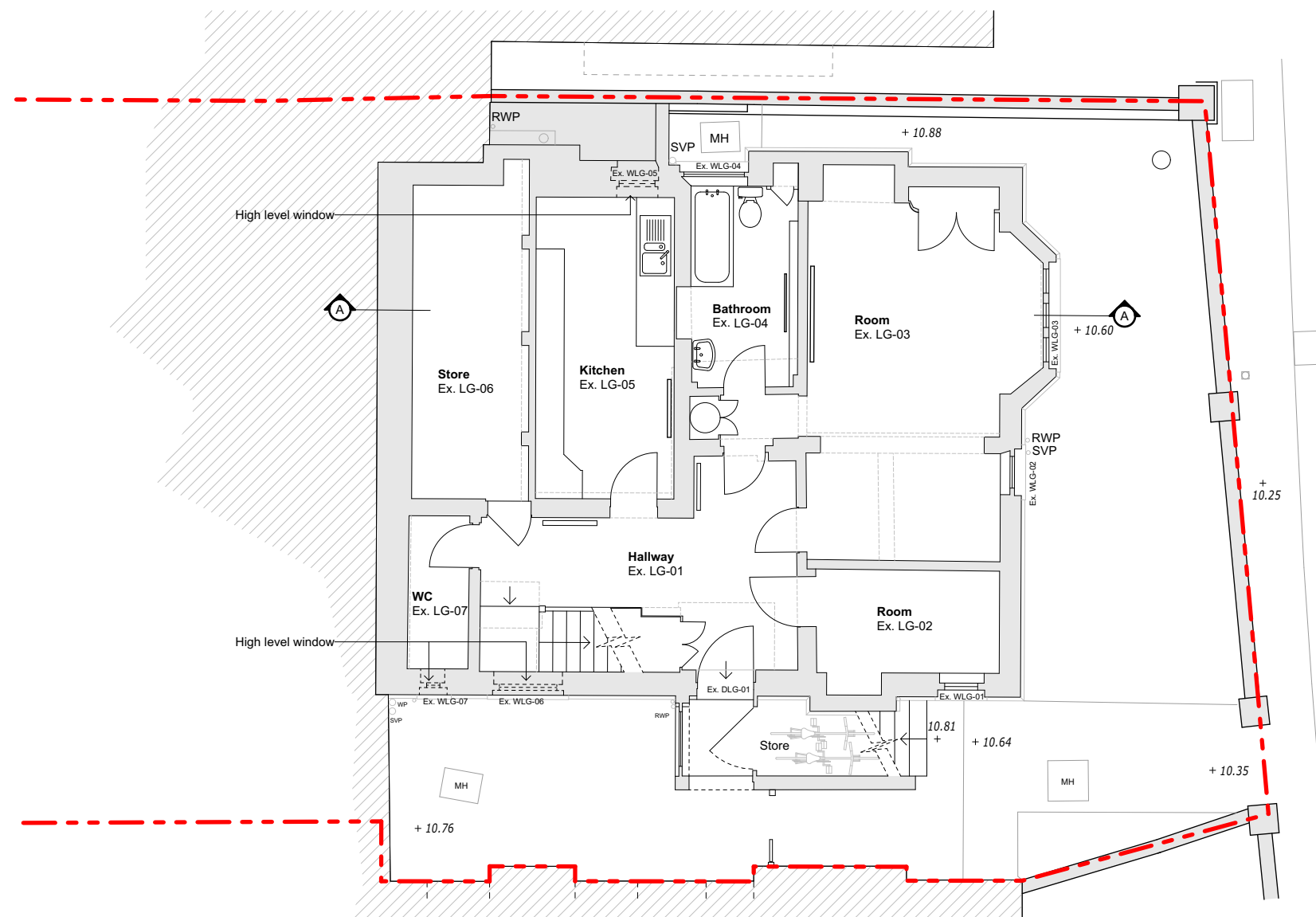
Rear View of 5 Cannon Place

New window to match existing in 3 Cannon Place

3.0 Existing Building

3.3 Existing Drawings

The following pages document the existing plans, elevations and sections of the building.



