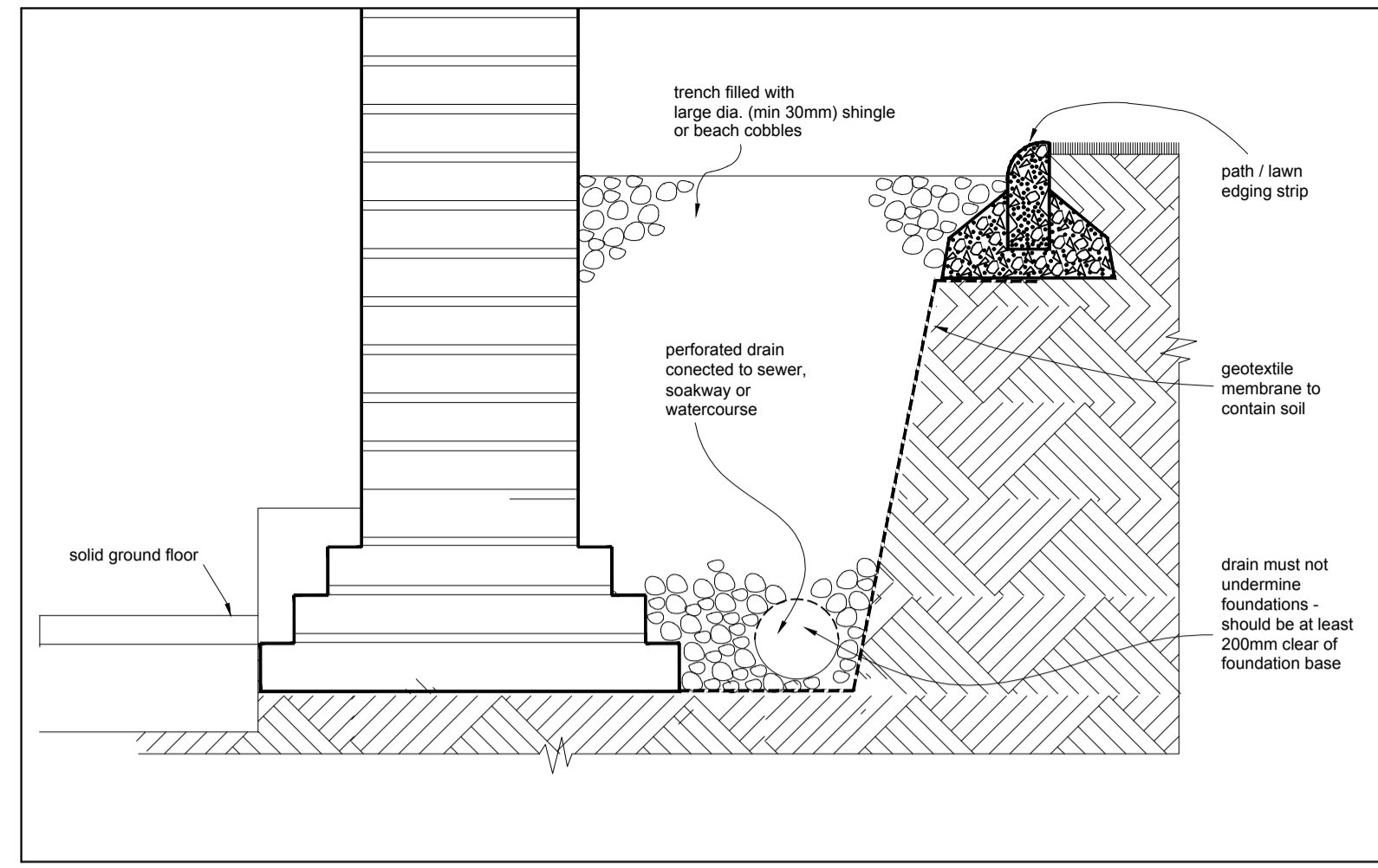


External walls: The external walls were not inspected in detail. At the rear elevation, the walls were generally of similar construction to the front elevation. To the bay window, the walls below ground level had been applied with a vertical course of slate. This was cracked and spalled in areas. This was not acting effectively as a barrier to dampness, however, would reduce the dampness penetrating into the walls. Given the relative flexibility and capacity for movement of the walls, a more rigid material was bound to crack. Given the perched water table rainwater and likely build up of water within the earth against the bay, moisture was always likely to penetrate into the property

The slate could be retained. It will be providing some protection against groundwater and acting as a type A tanking system albeit with defects, allowing moisture to trickle rather than freely flow through. This would require additional protection internally in the form of a CDM system as mentioned later within the report

To the east there was an excavated trench around the bay window. H+R were informed that this was to be backfilled. Some signs of a retrofit injected DPC were observed. It should be noted that these are rarely effective, as was certainly the case with the building given masonry samples were saturated above DPC level

