

1.0 Executive Summary

1.1 Summary of Costs

The total current day costs excl. professional fees according to Feasibility Estimate Nr 01 is £8,767,000 (£123/ft² GIA). For the detailed breakdown of the below please refer to Appendix A.

This cost includes a design development contingency @ 10% or £797,000.

Ref	Description	NIA (m ²)	GIA (m ²)	Cost (£)	£/ft ² (GIA)
1.0	Strip Out & Demolition Works	4,568	6,600	£415,000	£6
2.0	Shell & Core	4,568	6,600	£4,295,000	£60
3.0	CAT A Works - Full Replacement	4,568	6,600	£2,165,000	£30
4.0	Incoming Services	4,568	6,600	£25,000	£0
5.0	Sub Total	4,568	6,600	£6,900,000	£97
6.0	Main Contractor Preliminaries @ 10%	4,568	6,600	£690,000	£10
7.0	Main Contractor Overheads & Profit @ 5%	4,568	6,600	£380,000	£5
8.0	Design Development Contingency @ 10%	4,568	6,600	£797,000	£11
9.0	Total Current Day Costs	4,568	6,600	£8,767,000	£123

1.2 Basis of Estimate

- The estimate is based upon the information listed in Section 2.1.

1.3 Assumptions / Exclusions

- A list of assumptions and exclusions are included within Sections 2.2 and 3.0.

1.4 Benchmarking

- Please refer to Appendix C for commercial benchmarking which generally aligns with the scheme proposed at 151 Shaftesbury Avenue.

2.0 Basis and Assumptions

This estimate is based upon the following information:

2.1 Basis

- 1232-EX-Existing Plans-220429
- 1232-Areas schedule-Existing-220425

2.2 Assumptions

- 1 Generally as stated within the estimate.
- 2 No works to the existing foundations, frame or upper floors.
- 3 It is assumed a single stage route will be utilised. No allowances are contained within the estimate for Pre-construction services, should a two stage tender route be incorporated.
- 4 All works will be completed within normal working hours.
- 5 The works will be procured and constructed in sequence, without any onerous phasing requirements.
- 6 On-costs and mark-ups are based upon current market conditions, as follows:
 - Main Contractor Preliminaries: 10%
 - Main Contractor OH&P: 5%
 - Design Development Contingency: 10%
- 7 No works to the existing external walls.
- 8 No allowances have been made to refurbish the reception, we have allowed a deep clean and paint only.
- 9 No allowances have been made for carpet tiles to the CAT A space.
- 10 No requirements for scaffolding.
- 11 Works in accordance with the Right of Light Act.
- 12 We have assumed 1 cleaners cupboards to LGF, GF, L1, L2 & L7.
- 13 Building costs have been established by utilising benchmark data from comparable projects. Data utilised assumes a mid to upper range specification for serviced office.
- 14 We have not allowed for any external works (hard and soft landscaping, works to roof etc.).
- 15 We have allowed for a new MEP system throughout; assumes mechanical VRF system.
- 16 We have allowed for new WC facilities; works to GF, L1, L2 & L7.
- 17 We have allowed to only clean and paint WC's to L3, L4, L5 & L6.

3.0 Exclusions

The following exclusions have been made in preparing this feasibility estimate and the Client will need to make/consider separate budget provisions as necessary for these items below:

	Assume not required	Required	May be required
1 Finance charges.		✓	
2 Capital Allowances adjustment.			✓
3 Site acquisition and associated costs including all legal fees, and agent's commissions and other costs.		✓	
4 Professional Fees and Expenses.			✓
5 Planning application fees.		✓	
6 Settlements and Fees in respect of rights exercised by adjoining owners (Rights of Light, Party Wall Awards etc.).		✓	
7 Site Investigations and Surveys.		✓	
8 VAT.		✓	
9 Marketing suite, marketing costs, brochures etc.			✓
10 Developers risk allowance/overall project contingency.		✓	
11 Public Art.	✓		
12 Contamination / Asbestos removal.			✓
13 Capital contributions.	✓		
14 Archaeology investigations and monitoring.	✓		
15 Services diversions or reinforcement works associated with utilities.	✓		
16 Traffic impact assessments costs.	✓		
17 Offsite highway improvements / S278 works.	✓		
18 Works associated with Section 106 and 278 agreements / contributions.	✓		
19 Flood alleviation measures.	✓		
20 Abnormal ground conditions.	✓		
21 Any works associated with remediation/contaminated ground.			✓
22 Pre-construction services fees or any costs associated with tendering.	✓		
23 BREEAM fees and associated costs to achieve any certificate.			✓
24 Out of hours working.			✓
25 Tenant fit out costs.			✓
26 Implications due to further Covid-19 outbreak.	✓		
27 Currency fluctuations or tariff changes due to Brexit.	✓		
28 Reception turnstiles.	✓		
29 Works to existing lift shafts.	✓		
30 Floor finishes to CAT A office space.			✓
31 Works to the existing frame and foundations.	✓		
32 Inflation beyond current day.			✓
33 RLAM sustainability allowance has been excluded.			✓
34 Works to the existing upper floors.	✓		
35 Works to the existing roof.	✓		
36 Works to the existing stairs.	✓		
37 Works to the existing external walls, windows and doors.	✓		
38 Works to the existing internal walls and partitions.	✓		
39 Any associated fixtures, fittings and equipment.	✓		

Appendix A Cost Breakdown

Strip Out / Demolition & Enabling Works

	m²	ft²
Existing NIA	4,568	49,171
Existing GIA	6,600	71,044

Ref	Description	Qty	Unit	Rate £	Total £	£/ft ² GIA
1.0 Strip Out / Demolition & Enabling Works						
1.1	Allowance for asbestos survey	1	item	10,000	£10,000	0.14
1.2	Allowance for asbestos removal	1	item	Excl.	Excl.	Excl.
1.3	Allowance to strip-out internally back to shell	6,600	m ²	50	£330,000	4.65
1.4	EO to remove basebuild plant	6,600	m ²	6	£39,600	0.56
1.5	Install temporary lighting - festoon or similar	1	item	10,000	£10,000	0.14
1.6	Install temporary fire detection and alarm	1	item	20,000	£20,000	0.28
1.7	CCTV survey of existing drainage	1	item	5,000	£5,000	0.07
Strip Out / Demolition & Enabling Works Total					£415,000	5.84

Shell & Core

	m ²	ft ²
Existing NIA	4,568	49,171
Existing GIA	6,600	71,044

Ref	Description	Qty	Unit	Rate £	Total £	£/ft ² GIA
1.0	Superstructure					
2.0	Internal Doors					
2.1	Allowance for new internal doors to CAT A office space	16	nr	3,250	£52,000	0.73
	Internal Doors Total				£52,000	0.73
3.0	Internal Finishes					
4.0	Wall Finishes					
4.1	Emulsion paint finish to stairs and lobbies	1,688	m ²	12	£20,256	0.29
4.2	Lift reveals; works to all levels	25	nr	3,250	£81,250	1.14
	Wall Finishes Total				£101,506	1.43
5.0	Floor Finishes					
5.1	New asphalt finish incl. white lining to car park at LGF	-	m ²	95	Excl.	Excl.
5.2	Floor finish to staircase & lobbies; carpet or similar	534	m ²	45	£24,030	0.34
5.3	Floor finish to WC's; porcelain tile or similar	-	m ²	Incl.	Incl.	Incl.
5.4	Allowance for plant on MDF skirting incl. paint	686	m	20	£13,710	0.19
	Floor Finishes Total				£37,740	0.53
6.0	Ceiling Finishes					
6.1	Allowance for minor making good and paint	534	m ²	20	£10,680	0.15
	Ceiling Finishes Total				£10,680	0.15
7.0	Reception Fit Out					
7.1	Reception fit out provision - minor repairs, clean & paint	85	m ²	250	£21,250	0.30
7.2	Allowance for loose furniture	1	item	Excl.	Excl.	Excl.
	Reception Total				£21,250	0.30
8.0	WC/Amenity Fitout					
8.1	Allowance for new WC facilities; works to GF, L1, L2 & L7	16	nr	10,000	£160,000	2.25
8.2	EO allowance for DDA facilities	8	nr	2,000	£16,000	0.23
8.3	Allowance for existing WC facilities - clean & paint; works to L3, L4, L5 & L6	36	nr	1,000	£36,000	0.51
8.4	Allowance for new shower + WC facilities - to LGF	-	nr	Excl.	Excl.	Excl.
8.5	Allowance for lockers to shower facilities	-	nr	Excl.	Excl.	Excl.
8.6	Allowance for cleaner cupboards; works to LGF, GF, L1, L2 & L7	5	p.sum	2,000	£10,000	0.14

Shell & Core

	m ²	ft ²
Existing NIA	4,568	49,171
Existing GIA	6,600	71,044

Ref	Description	Qty	Unit	Rate £	Total £	£/ft ² GIA
8.7	Allowance for cycle spaces	1	p.sum	20,000	£20,000	0.28
8.8	Allowance for new car stacker	1	p.sum	50,000	£50,000	0.70
8.9	Allowance for white box shell & core to retail unit	-	nr	Excl.	Excl.	Excl.
WC/Amenity Fitout Total					£292,000	4.11

9.0 Services

9.1	Mechanical and Electrical; new VRF system throughout	6,600	m ²	500	£3,300,000	46.45
9.2	BWIC (3%)	1	item		£99,000	1.39
9.3	Allowance for new passenger lift PL1; LGF - L7	9	flrs	15,000	£135,000	1.90
9.4	Allowance for new passenger lift PL2; GF - L7	8	flrs	15,000	£120,000	1.69
9.5	Allowance for new passenger lift PL3; GF - L7	8	flrs	15,000	£120,000	1.69
9.6	BWIC (1.5%)	1	item		£5,625	0.08

S&C Mechanical & Electrical Works Total **£3,779,625** **53.20**

Shell & Core Total **£4,295,000** **60.46**

CAT A Works

CAT A Works					m²	ft²	
					Existing NIA	4,568	49,171
					Existing GIA	6,600	71,044
Ref	Description	Qty	Unit	Rate £	Total £	£/ft² GIA	
1.0	CAT A Works - Full Replacement						
2.0	Internal Finishes						
3.0	Wall Finishes						
3.1	Make good existing wall linings	4,040	m²	20	£81,000	1.14	
3.2	Emulsion paint to internal face of external walls	4,040	m²	15	£61,000	0.86	
Wall Finishes Total					£142,000	2.00	
4.0	Floor Finishes						
4.1	Allowance for new raised access floors; works to LGF, GF, L1, L2 & L7	1,746	m²	60	£104,760	1.47	
4.2	Reuse existing floors; works to L3, L4 L6 and L7	2,822	m²	30	£84,660	1.19	
4.3	Allowance for floor cleaning / preparation	228	m²	5	£1,142	0.02	
4.4	Allowance for screed - assumed not required	4,568	m²	Excl.	Excl.	Excl.	
4.5	Allowance for plant on MDF skirting incl. paint	1,155	m	20	£23,100	0.33	
Floor Finishes Total					£213,662	3.01	
5.0	Ceiling Finishes						
5.1	Allowance for plasterboard painted margin / standard SAS ceiling tile	914	m²	70	£63,952	0.90	
5.2	Allowance for ceiling SAS plank system; assumes 600x600mm	3,654	m²	115	£420,256	5.92	
Ceiling Finishes Total					£484,208	6.82	
6.0	Fittings & Furnishings						
6.1	Allowance for escape signage to office floors	8	flrs	1,000	£8,000	0.11	
6.2	Allowance for tea point / kitchen	1	item	Excl.	Excl.	Excl.	
6.3	Allowance for blinds to office	1	item	Excl.	Excl.	Excl.	
6.4	Allowance for loose furniture to meeting rooms	1	item	Excl.	Excl.	Excl.	
Fittings & Furnishings Total					£8,000	0.11	
7.0	Mechanical and Electrical						
7.1	Mechanical and Electrical - full replacement	4,568	m²	280	£1,279,040	18.00	
7.2	BWIC (3%)	1	item		£38,371	0.54	
Services Total					£1,317,411	18.54	
CAT A Total					£2,165,000	30.47	





Incoming Services

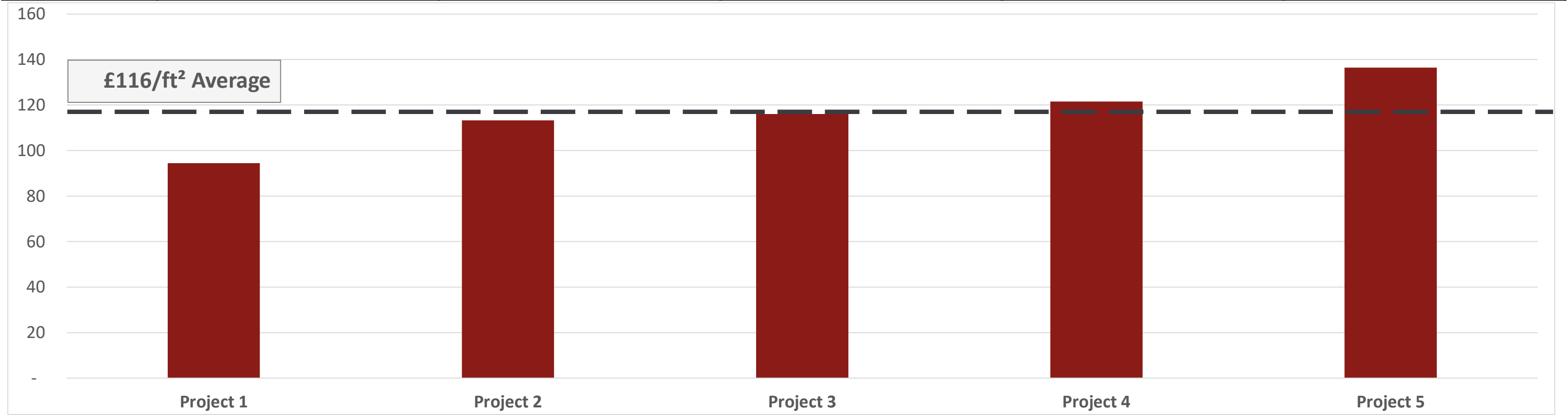
	m ²	ft ²
Existing NIA	4,568	49,171
Existing GIA	6,600	71,044