Notes


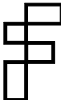
1 All dimensions and levels are to be determined and or checked by the contractor on site. should any discrepancy be identified between the dimensions, and or details determined on site, and those shown those shown on the relevant drawings, the architect shall be notified immediately, and their instructions obtained prior to the commencement of the work.

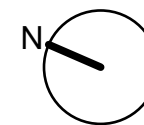
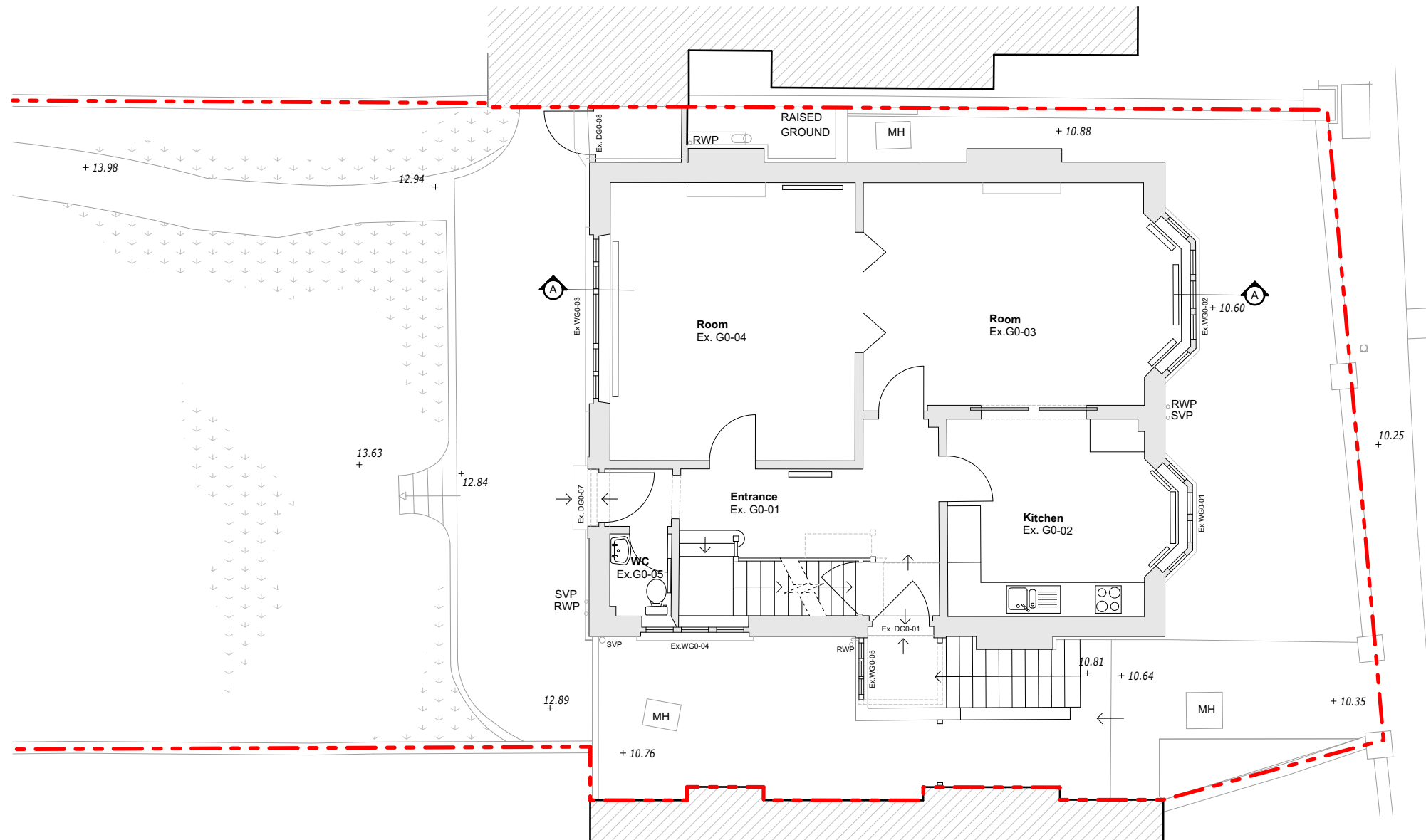
2 The contractor shall be responsible for the design and implementation of all temporary works, and the safety and stability of the new works and adjacent structures during construction.