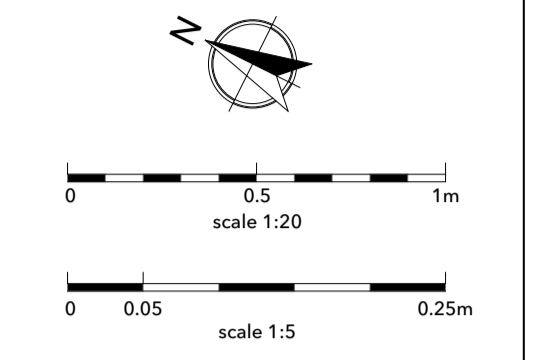
All areas where external ground levels are above internal ground levels and finished floor levels are intended to remain that way would be deemed below ground structures and would require protection in line with BS8102: 2022. No injected DPCs are required. An air drain could be installed within the trench around the bay window. An alternative could be a French drain, although these tend to get blocked by silt and therefore should comprise of a perforated pipe, geotextile membrane and inspection chambers



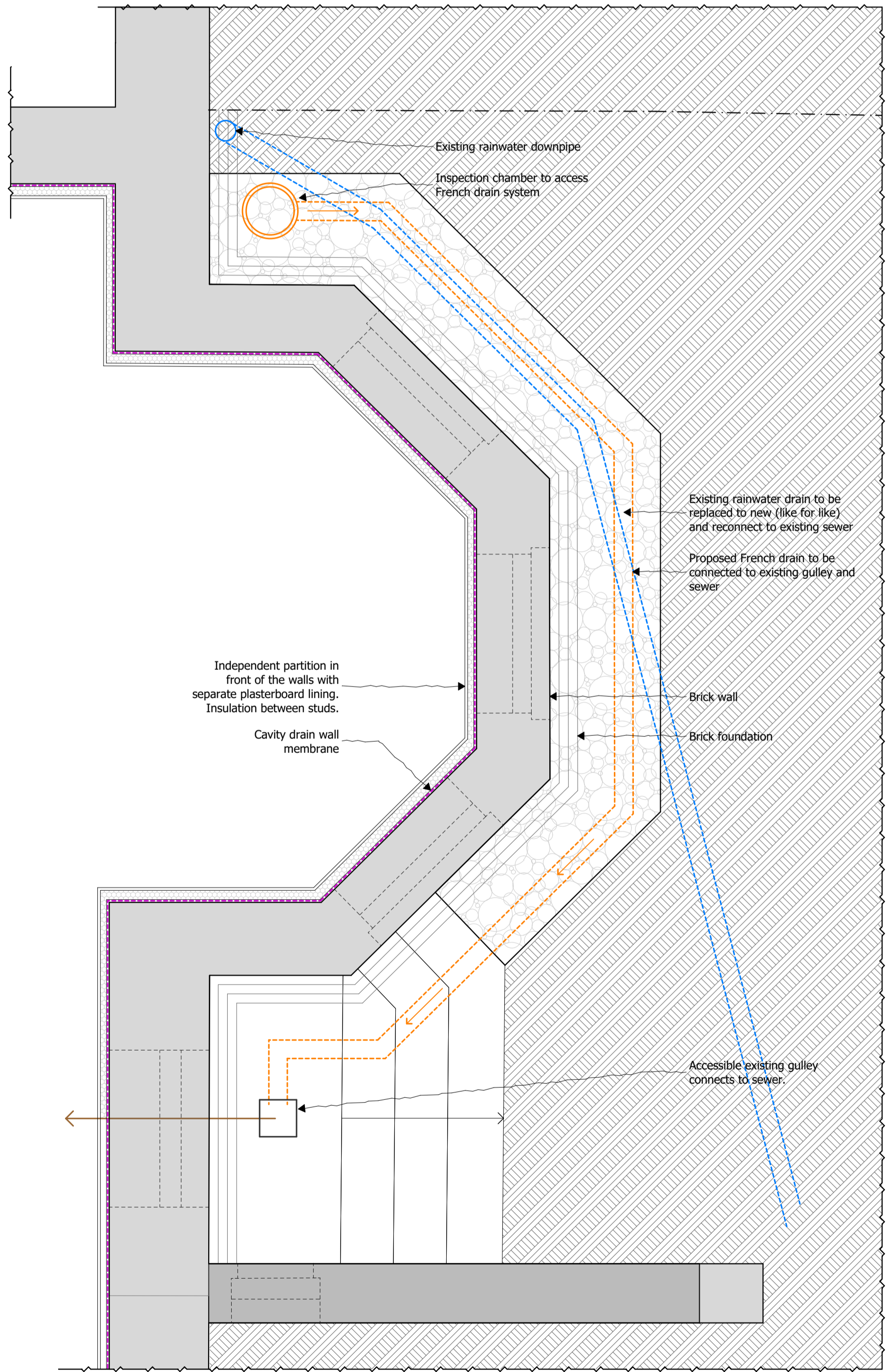
H+R French drain
 General detail for adaption to use
 September 2010 - Indicative Only - Not for Construction
 Hutton + Rostron Environmental Investigations Ltd, Nettle House, Gomshall, Surrey, GU15 9QA
 Tel: 01483 203221 Fax: 01483 202911 Standard Details | Ground © Copyright Hutton+Rostron, 2019