Ref	Description	Qty	Unit	Rate £	Total £	£/ft ² GIA
1.0	Incoming Services					
1.1	<u>Power</u>					
	Allowance to reconnect existing power supply	1	p.sum	Excl.	Excl.	Excl.
1.2	<u>Water</u>					
	Allowance to reconnect existing water supply	1	p.sum	Excl.	Excl.	Excl.
1.3	<u>Gas</u>					
	Assume no gas supply required	1	p.sum	Excl.	Excl.	Excl.
1.4	<u>Communications</u>					
	Allowance for new connection to the CAT A space	1	p.sum	25,000	£25,000	0.35
Incoming Services Total					£25,000	0.35

Appendix B Benchmarking - Light Intervention

Light Intervention Refurbishment - Benchmarking

Project	Project 1		Project 2		Project 3		Project 4		Project 5	
Location	London SW1		Uxbridge UB8		London NW1		London EC2V		London EC4V	
Base Date	Q2 2023		Q2 2020		Q2 2022		Q4 2023		Q4 2022	
										
Key Information	GIA:	86,757	GIA:	26,200	GIA:	32,509	GIA:	277,743	GIA:	148,649
	NIA:	11,776	NIA:	21,022	NIA:	25,862	NIA:	55,295	NIA:	86,165
	Efficiency:	14%	Efficiency:	80%	Efficiency:	80%	Efficiency:	20%	Efficiency:	58%
	Total	Total	Total	Total	Total	Total	Total	Total	Total	Total
	£	£/ft²	£	£/ft²	£	£/ft²	£	£/ft²	£	£/ft²
Total	8,194,493	94	2,968,350	113	3,771,845	116	33,759,759	122	20,280,000	136



Appendix C Existing Floor Plans

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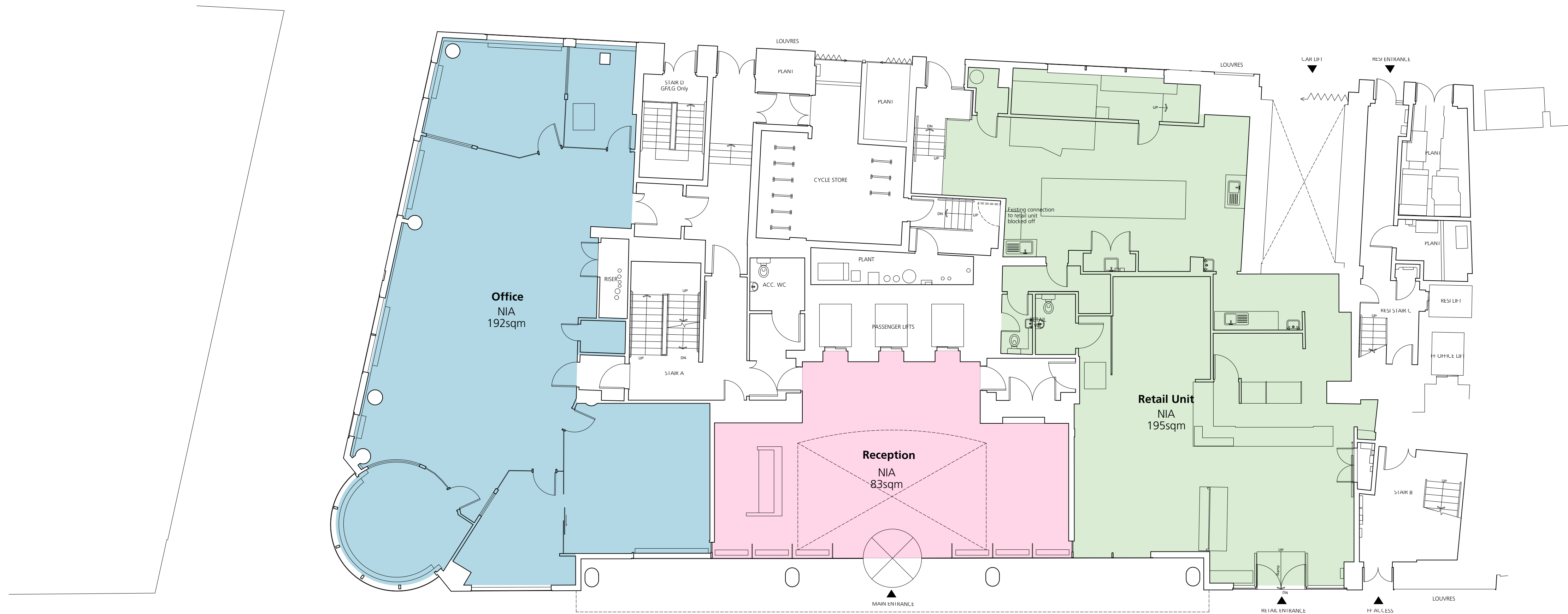
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Existing Ground Floor Plan