3 Where a product is specified to be obtained from a manufacturer or supplier, the contractor shall install the product in accordance with the instructions supplied by the manufacturer. Should there be any variation between the work specified on the drawings and the manufacturers instructions, the contractor shall refer the matter to the architect for instruction before proceeding.

4. If there are any discrepancies between architectural and any consultant information, the design team must be notified immediately. structural information takes precedence.

P02	10.06.2024	Issued For Information
P01	16.05.2024	First Issue
Revisions		

Project			FF24-006		
Client			Dan + Sophie		
Location			5 Cannon Place, London NW3 1EH		
			 Fraher & Findlay		
Fraher and Findlay Unit 3, Mercy Terrace Ladywell Rd London SE13 7UX www.fraherandfindlay.com +44 (0)20 8314 5221					
Title			Existing Lower Ground Floor Plan		
Status		Planning		Scale 1:100@A3	
Drawn	JK	Checked	MJ	Authorised	EF
Revision	P02	Date	16.05.2024 ⁹		
FF24006-PL-003					



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Do not scale from this drawing. All dimensions to be checked on site. Any discrepancies shall be immediately notified to the Architect in writing.



Notes


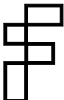
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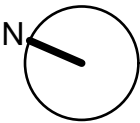
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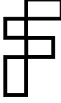
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Fraher and Findlay Unit 3, Mercy Terrace Ladywell Rd London SE13 7UX www.fraherandfindlay.com +44 (0)20 8314 5221		 Fraher & Findlay	
Title	Existing Upper Ground Floor Plan		
Status	Planning		Scale 1:100@A3
Drawn	JK	Checked	MJ
Authorised	EF		10
Revision	P02		Date 16.05.2024
FF24006-PL-004			



Project	FF24-006		
Client	Dan + Sophie		
Location	3 Cannon Place, London NW3 1EH		
			
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Title	Existing Roof Plan		
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Drawn	JK	Checked MJ	Authorised EF
Revision	P02	Date	16.05.2024
FF24006-PL-006			




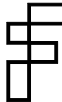
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P01	16.05.2024	First Issue
Revisions		

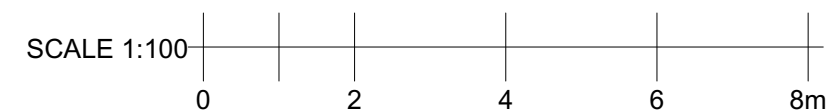
Project	FF24-006
Client	Dan + Sophie
Location	5 Cannon Place, London NW3 1EH





P02	10.06.2024	Issued For Information
P01	16.05.2024	First Issue
Revisions		

Project	FF24-006		
Client	Dan + Sophie		
Location	5 Cannon Place, London NW3 1EH		
			
Fraher and Findlay Unit 3, Mercy Terrace Ladywell Rd London SE13 7UX www.fraherandfindlay.com +44 (0)20 8314 5221		 Fraher & Findlay	
Title	Existing Rear Elevation		
Status	Planning		Scale 1:100@A3
Drawn	JK	Checked MJ	Authorised EF
Revision	P02	Date	16.05.2024 ¹⁴
FF24006-PL-009			



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Fraher and Findlay Unit 3, Mercy Terrace Ladywell Rd London SE13 7UX www.fraherandfindlay.com +44 (0)20 8314 5221		 Fraher & Findlay	
Title	Existing Side Elevations		
Status	Planning		Scale 1:100@A3
Drawn	JK	Checked MJ	Authorised EF
Revision	P02		Date 16.05.2024
FF24006-PL-010			



A horizontal number line is shown with tick marks at 0, 2, 4, 6, and 8m. A point is marked at 1m.



Existing Street elevation



Proposed Street elevation



Existing Rear elevation

Proposed Rear elevation

Approach

The proposed fenestration changes are to the Lower Ground Floor level to the front and Second Floor level to the rear.