NOT TO SCALE
 SD-401E

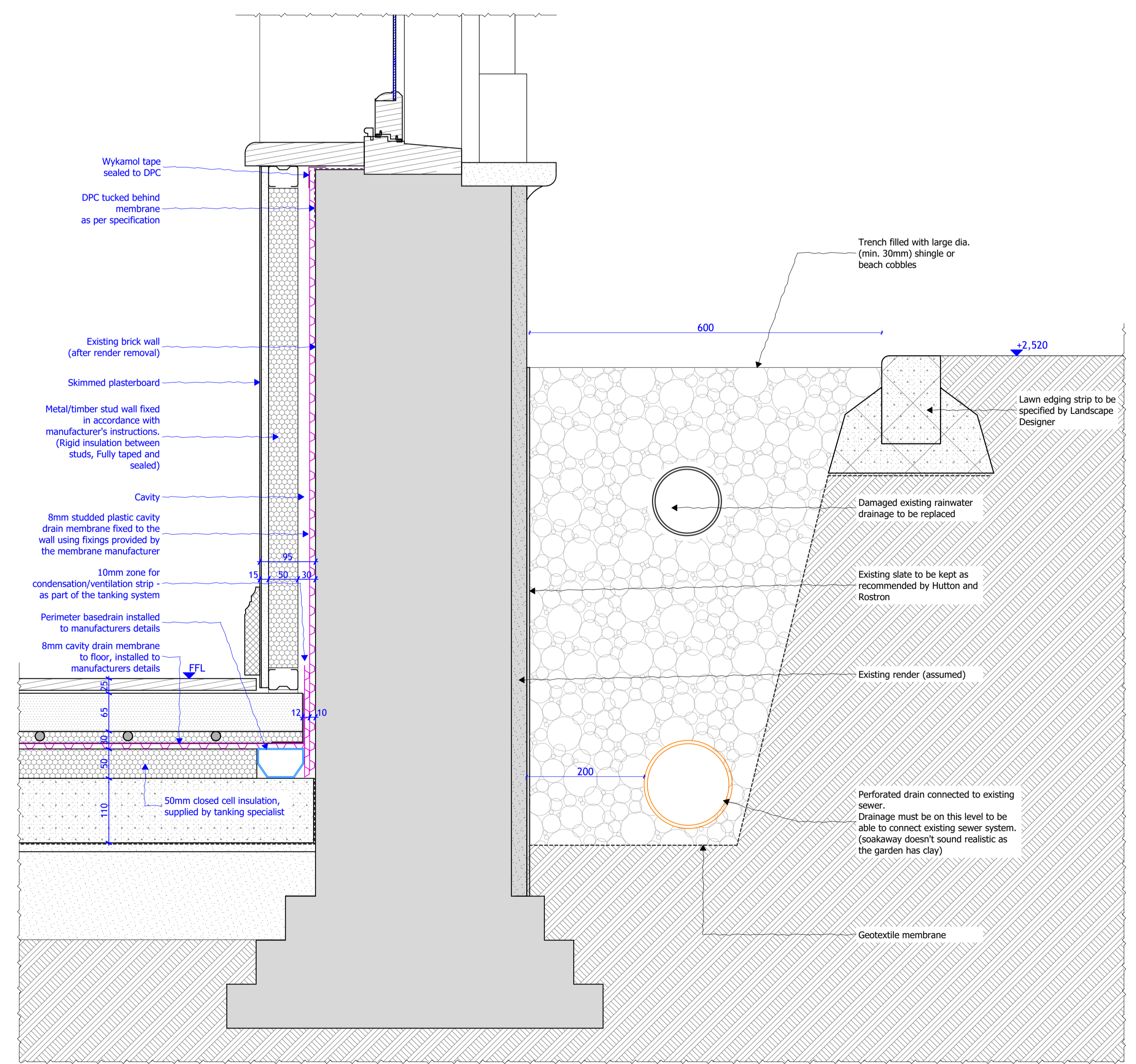
This drawing is not to be scaled for construction purposes. All dimensions are to be checked on site before any work is put in hand.
 If in doubt, ask.
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1 Typical Detail



2 Trench Detail with French Drain - Plan



3 Trench Detail with French Drain - Section

Rev.	Date	Description
LBC01	18.05.2024	Listed Building Consent
project 131_9 Wedderburn Road		
site address 9 Wedderburn Road London NW3 5QS		
client Private Client		
drawing title Bay Window Section Detail		
project number_drawing number_revision 131_408_LBC01		
date 18.05.2024		
designed / drawn by 4H Architecture 0751572458 info@4harchitecture.co.uk		
scale		