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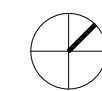
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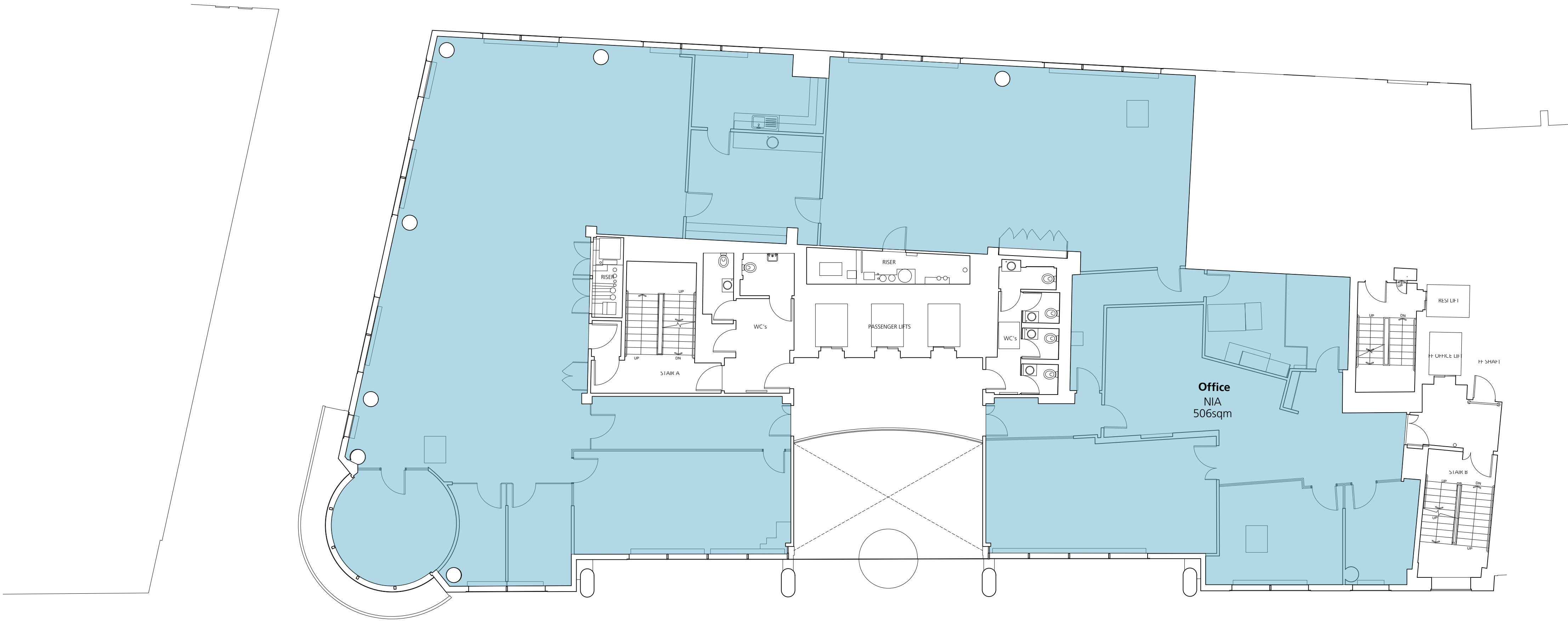
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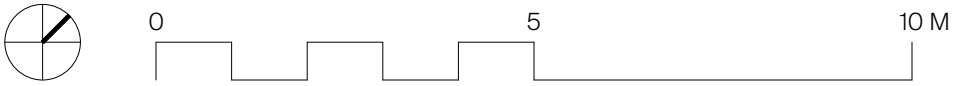
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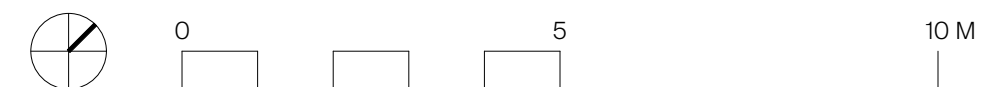
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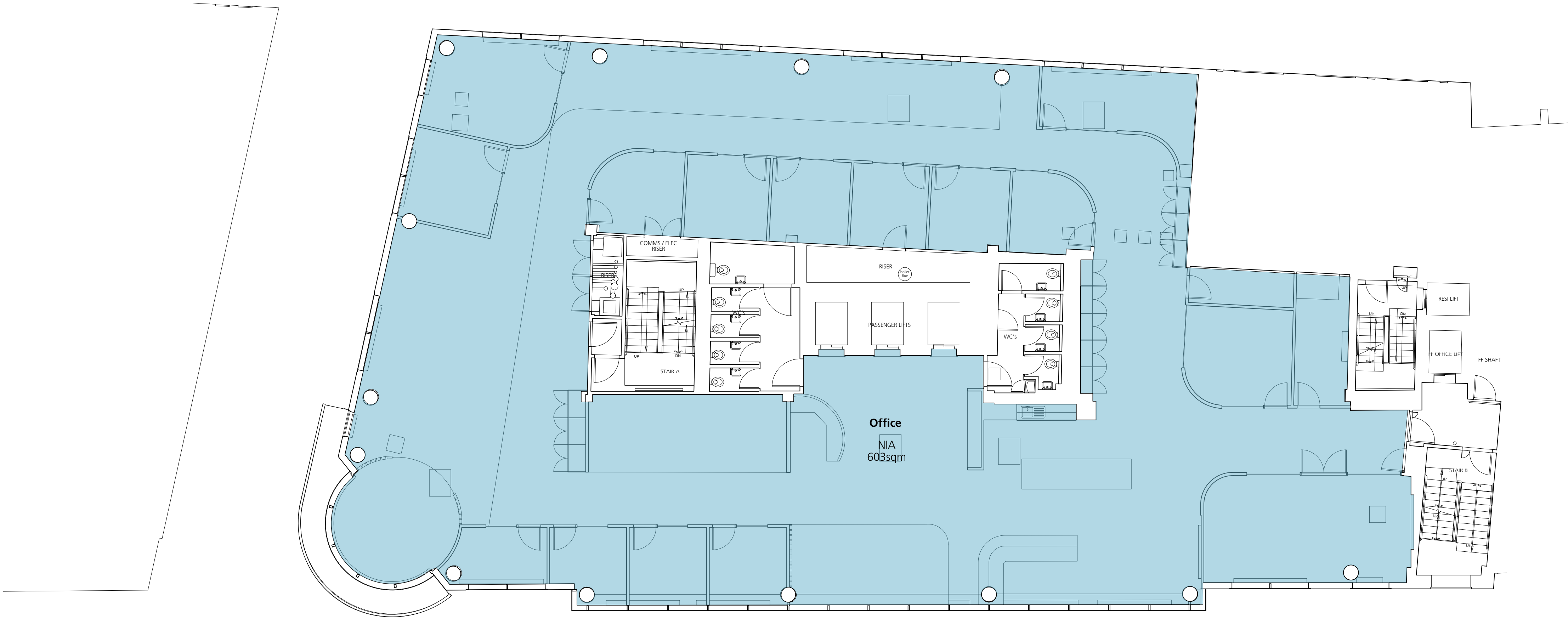
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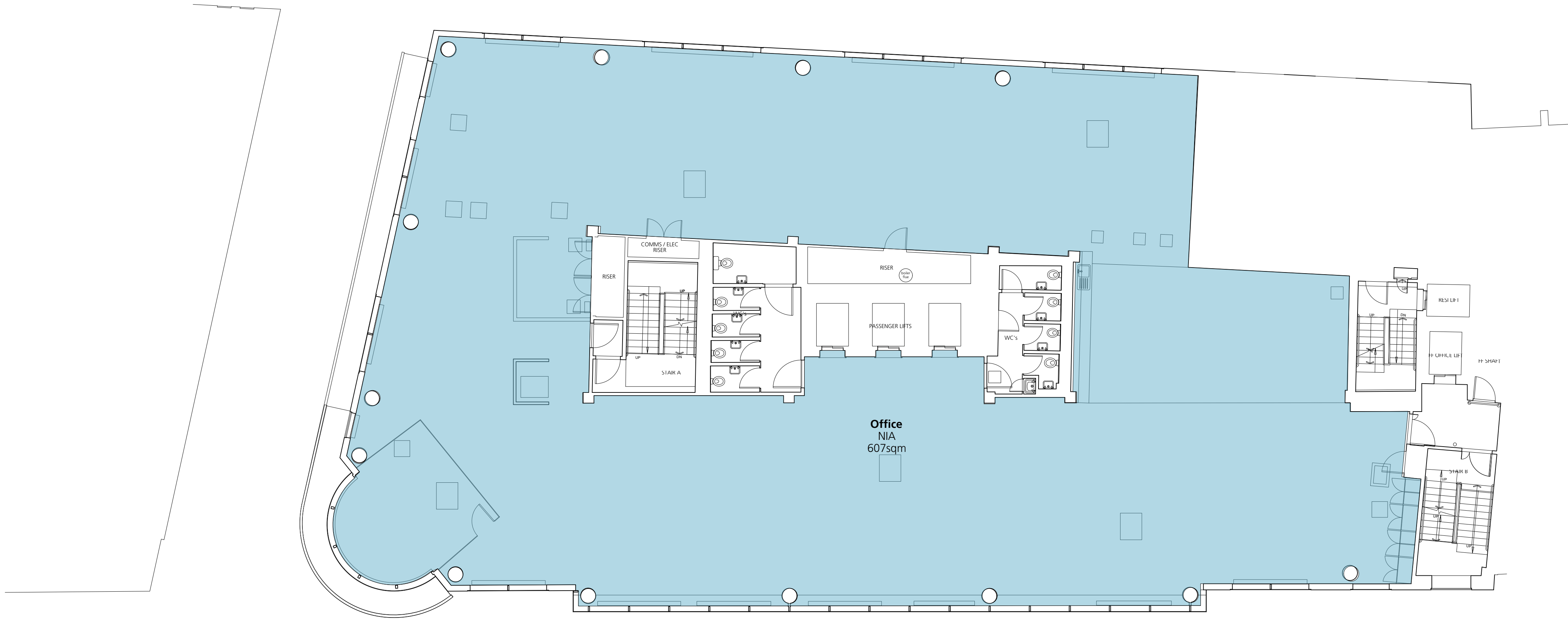
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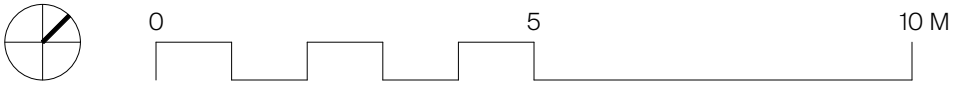
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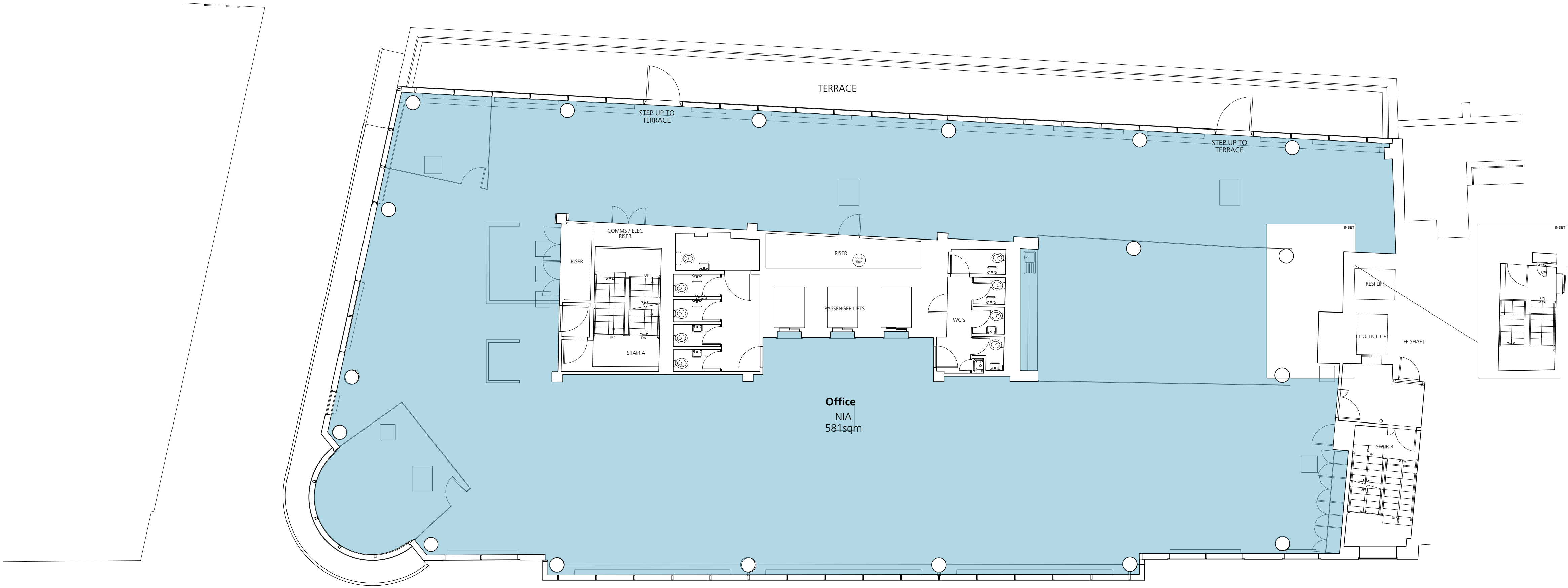
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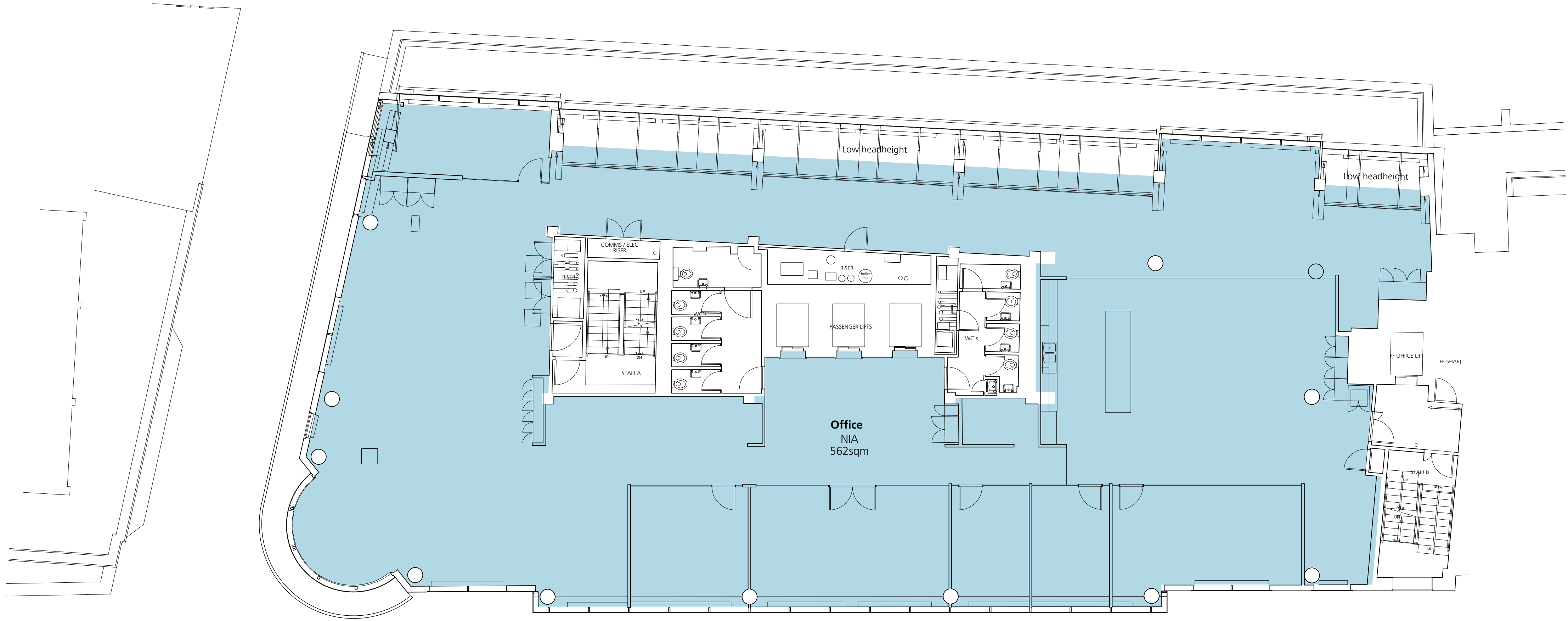
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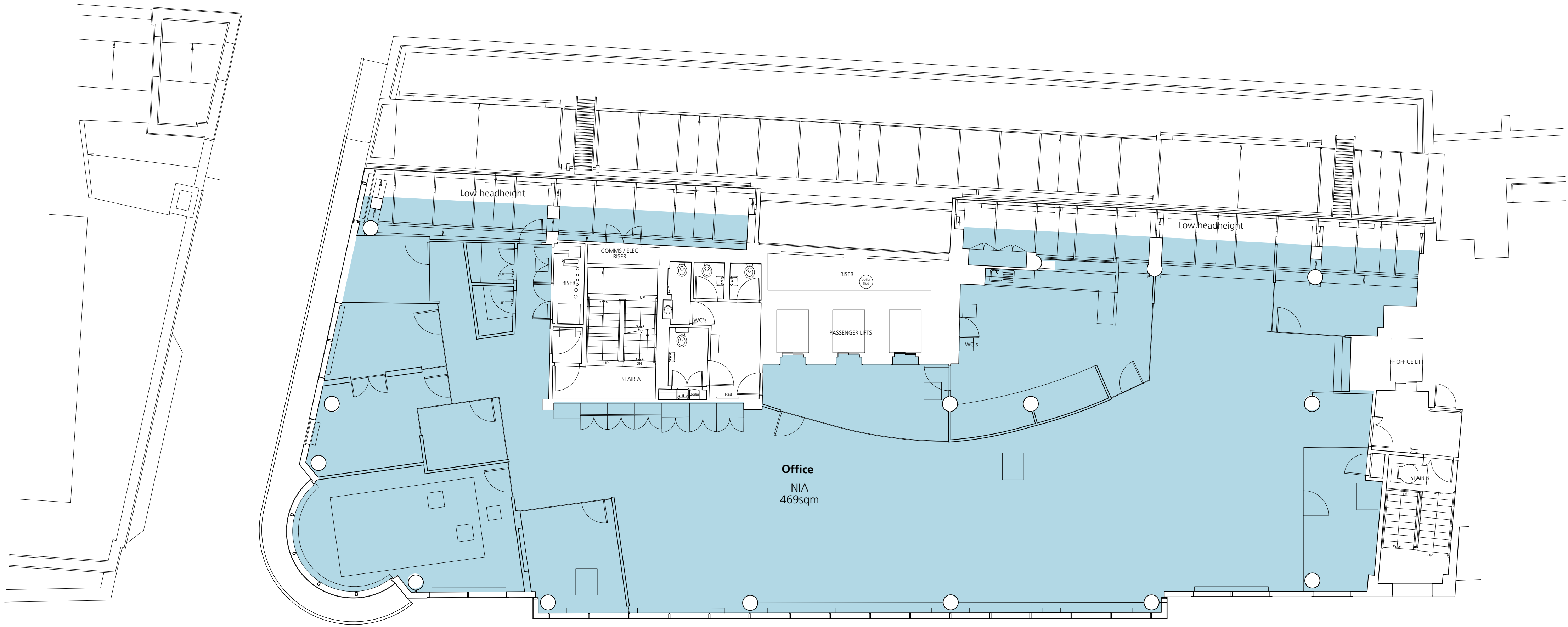
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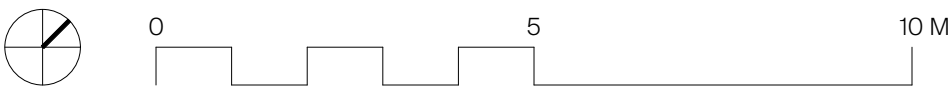
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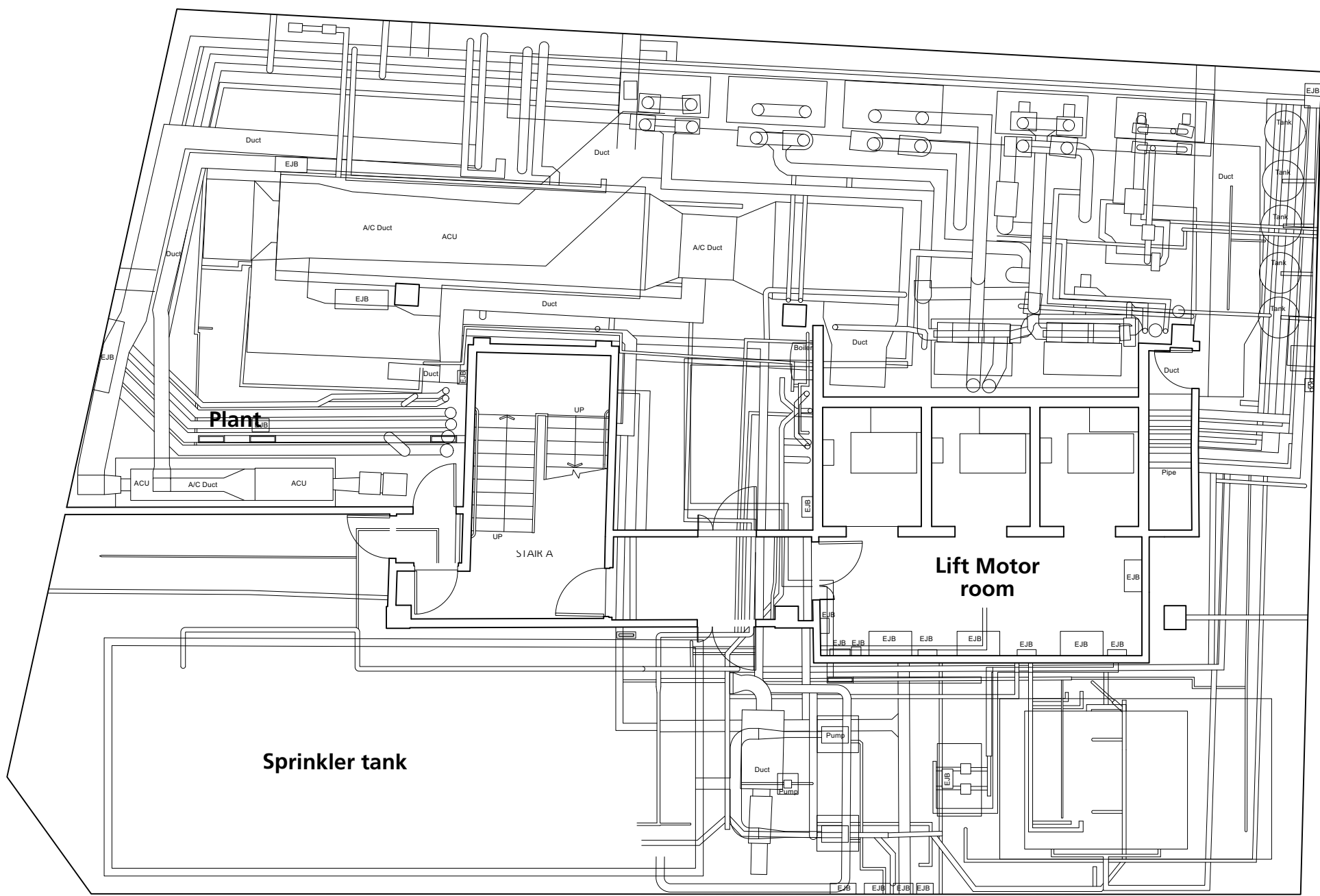
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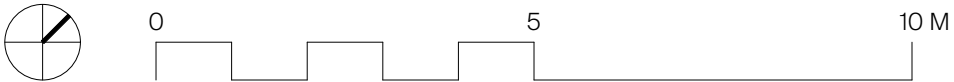
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