The right hand side front window at lower ground floor level is proposed to be replaced by double doors (French doors) by lowering the existing sill level and a small new window is also proposed to the front to the left of the existing left hand bay provide better light to the room behind. The new window will match an existing one next to it.

To the rear a small new casement window is proposed to the 2FL rear bedroom. The windows on the top floor have a very high sill level and the additional window will improve the daylighting to the rear bedroom.

New window openings are proposed to have decorative lintels faced in red brick to match the existing openings. Where making good will be required to existing brick work, 'new' bricks would be reclaimed and would match the existing.

New windows / doors would be styled and timber framed to match the existing.

This proposed arrangement would mirror that at the neighbouring property no.3 Cannon Place. The changes to the front are largely screened by the existing brick boundary wall and would have minimal impact to the general street scape and the wider conservation area.

4.0 Proposal

4.1 Design Approach

Extent of application site:	465m2
Existing building GIA:	326m2
Proposed building GIA:	326m2

Sustainability

All new windows and doors are proposed to be timber framed units glazed to exceed the current Part L requirements. The style and layout will match existing.

Landscape and Trees

The proposed works will not affect any mature trees or shrubs.

Neighbouring Amenity & Overlook

No impact on the neighbouring amenity. The proposed alterations have no impact to existing situation in regards of the amenity and overlooking.

Waste Management

No change to the existing waste management arrangements.

Traffic Impact

No Change.

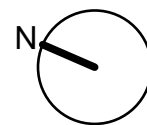
Proposed Material Palette:

Plain clay tile Roof
London Stock Brick with Terracotta brick detail
Timber framed windows, white


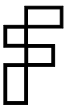
4.0 Proposals

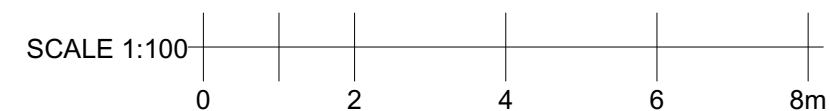
4.2 Proposed Drawings

The following pages document the proposed plans, elevations and sections of the building.

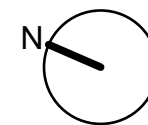


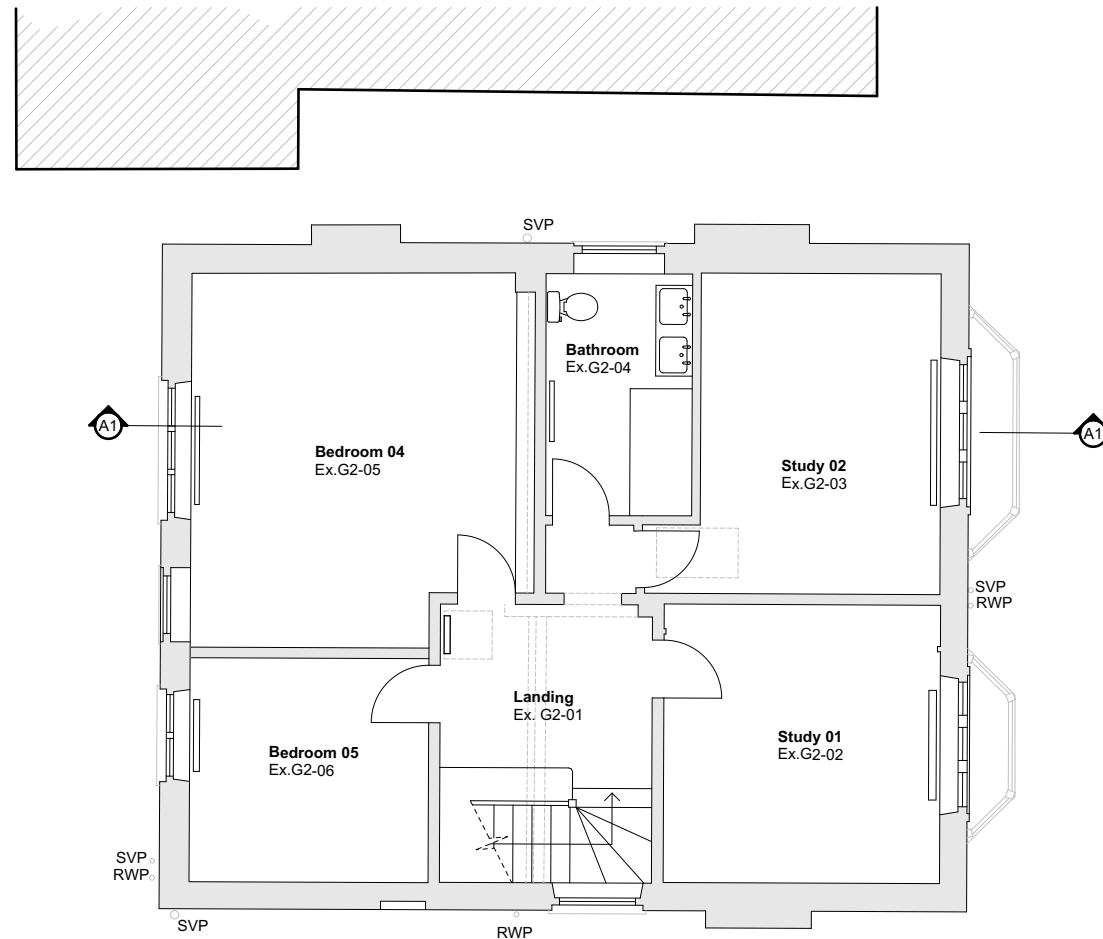
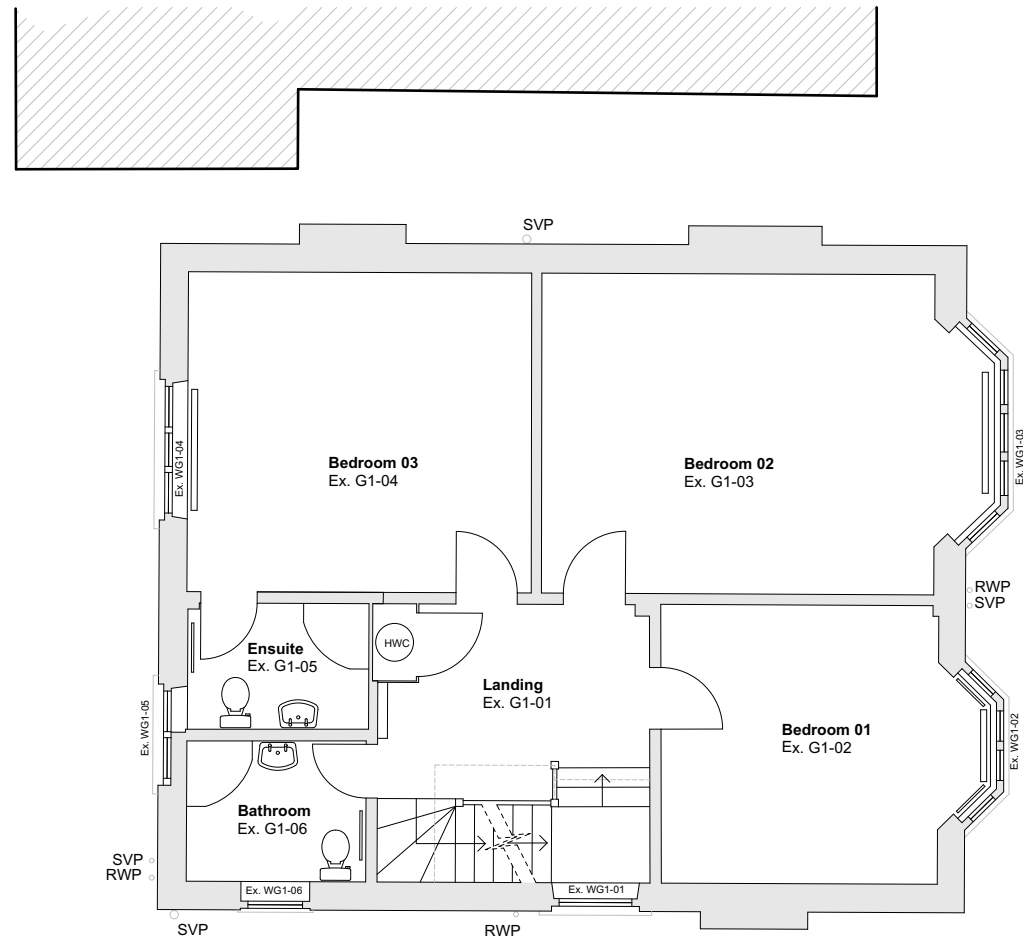
P01	10.06.2024	Issued For Information
Revisions		