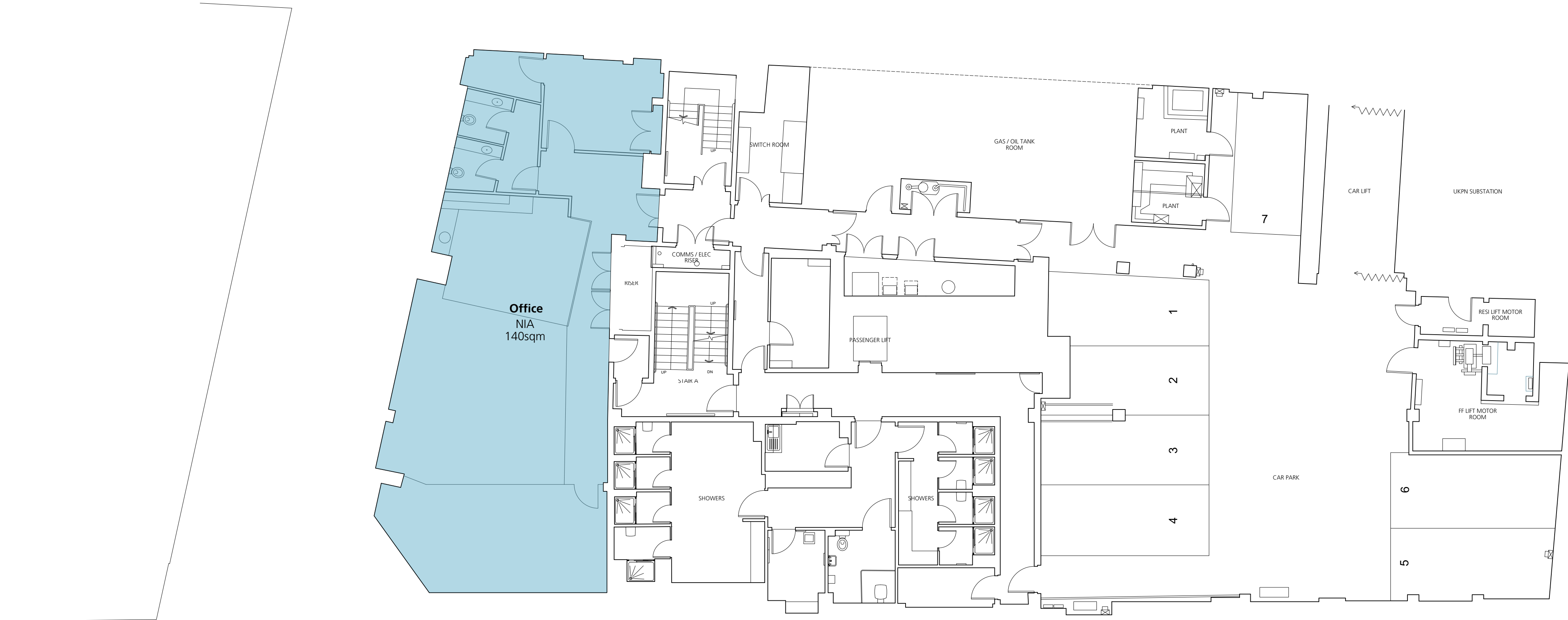
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect

DO NOT SCALE FROM THIS DRAWING.

NOTES.

REV.	DATE	NOTE	DRAWN
<div><div>BGY</div><div>BUCKLEY GRAY YEOMAN</div><div>+ 44 20 7033 9913</div><div>BGY.CO.UK</div></div>			
CLIENT RLAM			
PROJECT 151 Shaftesbury Avenue			
DRAWING Existing Basement Plan			
SCALE 1:100 @ A1 1:200 @ A3		DATE 27.04.22	
STATUS PRELIMINARY		APPROVED XX	
DWG No. 1232_EX-B1			REVISION





GENERAL NOTES.

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All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.

Sizes of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual sizes / dimensions.

Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for actual sizes and dimensions.

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NOTES.

REV.	DATE	NOTE	DRAWN
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CLIENT
RLAM

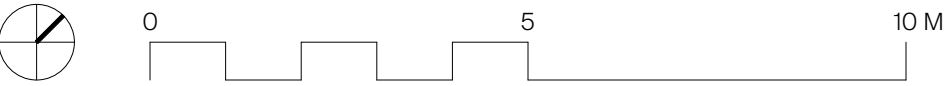
PROJECT
151 Shaftesbury Avenue

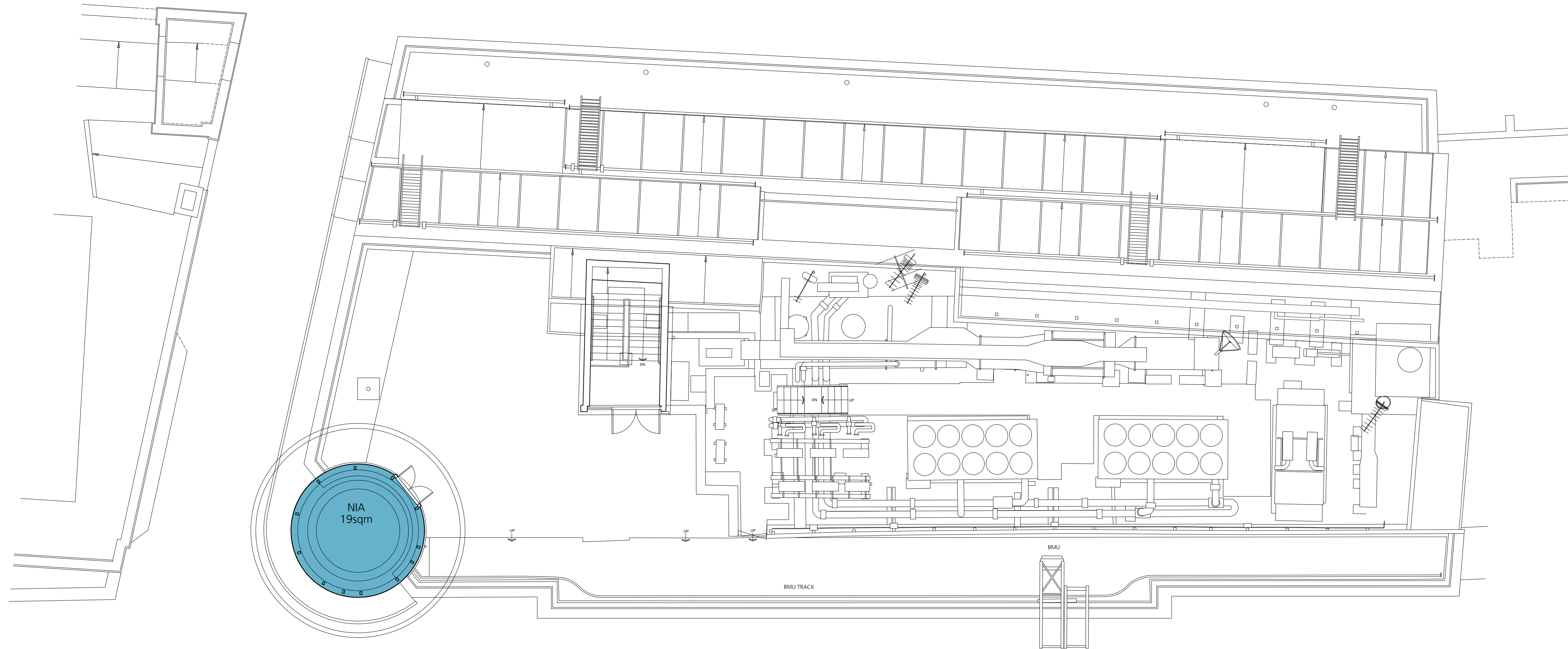
DRAWING
Existing Lower Ground Floor Plan

SCALE	DATE
1:100 @ A1	27.04.22
1:200 @ A3	

STATUS	APPROVED
PRELIMINARY	XX

DWG No.	REVISION
1232_EX-LG	





GENERAL NOTES.

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All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.

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Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for actual sizes and dimensions.

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DO NOT SCALE FROM THIS DRAWING.

NOTES.

REV.	DATE	NOTE	DRAWN
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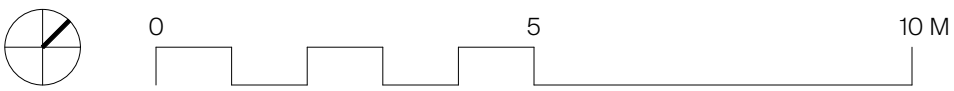
PROJECT
151 Shaftesbury Avenue

DRAWING
Existing Roof Plan

SCALE	DATE
1:100 @ A1	27.04.22
1:200 @ A3	

STATUS	APPROVED
PRELIMINARY	XX

DWG No.	REVISION
1232_EX-RF	



APPENDIX NINE - EUV LIGHT REFURBISHMENT APPRAISAL SUMMARY (DS2)

EUV subject to refurbishment
On behalf of RLAM

151 Shaftesbury Avenue
London
WC2H 8AL

Development Appraisal
Licensed Copy
31 May 2024

APPRAISAL SUMMARY**LICENSED COPY**

EUV subject to refurbishment
On behalf of RLAM

Appraisal Summary for Phase 1

Currency in £

REVENUE**Sales Valuation**

	Units	ft ²	Sales Rate ft ²	Unit Price	Gross Sales
Existing residential	1	3,337	1,250.00	4,171,250	4,171,250

Rental Area Summary

	Units	ft ²	Rent Rate ft ²	Initial MRV/Unit	Net Rent at Sale	Initial MRV
7th floor	1	5,048	70.00	353,360	353,360	353,360
6th floor	1	6,049	65.00	393,185	393,185	393,185
5th Floor	1	6,254	65.00	406,510	406,510	406,510
4th Floor	1	6,534	65.00	424,710	424,710	424,710
3rd Floor	1	6,491	65.00	421,915	421,915	421,915
2nd Floor	1	6,534	65.00	424,710	424,710	424,710
1st Floor	1	5,447	65.00	354,055	354,055	354,055
Ground retail	1	2,121	35.00	74,235	74,235	74,235
Lower ground	<u>1</u>	<u>1,507</u>	<u>25.00</u>	<u>37,675</u>	<u>37,675</u>	<u>37,675</u>
Totals	9	45,985			2,890,355	2,890,355

Investment Valuation

7th floor					
Market Rent	353,360	YP @	5.7500%	17.3913	
(2yrs Rent Free)		PV 2yrs @	5.7500%	0.8942	5,495,267
6th floor					
Market Rent	393,185	YP @	5.7500%	17.3913	
(2yrs Rent Free)		PV 2yrs @	5.7500%	0.8942	6,114,604
5th Floor					
Market Rent	406,510	YP @	5.7500%	17.3913	
(2yrs Rent Free)		PV 2yrs @	5.7500%	0.8942	6,321,827
4th Floor					

APPRAISAL SUMMARY**LICENSED COPY****EUV subject to refurbishment****On behalf of RLAM**

Market Rent (2yrs Rent Free)	424,710	YP @ PV 2yrs @	5.7500% 5.7500%	17.3913 0.8942	6,604,864
3rd Floor					
Market Rent (2yrs Rent Free)	421,915	YP @ PV 2yrs @	5.7500% 5.7500%	17.3913 0.8942	6,561,398
2nd Floor					
Market Rent (2yrs Rent Free)	424,710	YP @ PV 2yrs @	5.7500% 5.7500%	17.3913 0.8942	6,604,864
1st Floor					
Market Rent (2yrs Rent Free)	354,055	YP @ PV 2yrs @	5.7500% 5.7500%	17.3913 0.8942	5,506,075
Ground retail					
Market Rent (1yr Rent Free)	74,235	YP @ PV 1yr @	6.0000% 6.0000%	16.6667 0.9434	1,167,217
Lower ground					
Market Rent (1yr Rent Free)	37,675	YP @ PV 1yr @	5.7500% 5.7500%	17.3913 0.9456	619,591
Total Investment Valuation					44,995,708
GROSS DEVELOPMENT VALUE					49,166,958
Purchaser's Costs		6.80%	(3,059,708)		
Effective Purchaser's Costs Rate		6.80%		(3,059,708)	
NET DEVELOPMENT VALUE					46,107,249
NET REALISATION					46,107,249
OUTLAY					

APPRAISAL SUMMARY**LICENSED COPY****EUV subject to refurbishment****On behalf of RLAM****ACQUISITION COSTS**

Residualised Price		22,344,080	
			22,344,080
Stamp Duty		1,106,704	
Effective Stamp Duty Rate	4.95%		
Agent Fee	1.20%	268,129	
Legal Fee	0.60%	134,064	
			1,508,897

CONSTRUCTION COSTS

Construction	Units	Unit Amount	Cost	
Refurbishment Works	1 un	7,970,000	7,970,000	
Contingency		5.00%	398,500	
				8,368,500

PROFESSIONAL FEES

Professional fees		10.00%	797,000	
				797,000

MARKETING & LETTING

Marketing (offices)	49,322 ft²	1.50	73,983	
Marketing (resi)		1.00%	41,713	
Letting Agent Fee		10.00%	289,036	
Letting Legal Fee		5.00%	144,518	
				549,249

DISPOSAL FEES

Sales Agent Fee (offices)		0.50%	209,680	
Sales Agent Fee (resi)		1.50%	62,569	
Sales Legal Fee (offices)		0.25%	104,840	
Sales Legal Fee (resi)		0.50%	20,856	
				397,945

MISCELLANEOUS FEES

Void Costs			1,626,552	
				1,626,552

TOTAL COSTS BEFORE FINANCE**35,592,223**

APPRAISAL SUMMARY**LICENSED COPY****EUV subject to refurbishment****On behalf of RLAM****FINANCE**

Debit Rate 7.000%, Credit Rate 0.000% (Nominal)

Land	1,715,762	
Construction	229,573	
Letting	2,555,697	
Total Finance Cost		4,501,031

TOTAL COSTS**40,093,254****PROFIT****6,013,995****Performance Measures**

Profit on Cost%	15.00%
Profit on GDV%	12.23%
Profit on NDV%	13.04%
Development Yield% (on Rent)	7.21%
Equivalent Yield% (Nominal)	5.76%
Equivalent Yield% (True)	5.97%
IRR% (without Interest)	15.35%

APPENDIX TEN - PROPOSED DEVELOPMENT ARGUS APPRAISAL SUMMARY (DS2)