Project				FF24-006			
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Fraher and Findlay Unit 3, Mercy Terrace Ladywell Rd London SE13 7UX www.fraherandfindlay.com +44 (0)20 8314 5221				 Fraher & Findlay			
Title PL-012a Proposed Site Plan							
Status Planning				Scale 1:200@A3			
Drawn JK		Checked MJ		Authorised EF		19	
Revision P01				Date 10/06/24			
FF24006-PL-012a							



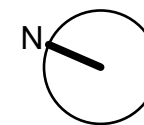
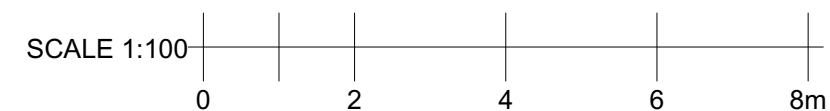
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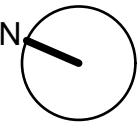



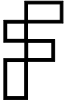


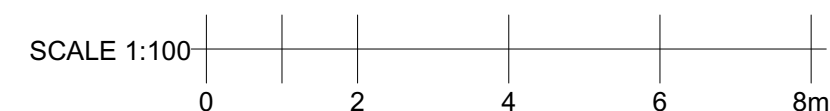
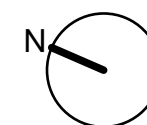
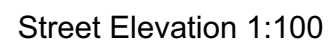
First Floor Plan 1:100

Second Floor Plan 1:100





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Fraher and Findlay Unit 3, Mercy Terrace Ladywell Rd London SE13 7UX www.fraherandfindlay.com +44 (0)20 8314 5221		 Fraher & Findlay	
Title	PL-016a Proposed Roof Plan		
Status	Planning		Scale 1:100@A3
Drawn	JK	Checked MJ	Authorised EF
Revision	P01	Date	10/06/2024
FF24006-PL-016a			







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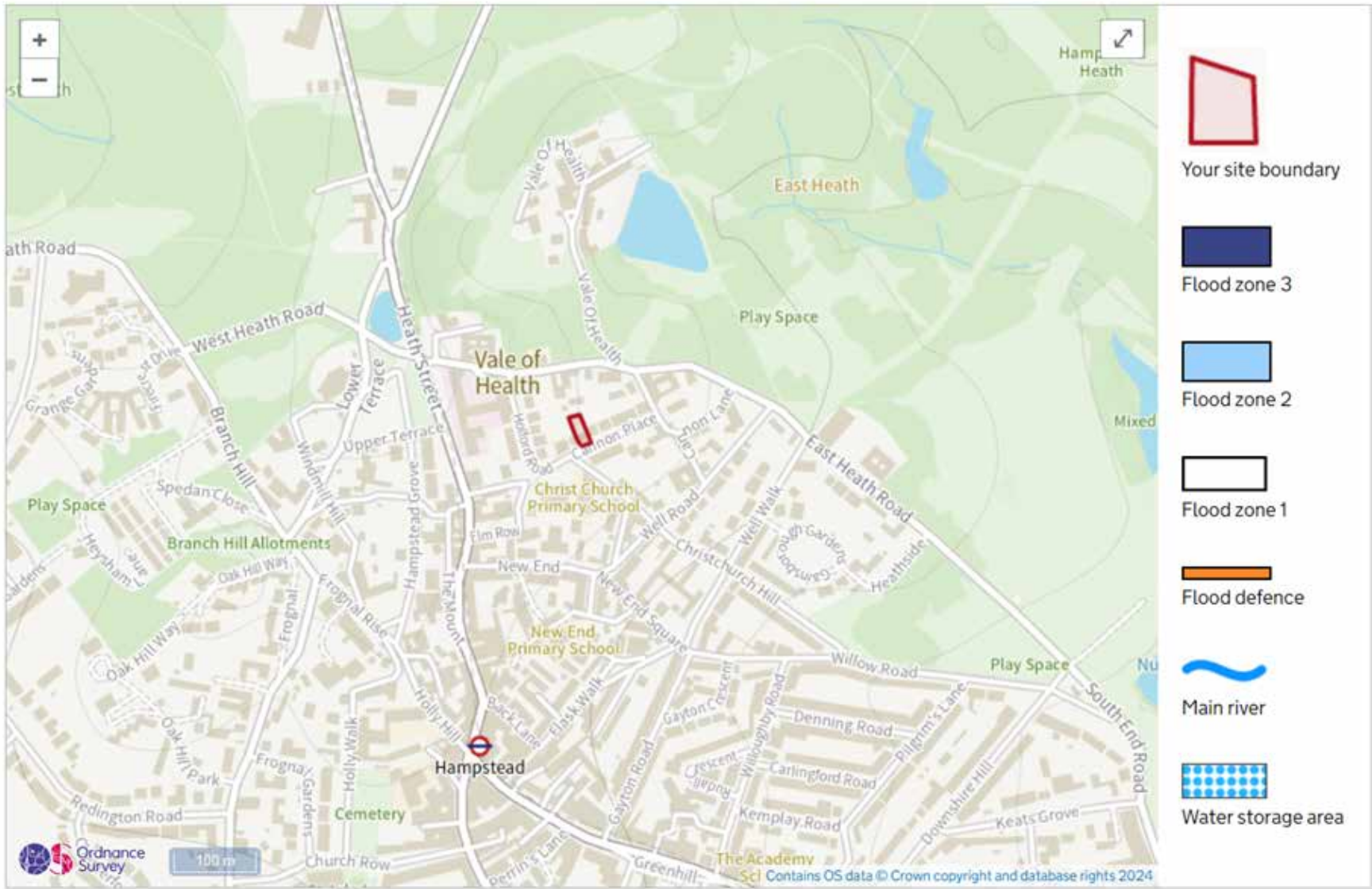
Revisions

FF24006-PL-021

5.0 Planning Context
5.1 Flood Risk Analysis

5 Cannon Place is in Flood Zone 1.

No further action required



5.0 Planning Context

5.2 Fire Statement

Reasonable Exception Statement

The following statement provides justification to the exception of London Plan Policy D12(A), for the proposed works to 14 Mycenae Road.

Policy D12 of the London Plan requires development proposals to achieve the highest standards of fire safety, and to include suitable outside space for fire appliances and assembly points, alarm systems, measures to reduce the spread of fire, means of escape, an evacuation strategy, and suitable access and equipment for fire fighting.

The proposal does not provide any additional habitable rooms on the top floor, nor alter the circulation and escape routes. The current fire safety measures are appropriate and will not be adversely affected by the development.

The proposals fully comply with the Approved Document B (Fire safety) – Volume 1: Dwellings (2019 edition) at Planning stage.

This document is prepared for Planning Submission only. All construction proposals will require to be approved by a registered Building Control certifier prior to starting on site, in order to ensure full compatibility with Building Control.

Access to the property for fire fighting purposes and means of escape will remain unchanged.

Detailed consideration of materials, smoke alarms, evacuation strategy and openable windows will be carried out under the Building Regulations.