Proposed Development (100% office)
On behalf of RLAM

151 Shaftesbury Avenue
London
WC2H 8AL

Development Appraisal
Licensed Copy
31 May 2024

APPRAISAL SUMMARY**LICENSED COPY**

Proposed Development (100% office)
On behalf of RLAM

Appraisal Summary for Phase 1

Currency in £

REVENUE**Sales Valuation**

	Units	ft ²	Sales Rate ft ²	Unit Price	Gross Sales
Existing residential	1	3,337	1,350.00	4,504,950	4,504,950

Rental Area Summary

	Units	ft ²	Rent Rate ft ²	Initial MRV/Unit	Net Rent at Sale	Initial MRV
Lower Ground retail	1	1,701	25.00	42,525	42,525	42,525
Ground Floor retail	1	2,616	35.00	91,560	91,560	91,560
First Floor Office	1	5,576	75.00	418,200	418,200	418,200
Second Floor Office	1	6,200	77.50	480,500	480,500	480,500
Third Floor Office	1	6,200	77.50	480,500	480,500	480,500
Fourth Floor Office	1	6,200	80.00	496,000	496,000	496,000
Fifth Floor Office	1	7,050	80.00	564,000	564,000	564,000
Sixth Floor Office	1	6,684	82.50	551,430	551,430	551,430
Seventh Floor Office	1	6,265	82.50	516,863	516,863	516,863
Eighth Floor Office	<u>1</u>	<u>4,263</u>	85.00	362,355	<u>362,355</u>	<u>362,355</u>
Totals	10	52,755			4,003,933	4,003,933

Investment Valuation**Lower Ground retail**

Market Rent	42,525	YP @	6.0000%	16.6667	
(1yr Rent Free)		PV 1yr @	6.0000%	0.9434	668,632

Ground Floor retail

Market Rent	91,560	YP @	6.0000%	16.6667	
(1yr Rent Free)		PV 1yr @	6.0000%	0.9434	1,439,623

First Floor Office

Market Rent	418,200	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	7,586,395

APPRAISAL SUMMARY**LICENSED COPY****Proposed Development (100% office)****On behalf of RLAM****Second Floor Office**

Market Rent	480,500	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	8,716,553

Third Floor Office

Market Rent	480,500	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	8,716,553

Fourth Floor Office

Market Rent	496,000	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	8,997,732

Fifth Floor Office

Market Rent	564,000	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	10,231,293

Sixth Floor Office

Market Rent	551,430	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	10,003,265

Seventh Floor Office

Market Rent	516,863	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	9,376,190

Eighth Floor Office

Market Rent	362,355	YP @	5.0000%	20.0000	
(2yrs Rent Free)		PV 2yrs @	5.0000%	0.9070	6,573,333

Total Investment Valuation**72,309,570****GROSS DEVELOPMENT VALUE****76,814,520**

Purchaser's Costs	6.80%	(4,917,051)
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Effective Purchaser's Costs Rate	6.80%	(4,917,051)
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NET DEVELOPMENT VALUE**71,897,469**

APPRAISAL SUMMARY**LICENSED COPY**

Proposed Development (100% office)
On behalf of RLAM

NET REALISATION 71,897,469

OUTLAY**ACQUISITION COSTS**

Residualised Price		19,468,325		19,468,325
Stamp Duty	5.00%	973,416		
Agent Fee	1.20%	233,620		
Legal Fee	0.60%	116,810		
				1,323,846

CONSTRUCTION COSTS

Construction	ft²	Build Rate	ft²	Cost
Construction Costs	86,692	313.42		27,170,869
Contingency		5.00%		1,358,543
				28,529,412

Other Construction Costs

Neighbourly Matters		850,000		850,000
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Section 106 Costs

S106 (Est.)		103,379		
Mayoral CIL		156,897		
Borough CIL		72,456		
				332,732

PROFESSIONAL FEES

Professional Fees	10.00%	2,802,087		2,802,087
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MARKETING & LETTING

Marketing (offices)	56,092 ft²	2.00	112,184	
Marketing (resi)		1.00%	45,050	
Letting Agent Fee		10.00%	400,393	
Letting Legal Fee		5.00%	200,197	
				757,823

DISPOSAL FEES

APPRAISAL SUMMARY**LICENSED COPY****Proposed Development (100% office)****On behalf of RLAM**

Sales Agent Fee (offices)	1.00%	673,925	
Sales Agent Fee (resi)	1.50%	67,574	
Sales Legal Fee (offices)	0.50%	336,963	
Sales Legal Fee (resi)	0.50%	22,525	
			1,100,987

MISCELLANEOUS FEES

Void Costs		756,862	
			756,862

TOTAL COSTS BEFORE FINANCE**55,922,075****FINANCE**

Debit Rate 7.000%, Credit Rate 0.000% (Nominal)			
Land		2,958,627	
Construction		1,582,095	
Letting		2,056,736	
Total Finance Cost			6,597,458

TOTAL COSTS**62,519,533****PROFIT****9,377,936****Performance Measures**

Profit on Cost%	15.00%
Profit on GDV%	12.21%
Profit on NDV%	13.04%
Development Yield% (on Rent)	6.40%
Equivalent Yield% (Nominal)	5.03%
Equivalent Yield% (True)	5.19%
IRR% (without Interest)	15.84%

APPENDIX ELEVEN - MIXED USE SCENARIO ACCOMMODATION SCHEDULE & CONSTRUCTION COST ESTIMATE (QUANTEM)

151 Shaftesbury Avenue - Mixed Use Scheme

Royal London Mutual Insurance Society Limited

May 2024



Stage 2 Cost Estimate

Contents Page

		Page
1.0	Executive Summary	3
2.0	Elemental Analysis	4
3.0	Basis and Assumptions	5-14
4.0	Exclusions	15
5.0	Schedule of Areas	16
	Appendix A - Cost Breakdown	

Revision	Date	Prepared by	Reviewed by	Approved by
1	15/03/2024	Grant McIlheron	Luke Couchman	Alex Jones
2	27/03/2024	Grant McIlheron	Luke Couchman	Alex Jones
3	May 2024	Grant McIlheron	Luke Couchman	Alex Jones

1.0 Executive Summary

1.1 Summary of Costs

This Stage 2 cost estimate has been prepared for Royal London to provide the anticipated construction cost of the proposed redevelopment options at 151 Shaftesbury Avenue.

The costs shown are exclusive of VAT.

The anticipated out-turn construction cost for each scheme is as follows:

GIA ft²: 86,692

NIA ft²: 58,129

Ref	Description - Commercial incl. Retail	Total (£)	£/ft²
1.0	Measured Works	£22,038,361	£289
2.0	Main Contractor Preliminaries	£3,608,843	£47
3.0	Main Contractor Overheads & Profit @ 4%	£1,025,888	£13
4.0	Design Development and Risk Contingency @ 3%	£800,193	£10
5.0	Construction Contingency @ 5%	£1,333,655	£17
6.0	Tender Price Inflation and Construction Inflation @ 6.6%	£1,843,768	£24
7.0	Total Commercial Construction Costs Incl. Inflation	£30,650,708	£401

Ref	Description - Residential Existing Fit-Out (L1-L4)	Total (£)	£/ft²
8.0	Measured Works	£576,468	£173
9.0	Main Contractor Preliminaries	£72,000	£22
10.0	Main Contractor Overheads & Profit @ 4%	£25,939	£8
11.0	Design Development and Risk Contingency @ 5%	£33,720	£10
12.0	Construction Contingency @ 5%	£33,720	£10
13.0	Tender Price Inflation and Construction Inflation @ 6.6%	£48,962	£15
14.0	Total Existing Residential Construction Costs Incl. Inflation	£790,811	£237

Ref	Description - New Residential Fit-Out Incl. New Core (L5-8)	Total (£)	£/ft²
15.0	Measured Works	£1,529,666	£219
16.0	Main Contractor Preliminaries	£300,000	£43
17.0	Main Contractor Overheads & Profit @ 4%	£73,187	£10
18.0	Design Development and Risk Contingency @ 5%	£95,143	£14
19.0	Construction Contingency @ 5%	£95,143	£14
20.0	Tender Price Inflation and Construction Inflation @ 6.6%	£138,147	£20
21.0	Total New Residential Construction Costs Incl. Inflation	£2,231,283	£320

22.0	Total Commercial + Residential Construction Cost Incl. Inflation	£33,672,802	£388
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23.0 Key Areas:

23.1 Commercial Works 76,381

23.2 Existing Residential Units; Levels 0-4 3,337

23.3 New Residential Units; Levels 5-8 6,975

23.4 Total GIA **86,692**

2.0 Elemental Analysis

Element	Commercial Works	£/ft2	Existing Residential	£/ft2	New Residential	£/ft2	Total	£/ft2
	GIA	76,381	GIA	3,337	GIA	6,975	GIA	86,692
Strip Out Works	416,066	5	73,136	22	59,248	8	548,450	6
Demolition & Enabling Works	362,120	5	-	-	-	-	362,120	4
Demolition Contractor Preliminaries	80,000	1	-	-	-	-	80,000	1
Demolition Contractor OH&P @ 5%	Included	-	-	-	-	-	-	-
Construction Inflation (Q3 2024) @ 1.5%	12,873	0	-	-	-	-	12,873	0
Strip Out, Demolition & Enabling Works	871,059	11	73,136	22	59,248	8	1,003,443	12
Substructure	140,640	2	N/A	-	N/A	-	140,640	2
Frame	813,472	11	N/A	-	68,635	10	882,107	10
Upper Floors	307,655	4	N/A	-	65,981	9	373,636	4
Roof	557,399	7	Included	-	Included	-	557,399	6
Stairs	156,000	2	N/A	-	150,000	22	306,000	4
External Walls	3,233,224	42	Included	-	Included	-	3,233,224	37
External Windows & Doors	1,420,652	19	Included	-	Included	-	1,420,652	16
Internal Walls & Partitions	1,075,710	14	51,445	15	178,737	26	1,305,892	15
Internal Doors	518,500	7	8,600	3	69,000	10	596,100	7
Wall Finishes	399,470	5	36,492	11	30,171	4	466,133	5
Floor Finishes	599,475	8	38,715	12	97,339	14	735,529	8
Ceiling Finishes	1,008,783	13	34,122	10	71,301	10	1,114,206	13
Fixtures & Fittings	313,150	4	25,000	-	50,000	7	388,150	4
Sanitary Appliances	457,040	6	N/A	-	50,000	7	507,040	6
Mechanical & Electrical Installation	9,568,631	125	308,958	93	639,254	92	10,516,843	121
Shell & Core & Fit-Out Works	20,569,802	269	503,332	151	1,470,418	211	22,543,552	260
External Works	182,500	2	-	-	-	-	182,500	2
External Works	182,500	2	-	-	-	-	182,500	2
Incoming Services	415,000	5	-	-	-	-	415,000	5
Incoming Services	415,000	5	-	-	-	-	415,000	5
Net Building Cost Total	22,038,361	289	576,468	173	1,529,666	219	24,144,495	279
Main Contractor Preliminaries	3,393,000	44	72,000	22	300,000	43	3,765,000	43
Allowance for scaffold	215,843	3	-	-	-	-	215,843	2
Main Contractor's OH&P @ 4%	1,025,888	13	25,939	8	73,187	10	1,125,014	13
Design Development & Risk @ 3% / 5%	800,193	10	33,720	10	95,143	14	929,056	11
Construction Contingency @ 5%	1,333,655	17	33,720	10	95,143	14	1,462,518	17
Stage 2 Cost Estimate	28,806,940	377	741,847	222	2,093,138	300	31,641,925	365
Tender Price Inflation (Q2 2025) @ 2.8%	782,205	10	20,772	6	58,608	8	861,584	10
Construction Inflation, Mid-Point (Q3 2026) @ 3.8%	1,061,563	14	28,190	8	79,539	11	1,169,293	13
Stage 2 Cost Estimate Incl. Inflation	30,650,708	401	790,811	237	2,231,283	320	33,672,802	388

3.0 Basis and Assumptions

This estimate is based upon the following information:

3.1 Basis

Architectural - BGY

General

- 240202_Stage 2 Drawing Issue Sheet
- 1232-Areas schedule.18.09.23
- 1232_151 Shaftesbury Avenue - Stage 2 Report_Combined_DRAFT
- 231115_1232_151 Shaftesbury DRP Options review
- 231115_1232_151 Shaftesbury RL review

Elevations & Sections

- 1232_GE-01-P4-Proposed South Elevation Shaftesbury Avenue
- 1232_GE-02-P4-Proposed West Elevation St Giles Passage
- 1232_GE-03-P4-Proposed North Elevation New Compton Street
- 1232_GS-01-P1-Proposed Section A-A
- 1232_GS-02-P1-Proposed Section B-B
- 1232_GS-03-P1-Proposed Section C-C
- 1232_GS-04-P1-Proposed Section D-D

Elevations & Sections (Openable Windows Façade)

- GE-01-South Elevation - With windows

General Arrangements

- 1232_GA-00-P5-Proposed Ground Floor Plan
- 1232_GA-01-P5-Proposed First Floor Plan
- 1232_GA-02-P5-Proposed Second Floor Plan
- 1232_GA-02-P5-Proposed Third Floor Plan
- 1232_GA-04-P5-Proposed Fourth Floor Plan
- 1232_GA-05-P5-Proposed Fifth Floor Plan
- 1232_GA-06-P5-Proposed Sixth Floor Plan
- 1232_GA-07-P5-Proposed Seventh Floor Plan
- 1232_GA-08-P6-Proposed Eighth Floor Plan
- 1232_GA-09-P6-Proposed Ninth Floor Plan
- 1232_GA-B1-P5-Proposed Basement Plan
- 1232_GA-LG-P5-Proposed Lower Ground Floor Plan
- 1232_GA-RF-P5-Proposed Roof Plan

Residential Plans

- 1232_SK-08-Residential Scope_Rev-_230823 - HM Comments
- 1232_SK-08-Residential Scope_Rev-_230823

New Residential Plans

- SK-00-Proposed Ground Floor Plan - Residential Option
- SK-01-Proposed First Floor Plan - Residential Option
- SK-02-Proposed Second Floor Plan - Residential Option
- SK-03-Proposed Third Floor Plan - Residential Option
- SK-04-Proposed Fourth Floor Plan - Residential Option
- SK-05-Proposed Fifth Floor Plan - Residential Option
- SK-06-Proposed Sixth Floor Plan - Residential Option
- SK-07-Proposed Seventh Floor Plan - Residential Option
- SK-08-Proposed Eighth Floor Plan - Residential Option

MEP - Hilson Moran

Schedules

- kolo-suspended-datasheet
- YY Office Circular Fitting - Fagerhult
- 32099-HML-XX-XX-RP-M-140001_Flood Risk Assessment DRAFT
- 32099-HML-XX-XX-RP-M-140002_Ecological Appraisal DRAFT
- 32099-HML-XX-XX-RP-O-500001_Noise Impact Assessment DRAFT
- 32099-HML-XX-XX-RP-U-780001_Transport & Travel Plan DRAFT
- 32099-HML-XX-XX-RP-U-820001_Air Quality Assessment DRAFT

Drawings

- 32099-HML-XX-XX-DR-E-151001 LV Incoming Supply Options
- 32099-HML-XX-XX-DR-E-151002 LV Schematic
- 32099-HML-XX-XX-DR-E-152001 UKPN Sub Station Location Ground Floor
- 32099-HML-XX-XX-DR-E-152002 Existing Communications Intakes Lower Ground Floor
- 32099-HML-XX-XX-DR-E-152003 Lighting Layout Second Floor
- 32099-HML-XX-XX-DR-FP-311001 Sprinkler Schematic
- 32099-HML-XX-XX-DR-FP-312002 Sprinkler Zones Lower Ground Floor
- 32099-HML-XX-XX-DR-FP-312003 Sprinkler Zones Ground Floor
- 32099-HML-XX-XX-DR-FP-312004 Sprinkler Zones First Floor
- 32099-HML-XX-XX-DR-FP-312005 Sprinkler Zones Second Floor
- 32099-HML-XX-XX-DR-FP-312006 Sprinkler Zones Fifth Floor
- 32099-HML-XX-XX-DR-FP-312007 Sprinkler Zones Eighth Floor
- 32099-HML-XX-XX-DR-FP-312008 Sprinkler Zones Ninth Floor
- 32099-HML-XX-XX-DR-M-210001 Ventilation Layout Lower Ground Floor
- 32099-HML-XX-XX-DR-M-210002 Ventilation Layout Ground Floor
- 32099-HML-XX-XX-DR-M-210003 Ventilation Layout First Floor
- 32099-HML-XX-XX-DR-M-210004 Ventilation Layout Second Floor
- 32099-HML-XX-XX-DR-M-210005 Ventilation Layout Fifth Floor
- 32099-HML-XX-XX-DR-M-210006 Ventilation Layout Eighth Floor
- 32099-HML-XX-XX-DR-N-012001 Plant Layout Basement

- 32099-HML-XX-XX-DR-N-012002 Plant Layout Ninth Floor
- 32099-HML-XX-XX-DR-N-012011 Proposed Riser Locations Basement
- 32099-HML-XX-XX-DR-N-012012 Proposed Riser Locations Lower Ground Floor
- 32099-HML-XX-XX-DR-N-012013 Proposed Riser Locations Ground Floor
- 32099-HML-XX-XX-DR-N-012014 Proposed Riser Locations First Floor
- 32099-HML-XX-XX-DR-N-012015 Proposed Riser Locations Second Floor
- 32099-HML-XX-XX-DR-N-012016 Proposed Riser Locations Fifth Floor
- 32099-HML-XX-XX-DR-N-012017 Proposed Riser Locations Eighth Floor
- 32099-HML-XX-XX-DR-N-012018 Proposed Riser Locations Ninth Floor
- 32099-HML-XX-XX-RP-N-010001 Stage 2 Report Environmental Buildings
- 32099-HML-XX-XX-RP-O-510001 Stage 2 Concept Design Acoustic Report

NZC - Max Fordham

- Not received

Structural - Heyne Tillett Steel

- Issue Sheet Structural

Demolition

- 2793-HTS-XX-00-DR-S-2100 - P2 - Demolition Ground Floor Plan
- 2793-HTS-XX-01-DR-S-2110 - P2 - Demolition First Floor Plan
- 2793-HTS-XX-02-DR-S-2120 - P2 - Demolition Second Floor Plan
- 2793-HTS-XX-03-DR-S-2130 - P2 - Demolition Third Floor Plan
- 2793-HTS-XX-04-DR-S-2140 - P2 - Demolition Fourth Floor Plan
- 2793-HTS-XX-05-DR-S-2150 - P2 - Demolition Fifth Floor Plan
- 2793-HTS-XX-06-DR-S-2160 - P2 - Demolition Sixth Floor Plan
- 2793-HTS-XX-07-DR-S-2170 - P2 - Demolition Seventh Floor Plan
- 2793-HTS-XX-B1-DR-S-2090 - P2 - Demolition Basement Plan
- 2793-HTS-XX-B2-DR-S-2080 - P2 - Demolition Sub Basement Plan
- 2793-HTS-XX-RF-DR-S-2180 - P2 - Demolition Roof Plan
- 2793-HTS-XX-XX-DR-S-2010 - P2 - Demolition Floor Plate Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-2011- P2 - Demolition Floor Plate Isometrics Sheet 2
- 2793-HTS-XX-XX-DR-S-2012- P2 - Demolition Floor Plate Isometrics Sheet 3
- 2793-HTS-XX-XX-DR-S-2015- P2 - Demolition Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-2016- P2 - Demolition Perspective Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-2500- P2 - Demolition Long Sections Sheet 1
- 2793-HTS-XX-XX-DR-S-2501- P2 - Demolition Long Sections Sheet 2
- 2793-HTS-XX-XX-DR-S-2502- P2 - Demolition Long Sections Sheet 3

Existing Drawings

- 2793-HTS-XX-XX-DR-S-0500- P2 - Existing Long Sections Sheet 1
- 2793-HTS-XX-XX-DR-S-0501- P2 - Existing Long Sections Sheet 2

- 2793-HTS-XX-XX-DR-S-0502- P2 - Existing Long Sections Sheet 3
- 2793-HTS-XX-00-DR-S-0100- P2 - Existing Ground Floor Plan
- 2793-HTS-XX-01-DR-S-0110- P2 - Existing First Floor Plan
- 2793-HTS-XX-02-DR-S-0120- P2 - Existing Second Floor Plan
- 2793-HTS-XX-03-DR-S-0130- P2 - Existing Third Floor Plan
- 2793-HTS-XX-04-DR-S-0140- P2 - Existing Fourth Floor Plan
- 2793-HTS-XX-05-DR-S-0150- P2 - Existing Fifth Floor Plan
- 2793-HTS-XX-06-DR-S-0160- P2 - Existing Sixth Floor Plan
- 2793-HTS-XX-07-DR-S-0170- P2 - Existing Seventh Floor Plan
- 2793-HTS-XX-B1-DR-S-0090- P2 - Existing Basement Floor Plan
- 2793-HTS-XX-B1-DR-S-0090- P2 - Existing Basement Floor Plan
- 2793-HTS-XX-B2-DR-S-0070- P2 - Existing Site Plan
- 2793-HTS-XX-B2-DR-S-0080- P2 - Existing Sub Basement Plan
- 2793-HTS-XX-RF-DR-S-0180- P2 - Existing Roof Plan
- 2793-HTS-XX-XX-DR-S-0010- P2 - Existing Floor Plate Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-0011- P2 - Existing Floor Plate Isometrics Sheet 2
- 2793-HTS-XX-XX-DR-S-0012- P2 - Existing Floor Plate Isometrics Sheet 3
- 2793-HTS-XX-XX-DR-S-0015- P2 - Existing Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-0016- P2 - Existing Perspective Isometrics Sheet 1

Proposed Drawings

- 2793-HTS-XX-00-DR-S-3100- P2 - Proposed Ground Floor Plan
- 2793-HTS-XX-01-DR-S-3110- P2 - Proposed First Floor Plan
- 2793-HTS-XX-02-DR-S-3120- P2 - Proposed Second Floor Plan
- 2793-HTS-XX-03-DR-S-3130- P2 - Proposed Third Floor Plan
- 2793-HTS-XX-04-DR-S-3140- P2 - Proposed Fourth Floor Plan
- 2793-HTS-XX-05-DR-S-3150- P2 - Proposed Fifth Floor Plan
- 2793-HTS-XX-06-DR-S-3160- P2 - Proposed Sixth Floor Plan
- 2793-HTS-XX-07-DR-S-3170- P2 - Proposed Seventh Floor Plan
- 2793-HTS-XX-08-DR-S-3180- P2 - Proposed Eighth Floor Plan
- 2793-HTS-XX-09-DR-S-3190- P2 - Proposed Ninth Floor Plan
- 2793-HTS-XX-B1-DR-S-3090- P2 - Proposed Basement Plan
- 2793-HTS-XX-B2-DR-S-3080- P2 - Proposed Sub Basement Plan
- 2793-HTS-XX-RF-DR-S-3200- P2 - Proposed Roof Plan
- 2793-HTS-XX-XX-DR-S-3010- P2 - Proposed Floor Plate Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-3011- P2 - Proposed Floor Plate Isometrics Sheet 2
- 2793-HTS-XX-XX-DR-S-3012- P2 - Proposed Floor Plate Isometrics Sheet 3
- 2793-HTS-XX-XX-DR-S-3015- P2 - Proposed Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-3016- P2 - Proposed Perspective Isometrics Sheet 1
- 2793-HTS-XX-XX-DR-S-3500- P2 - Proposed Long Sections Sheet 1
- 2793-HTS-XX-XX-DR-S-3501- P2 - Proposed Long Sections Sheet 2

- 2793-HTS-XX-XX-DR-S-3502- P2 - Proposed Long Sections Sheet 3

3.2 Assumptions

General

- 1 Generally as stated within the estimate.
- 2 Re-use existing frame and foundations unless stated otherwise.
- 3 It is assumed a single stage route will be utilised. No allowances are contained within the estimate for pre-construction services. Should a two stage tender route be incorporated we would advise an uplift of 10-15%.
- 4 All works will be completed within normal working hours.
- 5 The works will be procured and constructed in sequence, without any onerous phasing requirements.
- 6 On-costs and mark-ups are based upon current market conditions, as follows:
 - Main contractor preliminaries - 75 weeks @ £39k
 - Main contractor overheads and profits @ 4%
 - Design development and risk contingency @ 3%
 - Construction contingency @ 5%
 - Tender Price Inflation (Q2 2025) @ 2.8%
 - Construction Inflation, Mid-Point (Q3 2026) @ 3.8%
- 7 No scaffold design has been provided therefore we have made an allowance based on benchmark rates.
- 8 Works in accordance with the Right of Light Act.
- 9 Building costs have been established by utilising benchmark data from comparable projects. Data utilised assumes a mid to upper range specification for serviced office.
- 10 Allowances have been made for NZC embodied and operational carbon.
- 11 We have allowed 120min fire rated overboarding to columns and ceilings in the basement and lower ground floors.

Strip-Out and Demolition Works

- 12 A provisional allowance of £10k has been included for an R&D survey.
- 13 We have excluded any asbestos removal required following the asbestos survey.
- 14 A provisional allowance of £2.5k has been included for removal of loose furniture.
- 15 A provisional allowance of £10k has been included for temporary propping.
- 16 A provisional allowance of £15k has been included for temporary works.

Substructure

- 17 We have made no allowance for alterations to underground drainage.
- 18 We have made no allowance for the levelling of slabs.
- 19 We have made no allowance for works to the existing slab and foundations.
- 20 We have made no allowance for waterproofing / tanking / cavity drainage.
- 21 A provisional allowance of £50k has been included for alterations to above ground drainage. Design to be confirmed.

Frame and Upper Floors

- 22 A provisional allowance of £125k has been included for strengthening / interface with existing structure @ 30kg/m². Extent to be confirmed.
- 23 We have allowed secondary steel to support the louvres and PV panels @ 50kg/m².
- 24 The upper floors consist of CLT slab. We have made no allowance for fireproofing to the CLT system.

Roof

- 25 We have allowed for a green roof as shown on BGYS roof drawing.
- 26 We have allowed for a ceramic tile or similar finish to all terraces.
- 27 We have allowed for PV panels to the plant and roof core as advised by BGY.
- 28 We have allowed for blue roofs; extent to be confirmed by BGY.
- 29 We have allowed for a roof covering; grillages to plant zone.

Stairs

- 30 A provisional allowance of £20k has been included for a new steel staircase from LGF to GF end of journey facilities.
- 31 A provisional allowance of £50k has been included for a new feature staircase to retail unit 1 from LGF to GF.

External Walls and Windows

- 32 We have assumed all materials as per BGYS elevation drawings.
- 33 We have made no allowance for a green wall, as this is no longer shown on BGY drawings.
- 34 We have allowed for double-glazed windows, not triple-glazed windows. We have excluded any costs associated with triple-glazed windows.
- 35 We have assumed no works are required to the East elevation (party wall).

Internal Walls and Partitions

- 36 We have allowed for blockwork walls to form new core extensions.
- 37 We have allowed for a faceted half height fire rated glazed partition to lift lobby at level 1, to separate the reception area.
- 38 We have allowed for glazed partitioning to staircase and part of lift lobby walls at levels 2-8.
- 39 We have allowed for overboarding to the RC lift cores to increase fire resistance to 120mins.
- 40 We have made no allowance for a green wall, as this is no longer shown on BGY drawings.

Internal Doors

- 41 We have assumed all existing doors are to be replaced with new.

Wall Finishes

- 42 We have allowed for a feature wall finish to the lift reveals and enhanced wall finish to the lift lobby; design intent to be confirmed.
- 43 We have allowed for 50% of the total back wall behind the reception desk to include a feature finish; design intent to be confirmed.
- 44 We have made allowances for new plasterboard wall linings to the NIA including a paint finish.

Floor Finishes

- 45 We have only allowed for screeding throughout to the lower ground floor. Any further screeding to other floors is excluded.

Ceiling Finishes

- 46 We have allowed for an accessible ceiling to BOH lobby areas.
- 47 We have allowed for a enhanced ceiling finish to the reception area; assuming timber baffles.

Fittings, Furnishings & Equipment

- 48 A provisional allowance of £35k has been included for a reception desk.
- 49 A provisional allowance of £10k has been included for building directory signage.
- 50 We have made no allowance for loose furniture.
- 51 We have made no allowance for general artwork.
- 52 We have made no allowance for reception turnstiles.
- 53 A provisional allowance of £15k provisional has been included for graphics and wayfinder signage.
- 54 A provisional allowance of £5k has been included for white line markings.
- 55 A provisional allowance of £5k has been included for bike repair station.
- 56 We have made no allowance for E-Bike charging points.
- 57 We have made no allowance for vending machines.
- 58 We have made no allowance for joinery to the changing rooms.
- 59 We have made no allowance for manual or automated blinds.