5.0 Planning Context

5.3 Policy Context

Assessment of Planning History and Context

Conservation Area: Yes

Listed Building: No

Relevant Planning History

2023/0313/P WITHDRAWN

Recommended for approval by Planning Committee
subject to S106 Legal Agreement

Planning policy

National Planning Policy Framework (NPPF)

Development Plan Context:

National Planning Policy Framework (Feb 2019)

Chapter 12: Achieving well-designed places

Chapter 16: Conserving and enhancing the historic environment

Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

The London Plan: Spatial Development Strategy for London (March 2016)

Policy D3 Optimising site capacity through the design-led approach

Policy HC1 Heritage conservation and growth

Camden’s Local Plan 2017

A1 Managing the impact of development

C1 Health and Wellbeing

D1 Design

D2 Heritage

Hampstead Neighbourhood Plan 2018-2033

Policy DH1 (Design)

Policy DH2 (Conservation Areas and Listed Buildings)

Supplementary Planning Guidance

CGP1 – Design

CPG6 -Amenity

CC1-Climate Change Mitigation

This chapter describes the impact of the proposed development on the setting, character and appearance of relevant heritage assets, and it assesses whether there is any resultant harm to heritage significance.

Context

5 Cannon Place is in the Hampstead Conservation Area Christ Church/Well Walk sub-area) and is subject to Article 4 directions. The property is not listed.

The Conservation Area was first designated in 1968 and extended a number of times since with the last extension in 1991. The Area sits on the hills that extend across this part of north London from Finchley Road to Highgate.

The conservation area is diverse, from the dense cluster of streets and alleyways around the High Street to the grid of the Willoughby Road area; to the expansive open spaces of Oakhill. The diverse nature of which is set against the backdrop of Hampstead Heath.

The Hampstead Conservation Area Statement (HCAS) was adopted in 2001. For the purposes of the statement, the conservation area has been divided into eight Sub-Areas. Cannon Place falls within Sub-Area 2 (Christ Church/Well Walk).

Existing Building

The development which created Cannon Place started with the building of Cannon Hall in the early 18th century, followed by Cannon Lodge and Christ Church Vicarage later in that period. No.s 2-8 were built in the mid-19th Century. The houses along the north side, including No 5, were built in the late-19th century (1880s).

No. 3 and 5 Cannon are distinct in terms of form and design.

Each is a detached house of four stories, with two-storey double bays to the front elevations, topped by small balconies. Walls are faced in London stock brick with corners and lintels picked out in red brick.

To the rear key stones and door surrounds have more detail. The twin dual pitched roofs are finished in plain clay tiles. The relatively high boundary walls are yellow brick between red brick piers.

Both No 3 and 5 are noted as making a positive contribution to the CA.

No. 3 has a prominent mature beech tree in the front garden which has clearly necessitated the rebuilding of a section of garden wall. The original windows below the right side bay to No. 3 have been replaced with French doors and a new window created to the left side of the projecting bay.

Notably, the Egyptologist Sir Flinders Petrie lived at No. 5 Cannon Place (there is a blue plaque on the front elevation).

5.0 Planning Context
5.4 Heritage Impact Assessment

Proposals

The proposed fenestration changes are to the LGF level to the front and 2FL level to the rear.

The largest front window at lower ground floor level is proposed to be replaced by double doors (French doors) by lowering the existing sill level and a small new window is also proposed to the front to the left of the existing left hand bay provide better light to the room behind. The new window will match an existing one next to it.

To the rear a small new casement window is proposed to the 2FL rear bedroom. The windows on the top floor have a very high sill level ad the additional window will improve the daylighting to the rear.

New window openings are proposed to have decorative lintels faced in red brick to match the existing openings. Where making good would be required to existing brick work, ‘new’ bricks would be reclaimed and would match the existing.

New windows / doors would be styled and timber framed to match the existing.

The front fenestration changes were recommended for approval by planning committee as part the previously withdrawn application 2023/0313/P.

This proposed arrangement would mirror that at the neighbouring property no.3 Cannon Place. The changes to the front are largely screened by the existing brick boundary wall and would have minimal impact to the general street scape and the wider conservation area.

6.0 Summary

The evidence enclosed in this design and access statement supports the proposals:

- The proposals are sensitive in their nature and are sympathetic in form, scale, materials and architectural details to the existing building.
- The design proposals are respectful of the nature of the setting and the existing qualities of the site and would preserve the character and appearance of the conservation area
- There will be no detrimental impact on the character and setting of the existing building, to the neighbouring properties or to the wider area.
- The proposed development is sustainable.
- The proposals comply with national and local policies and best practice guidelines.

In light of the above we seek approval for the proposed fenestration changes.