Sanitaryware Appliances

- 60 We have allowed for a cubicle system; assumes Maxwood / Petal or similar.
- 61 We have made an allowance for a mid-spec shower screen to end of journey facilities.
- 62 We have assumed all sanitaryware specification will be mid spec; Duravit or similar.

Mechanical, Electrical and Public Health Installation

External

- 63 We have excluded external water, for CAT-5 points.
- 64 A provisional allowance of £20k has been included for external lighting at roof level; no design provided.
- 65 We have assumed façade lighting is not required.
- 66 We have allowed for an external CCTV system, we have assumed this is required.
- 67 We have excluded external access control, we have assumed this is not required.
- 68 We have excluded external comms and data, we have assumed this is not required.

Utilities

- 69 We have included incoming power connection by UKPN, and assumed upgrades are required.
- 70 We have excluded utility meter by UKPN.
- 71 We have excluded fit-out/modifications to existing UKPN room, we have assumed that it is not required.
- 72 We have excluded transformers by UKPN.
- 73 We have excluded gas connection, we have assumed that it is not required.
- 74 We have excluded sump pump, we have assumed existing sufficient to be retained & re-used.
- 75 We have excluded sump control panel, we have assumed existing sufficient to be retained & re-used.
- 76 We have excluded filter to incoming mains water supply, we have assumed existing sufficient to be retained & re-used.
- 77 We have excluded new utility meter, we have assumed existing sufficient to be retained & re-used.
- 78 We have excluded major leak detection between building & utility meter, we have assumed existing sufficient to be retained & re-used.

- 79 We have excluded incoming comms connection / cable ducts, we have assumed existing sufficient to be retained & re-used.
- 80 We have excluded future district heating network connection, we have assumed this is not required.

Disposal

- 81 We have allowed for acoustic insulation through office areas, we have no detail.
- 82 We have excluded existing vertical pipework, we have assumed existing sufficient to be retained & re-used.

Water

- 83 We have allowed for CAT-5 water systems, we have assumed manual points required to terraces / roof level only.
- 84 We have included thermal insulation, cladding & weatherproofing.

Space heating and air treatment

- 85 We have excluded VRF (Split system) installations, we have assumed none are required.

Air side ventilation systems

- 86 We have assumed smoke extract systems (COLT type etc.) are required to the basement and LGF.
- 87 We have assumed fire rated ductwork is not required above ground floor.
- 88 We have excluded future retail unit ductwork/ plant; not part of this scope.
- 89 We have excluded future bar area ductwork/ plant; not part of this scope.

Electrical installations

- 90 We have excluded transformers by UKPN.
- 91 We have included main building LV connection (from UKPN to new main switchgear).
- 92 We have included a new life safety generator and a integral day tank.
- 93 We have excluded 2-hour fire rated acoustic enclosure to generator, we have assumed builders work item.
- 94 We have allowed for a new life safety switchgear based on 10 nr sections, we have no details.
- 95 We have allowed for a new LV switchgear based on 30 nr sections, we have no details.
- 96 We have assumed surge protection is only required to the main panel.
- 97 We have allowed for rising busbar, we have assumed only 1nr riser, plus 1nr tap-off per office floor (Straight run only, no bends/ offsets etc.).
- 98 We have included office lighting/small power distribution boards, we have assumed 1 nr split board per office floor.
- 99 We have allowed for door access power, we have assumed required to front entrance doors only.
- 100 We have excluded electric underfloor heating, we have assumed it is not required.
- 101 We have excluded additional electric radiators to stairs/ BOH areas, we have assumed it is not required.
- 102 We have excluded POU water heaters/ ZIP taps, we have assumed it is not required.
- 103 We have included external lighting; see external.
- 104 We have excluded circadian lighting, we have assumed it is not required.
- 105 We have excluded fire rated enclosures to switchgear/ATS, we have assumed it is not required.
- 106 We have excluded fire rated enclosures to life safety cable feeds, we have assumed it is not required.
- 107 We have excluded EV charging provision, we have assumed it is not required.

Protective installations

108 We have included landing valves, we have assumed 1 nr per floor.

Communication installation

109 We have excluded PA / VA, we have assumed none are required.

110 We have included wireways only for access control/ EACS.

111 We have included wireways only for security installations.

112 We have included wireways only for CCTV installations.

113 We have included wireways only for telecoms.

114 We have included passive installation only for IT & Data installations.

115 We have excluded AV installations, we have assumed none are required.

116 We have excluded Wi-Fi, we have assumed none is required.

117 We have excluded mobile phone booster, we have assumed none are required.

Special installation

118 We have made a provisional allowance of £50k for underfloor services to the pavilion.

CAT A

119 We have excluded sanitaryware, we have assumed shell & core item only.

120 We have excluded soil waste & vent, we have assumed shell & core item only.

121 We have excluded water installations, we have assumed shell & core item only.

122 We have excluded leak detection, we have assumed it is not required.

123 We have assumed 300 mm x 200 mm average for MVHR fresh air ductwork.

124 We have assumed 300 mm x 200 mm average for MVHR supply air ductwork.

125 We have assumed 300 mm x 200 mm average for MVHR return air ductwork.

126 We have assumed 300 mm x 200 mm average for MVHR exhaust air ductwork.

127 We have assumed average 5m x 250 mm spiral per FCU for FCU secondary ductwork.

128 We have included grilles, bell mouths & diffusers.

129 We have allowed for emergency lighting, we have no design.

130 We have assumed DALI control for lighting control.

Residential

131 We have assumed 5 nr per apt for installation of sanitaryware.

132 We have assumed 5 nr per apt for soil waste & vent collections to new sanitaryware.

133 We have excluded leak detection, we have assumed it is not required.

134 We have assumed DALI control for lighting control.

Category A Fit Out Works

135 We have made no allowance for levelling screed to the NIA.

136 We have allowed for a raft ceiling system to CAT A; assumes 30% of ceiling area.

137 We have made an allowance for fire barriers to the office areas; assumes every 20m.

138 We have made no allowance for any tea points / pantry's.

- 139 We have made no allowance for blinds throughout the office spaces.
- 140 We have allowed an enhanced fit out allowance to the roof pavilion. Mid specification excluding loose furniture and joinery.

Club Lounge Fit Out Works

- 141 We have made an allowance for a feature finish to the rear wall of the club lounge @ £750/m².
- 142 We have made an allowance for a mid-spec stone floor finish @ £300/m².
- 143 We have made an allowance for a enhanced ceiling finish @ £300/m².
- 144 A provisional allowance of £25k has been included for fixed joinery allowance to the club lounge.
- 145 We have made no allowance for loose furniture to the club lounge.

Retail Unit - To Shell

- 146 We have made allowances for new plasterboard wall linings to the retail units including a paint finish.
- 147 We have made an allowance to clear / clean the existing slab, however have made no allowance for any floor finishes.
- 148 We have made no allowance for ceiling finishes to all retail unit areas.
- 149 We have made no allowance for fittings, furnishings & equipment to the retail units.
- 150 We have made an allowance for temporary lighting and a temporary fire alarm system.

External Works

- 151 A provisional allowance of £50k has been included for hard and soft landscaping.
- 152 A provisional allowance of £100k has been included for planting and FFE to terraces.
- 153 A provisional allowance of £20k has been included for feature lighting to terraces

Incoming Services

- 154 A provisional allowance of £250k has been included to upgrade / replace incoming power with new.
- 155 A provisional allowance of £100k has been included for the removal of copper lines.
- 156 We have made no allowance for a new substation.
- 157 A provisional allowance of £20k has been included to reconnect the existing water supply.
- 158 A provisional allowance of £5k has been included to disconnect the existing gas supply.
- 159 A provisional allowance of £35k has been included for new connections to the CAT A space.
- 160 A provisional allowance of £5k has been included to reconnect to the existing outfall for drainage.

Residential

- 161 Assume all finishes are aligned with existing residential units.
- 162 Assume 120min fire rating upgrades to walls and ceilings within the residential demise.

4.0 Exclusions

The following exclusions have been made in preparing this stage 2 cost estimate and the Client will need to make/consider separate budget provisions as necessary for these items below:

	Assume not required	Required	May be required
1 Finance charges		✓	
2 Capital allowances adjustment			✓
3 Site acquisition and associated costs including all legal fees, and agent's commissions and other costs		✓	
4 Professional fees and expenses		✓	
5 Planning application fees		✓	
6 Settlements and fees in respect of rights exercised by adjoining owners (Rights of Light,		✓	
7 Site investigations and surveys		✓	
8 VAT		✓	
9 Marketing suite, marketing costs, brochures etc.			✓
10 Developers risk allowance/overall project contingency		✓	
11 Public art		✓	
12 Contamination / asbestos removal			✓
13 Capital contributions	✓		
14 Archaeology investigations and monitoring			✓
15 Services diversions or reinforcement works associated with utilities			✓
16 Traffic impact assessments costs	✓		
17 Offsite highway improvements / S278 works	✓		
18 Works associated with Section 106 and 278 agreements / contributions	✓		
19 Flood alleviation measures	✓		
20 Abnormal ground conditions	✓		
21 Any works associated with remediation / contaminated ground			✓
22 Pre-construction services fees or any costs associated with tendering	✓		
23 BREEAM fees and associated costs to achieve any certificate			✓
24 Out of hours working			✓
25 Tenant fit out costs			✓
26 Implications due to further Covid-19 outbreak	✓		
27 Currency fluctuations or tariff changes due to Brexit	✓		
28 Reception turnstiles			✓
29 Works to existing lift shafts	✓		
30 Floor finishes to CAT A office space			✓
31 Works to the existing foundations	✓		
32 Inflation / increased costs beyond Q3 2026 level prices			✓
33 Triple glazed window (no adjustment to frame thickness)	✓		
34 Metal framing system to support MEP systems - on floor	✓		
35 Allowance for Juliette balconies + additional glazing to the residential	✓		
36 Allowance for Digi lockers	✓		
37 Automated window solution for mixed-mode ventilation			✓
38 YY Office Circular Fitting - Fagerhult CAT A light fitting			✓
39 Kitchens to the existing residential units			✓
40 MVHR system and BMS system to residential units			✓

5.0 Schedule of Areas - Proposed (Metric)

PROPOSED (METRIC)																								
NIA							GIA																	
Level	Club Lounge	Office Space	Retail	Roof Pavilion	Residential Units	Total NIA	Bin Store	Changing Facilities	Corridor	Cycle Store	Drying Room	Kitchen	Lift Core	Meeting Room	Plant	Reception	Residential Circulation	Stair Cores	Storage	WC's	Internal Walls, Risers & Voids	Total GIA	Efficiency	Terraces
	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	%	m²
Basement	-	-	-	-	-	-	-	-	7	-	-	-	-	-	364	-	-	14	-	-	5	390	0%	-
Lower Ground	-	-	158	-	-	158	-	106	40	184	11	-	11	7	129	-	-	30	-	9	56	741	21%	-
Ground	151	-	233	-	-	384	24	-	36	-	-	-	22	-	-	98	51	32	2	4	60	713	54%	-
Level 01	-	508	-	-	53	561	-	-	33	-	-	-	8	-	-	-	43	26	-	24	57	752	75%	-
Level 02*	-	568	-	-	129	697	-	-	23	-	-	-	8	-	-	-	67	26	-	24	55	900	77%	-
Level 03	-	568	-	-	64	632	-	-	23	-	-	-	8	-	-	-	34	26	-	24	55	802	79%	-
Level 04	-	568	-	-	64	632	-	-	23	-	-	-	8	-	-	-	34	26	-	24	55	802	79%	-
Level 05	-	597	-	-	58	655	-	-	23	-	-	-	8	-	-	-	39	26	-	24	7	782	84%	-
Level 06	-	563	-	-	58	621	-	-	23	-	-	-	8	-	-	-	39	26	-	24	12	753	82%	-
Level 07	-	531	-	-	51	582	-	-	23	-	-	-	8	-	-	-	39	26	-	24	12	714	82%	-
Level 08	-	333	-	-	63	396	-	-	16	-	-	-	8	-	-	-	39	40	-	16	9	524	76%	157
Level 09	-	-	-	82	-	82	-	-	24	-	-	6	4	-	-	-	-	25	4	4	32	181	45%	150
Total	151	4,236	391	82	540	5,400	24	106	294	184	11	6	101	7	493	98	385	323	6	201	415	8,054	67%	307

5.0 Schedule of Areas - Proposed (Imperial)

PROPOSED (IMPERIAL)																								
NIA							GIA																	
Level	Club Lounge	Office Space	Retail	Roof Pavilion	Residential Units	Total NIA	Bin Store	Changing Facilities	Corridor	Cycle Store	Drying Room	Kitchen	Lift Core	Meeting Room	Plant	Reception	Residential Circulation	Stair Cores	Storage	WC's	Internal Walls, Risers & Voids	Total GIA	Efficiency	Terraces
	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	ft²	%	ft²
Basement	-	-	-	-	-	-	-	-	75	-	-	-	-	-	3,918	-	-	151	-	-	54	4,198	0%	-
Lower Ground	-	-	1,701	-	-	1,701	-	1,141	431	1,981	118	-	118	75	1,389	-	-	323	-	97	603	7,976	21%	-
Ground	1,625	-	2,511	-	-	4,137	258	-	388	-	-	-	237	-	-	1,055	549	344	22	43	643	7,675	54%	-
Level 01	-	5,468	-	-	570	6,039	-	-	355	-	-	-	86	-	-	-	463	280	-	258	614	8,094	75%	-
Level 02*	-	6,114	-	-	1,389	7,502	-	-	248	-	-	-	86	-	-	-	725	280	-	258	588	9,688	77%	-
Level 03	-	6,114	-	-	689	6,803	-	-	248	-	-	-	86	-	-	-	362	280	-	258	596	8,633	79%	-
Level 04	-	6,114	-	-	689	6,803	-	-	248	-	-	-	86	-	-	-	362	280	-	258	596	8,633	79%	-
Level 05	-	6,426	-	-	624	7,050	-	-	248	-	-	-	86	-	-	-	420	280	-	258	75	8,417	84%	-
Level 06	-	6,060	-	-	624	6,684	-	-	248	-	-	-	86	-	-	-	420	280	-	258	129	8,105	82%	-
Level 07	-	5,716	-	-	549	6,265	-	-	248	-	-	-	86	-	-	-	420	280	-	258	129	7,685	82%	-
Level 08	-	3,584	-	-	678	4,263	-	-	172	-	-	-	86	-	-	-	420	431	-	172	97	5,640	76%	1,690
Level 09	-	-	-	883	-	883	-	-	258	-	-	65	43	-	-	-	-	269	43	43	344	1,948	45%	1,615
Total	1,625	45,596	4,212	883	5,813	58,129	258	1,141	3,165	1,981	118	65	1,087	75	5,307	1,055	4,141	3,477	65	2,164	4,467	86,692	67%	3,305

(i) All areas taken from BGY drawings listed within the basis.

(ii) The areas contained within this estimate shall not be relied upon for any other purpose other than the formulation of this estimate

(iii) Basis RICS Code of Measuring Practice 6th Edition

(iv) *Level 2 GIA increased by 98m² and NIA increased by 64m² due to residential floor levels not matching with office; level 2 captures 2no residential units.

OVERALL SUMMARY

ITEM	DESCRIPTION	GFA (m ²)	TOTAL (£)	£/m ²	£/ft ²
1	Strip Out, Demolition & Enabling Works	6,761 m ²	871,059	129	12
2	Shell & Core Works	7,096 m ²	16,675,976	2,350	218
3	Category A Fit Out Works	7,096 m ²	3,731,531	526	49
4	Club Lounge Fit Out Works	7,096 m ²	133,284	19	2
5	Retail Unit - To Shell	7,096 m ²	29,012	4	0
6	External Works	7,096 m ²	182,500	26	2
7	Incoming Services	7,096 m ²	415,000	58	5
8	Main Contractor Preliminaries	87 week	3,393,000	39,000	3,623
9	Allowance for scaffold	3,597 m ²	215,843	60	6
10	Main Contractor Overheads & Profits @ 4%	7,096 m ²	1,025,888	145	13
11	Design Development & Risk @ 3%	7,096 m ²	800,193	113	10
12	Construction Contingency @ 5%	7,096 m ²	1,333,655	188	17
13	Total Stage 2 Construction Costs (Q1 2024)	7,096 m ²	28,806,940	4,060	377
14	Tender Price Inflation (Q2 2025) @ 2.8%	7,096 m ²	782,205	110	10
15	Construction Inflation, Mid-Point (Q3 2026) @ 3.8%	7,096 m ²	1,061,563	150	14
16	Total Construction Cost Including Inflation (Q3 2026)	7,096 m ²	30,650,708	4,319	401
17	Existing Residential Fit Out works (Excl. Cores)	310 m ²	790,811	2,549	237
18	Total Construction Cost Including Existing Residential Works	7,406 m ²	31,441,519	4,245	394
19	New Residential Fit Out works	648 m ²	2,231,283	3,442	320
20	Total Construction Cost Including New Residential Works	8,054 m ²	33,672,802	4,181	388

STRIP OUT, DEMOLITION & ENABLING WORKS

ITEM	DESCRIPTION	TOTAL (£)	£/m ²	£/ft ²	%
1	Strip Out Works	416,066	62	6	48
2	Demolition & Enabling Works	362,120	54	5	42
3	Demolition Contractor Preliminaries	80,000	8,000	743	9
4	Demolition Contractor OH&P @ 5%	Incl.			
5	Construction Inflation (Q3 2024) @ 1.5%	12,873	2	0	1
Strip Out, Demolition & Enabling Works carried to summary		871,059	8,117	756	

STRIP OUT, DEMOLITION & ENABLING WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Strip Out Works						
<u>Architectural</u>						
1	Allowance for an asbestos survey; R&D survey only	1	psum	10,000	10,000	
2	Allowance for asbestos removal	1	item		Excl.	
3	Remove loose furniture, fixtures & fittings	1	psum	2,500	2,500	
4	Remove and dispose of floor finishes throughout; LGF - Level 7	6,208	m ²	5	31,042	
5	Remove all raised floor including grommets; existing NIA	4,569	m ²	10	45,688	
6	Remove door sets and frames incl. ironmongery	332	nr	30	9,960	
7	Remove and dispose of existing partitions throughout	1,825	m	40	73,000	
8	Remove and dispose of wall finishes incl. skirting, lift car surround and control panels	9	flrs	2,500	22,500	
9	Remove all WC / DDA fixtures and fittings	9	flrs	3,000	27,000	
10	Remove all ceilings throughout and associated trims; LGF - Level 7	6,208	m ²	8	46,563	
11	Remove existing plasterboard boxing to all columns Incl. skirting	153	nr	100	15,300	
12	Retain existing handrails and balustrade	11	flrs	500	5,500	
<u>Building Services</u>						
13	Isolate existing services	1	item	7,500	7,500	
14	Remove and dispose of existing MEP services on floor	6,761	m ²	13	84,512	
<u>Miscellaneous</u>						
15	Install temporary lighting - festoon or similar	1	item	10,000	10,000	
16	Install temporary fire detection and alarm	1	item	20,000	20,000	
17	CCTV survey of existing drainage	1	item	5,000	5,000	
Strip Out Works carried to summary					416,066	

STRIP OUT, DEMOLITION & ENABLING WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Demolition & Enabling Works						
<u>Basement - Roof</u>						
1	Dispose of the existing BMU	1	item	10,000	10,000	
2	Break out existing slab to form new openings; slab thickness 150mm	73	m ²	180	13,156	
3	Allowance to saw cut edges for new lift door openings	9	flrs	300	2,700	
4	Existing beams within lift shafts to be demolished	2	nr	300	600	
5	Allowance to demolish existing RC walls	23	m ²	180	4,156	
6	Allowance to remove existing upstands and plinths to roof level	191	m	50	9,546	
7	Allowance to remove roof coverings back to concrete slab incl. existing handrails	726	m ²	40	29,033	
8	Break out and remove the existing external façade	2,935	m ²	70	205,429	
9	Removal of central passenger lifts	3	nr	12,500	37,500	
10	Removal FF office lift	1	nr	10,000	10,000	
11	Removal of vehicle lift	1	nr	15,000	15,000	
<u>Miscellaneous</u>						
12	Allowance for temporary propping to retaining wall at basement	1	psum	10,000	10,000	
13	Allowance for temporary works to facilitate demolition	1	psum	15,000	15,000	
Demolition & Enabling Works carried to summary					362,120	

SHELL & CORE WORKS

ITEM	DESCRIPTION	TOTAL (£)	£/m ²	£/ft ²	%
1	Substructure	140,640	20	2	1
2	Frame	813,472	115	11	5
3	Upper Floors	307,655	43	4	2
4	Roof	557,399	79	7	3
5	Stairs	156,000	22	2	1
6	External Walls	3,233,224	456	42	19
7	Windows & External Doors	1,420,652	200	19	9
8	Internal Walls & Partitions	1,075,710	152	14	6
9	Internal Doors	518,500	73	7	3
10	Wall Finishes	364,286	51	5	2
11	Floor Finishes	325,779	46	4	2
12	Ceiling Finishes	199,431	28	3	1
13	Fittings, Furnishings & Equipment	274,650	39	4	2
14	Sanitaryware Appliances	457,040	64	6	3
15	Mechanical and Electrical Services	6,831,536	963	89	41
Shell & Core Works carried to summary		16,675,976	2,350	219	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Substructure						
<u>General</u>						
1	Allowance for alterations to above slab drainage	1	psum	50,000	50,000	
2	Allowance for alteration to underground drainage	1	item		Excl.	
3	Allowance to form new lift pit	1	item		Excl.	
4	Potential leveling of slabs (to be reviewed by design team)	1	item		Excl.	
5	Works to the existing slab / foundations	1	item		Excl.	
6	Localised breaking out for underground drainage and repair of slabs	1	item		Excl.	
7	Allowance for waterproofing / tanking / cavity drainage	1	item		Excl.	
<u>Fire Resistance</u>						
8	Allowance to overboard existing soffit with 1x plasterboard layer to increase fire resistance to 120mins; basement and lower ground floor	1,133	m ²	80	90,640	
Substructure carried to summary					140,640	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Frame						
<u>Proposed Steel Columns</u>						
1	C1: UC 305x305x97	17.90	t	4,200	75,180	
2	C2: SHS 80x80x5	0.28	t	4,200	1,176	
3	C3: RHS 250x150x6.3	2.44	t	4,200	10,248	
4	C4: UC 203x203x46	12.71	t	4,200	53,382	
5	Allowance for 15% connections	5.00	t	4,200	20,998	
6	Intumescent paint to above steelwork	38.33	t	600	22,998	
<u>Proposed Steel Beams</u>						
7	B1: UC 203x203x71	0.71	t	4,200	2,982	
8	B3: UC 254x254x89	3.21	t	4,200	13,482	
9	B4: UC 254x254x107	4.83	t	4,200	20,286	
10	B6 - UC 203x203x86	0.56	t	4,200	2,352	
11	B7: UC 203x203x46	8.04	t	4,200	33,768	
12	B8: UC 152x152x23	0.77	t	4,200	3,234	
13	B9: UB 152x89x16	0.07	t	4,200	294	
14	B10: UC 254x254x73	11.17	t	4,200	46,914	
15	B11: UC 254x254x132	8.15	t	4,200	34,230	
16	B12: UB 356x171x57	2.52	t	4,200	10,584	
17	B13: UB 406x140x46	3.91	t	4,200	16,422	
18	B14: UB 356x127x33	2.99	t	4,200	12,558	
19	B15: UB 457x152x52	5.58	t	4,200	23,436	
20	B16: UB 254x146x31	6.51	t	4,200	27,342	
21	B17: UB 762x267x134	0.81	t	4,200	3,402	
22	B19: PFC 150x90x24	0.33	t	4,200	1,386	
23	B20: UB 305x127x37	2.07	t	4,200	8,694	
24	B21: RHS 250x150x6.3	1.30	t	4,200	5,460	
25	B22: UB 533x210x92	0.53	t	4,200	2,226	
26	B23: UB 305x165x54	0.94	t	4,200	3,948	
27	B24: UB 457x152x74	0.56	t	4,200	2,352	
28	BR1: 200x15 cross bracing	1.63	t	4,200	6,846	
29	BR2: SHS 100x100x5	0.04	t	4,200	168	
30	Allowance for 15% connections	10.08	t	4,200	42,355	
31	Intumescent paint to above steelwork	77.31	t	600	46,389	
<u>Padstones</u>						

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Frame						
32	PS1: 450l x 215w x 150dp MC padstone	0	m ³	300	Excl.	
33	PS1: 600l x 215w x 215dp MC padstone	0	m ³	300	Excl.	
<u>Strengthening to existing</u>						
34	Allowance to strengthen the existing core; assume 30kg/m ²	1	item	125,000	125,000	
35	Further strengthening to the existing	1	item		Excl.	
<u>Secondary Steel</u>						
36	Secondary steel to support the louvres and PV panels; assumes 50kg/m ²	5.94	t	6,000	35,640	
37	Intumescent paint to above steelwork	5.94	t	600	3,564	
<u>Formation of New Core Walls</u>						
38	140mm blockwork wall; level 8	90	m ²	180	16,142	
39	140mm blockwork wall; level 9	99	m ²	180	17,778	
<u>Miscellaneous</u>						
40	Sub-contractor Prelims & OH&P @ 8%	1	item		60,257	
Frame carried to summary					813,472	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Upper Floors						
<u>Lower Ground Floor</u>						
1	CLT slab; 240mm thick	0	m ²	320	0	
2	Additional fireproofing to above; plasterboard system	1	item		Excl.	
3	290d x 50w C16 joists at 400 crs with 18 thk plywood screwed to top face of joists	18	m ²	160	2,813	
4	Additional fireproofing to above; plasterboard system	18	m ²	60	1,055	
<u>Ground Floor</u>						
5	CLT slab; 240mm thick	0	m ²	320	0	
6	Additional fireproofing to above; plasterboard system	1	item		Excl.	
7	290d x 50w C16 joists at 400 crs with 18 thk plywood screwed to top face of joists	37	m ²	160	5,902	
8	Additional fireproofing to above; plasterboard system	37	m ²	60	2,213	
<u>First Floor - Fifth Floor</u>						
9	Triangular areas of slab infill by adding plywood on top of new steelwork and existing concrete including firestopping	5	flrs	750	3,750	
<u>Sixth Floor</u>						
10	CLT slab; 240mm thick	0	m ²	320	0	
11	Additional fireproofing to above; plasterboard system	1	item		Excl.	
12	290d x 50w C16 joists at 400 crs with 18 thk plywood screwed to top face of joists	262	m ²	160	41,997	
13	Additional fireproofing to above; plasterboard system	1	item		Incl.	
<u>Seventh Floor</u>						
14	CLT slab; 240mm thick	0	m ²	320	0	
15	Additional fireproofing to above; plasterboard system	1	item		Excl.	
16	290d x 50w C16 joists at 400 crs with 18 thk plywood screwed to top face of joists	222	m ²	180	39,883	
17	Additional fireproofing to above; plasterboard system	1	item		Incl.	
<u>Eighth Floor</u>						
18	CLT slab; 240mm thick	0	m ²	320	0	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Upper Floors						
19	Additional fireproofing to above; plasterboard system	1	item		Excl.	
20	290d x 50w C16 joists at 400 crs with 18 thk plywood screwed to top face of joists	196	m ²	160	31,418	
21	Additional fireproofing to above; plasterboard system	1	item		Incl.	
<u>Ninth Floor</u>						
22	CLT slab; 240mm thick	480	m ²	320	153,483	
23	EO for CLT to rotunda / circular sections	22	m ²	150	3,238	
24	Additional fireproofing to above; plasterboard system	1	item		Excl.	
25	290d x 50w C16 joists at 400 crs with 18 thk plywood screwed to top face of joists	0	m ²	160	0	
26	Additional fireproofing to above; plasterboard system	1	item		Incl.	
<u>Miscellaneous</u>						
27	Sub-contractor Prelims & OH&P @ 8%	1	item		21,902	
Upper Floors carried to summary					307,655	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Roof						
<u>Roof Floor</u>						
1	CLT slab; 240mm thick	154	m ²	320	49,437	
2	Additional fireproofing to the above	154	m ²		Excl.	
3	290d x 50w C16 joists at 400 crs with 18 thk plywood screwed to top face of joists	28	m ²	160	4,470	
<u>Roof Coverings</u>						
4	Vapour barrier incl. fixings	411	m ²	35	14,380	
5	Insulation to create falls; spec TBC	411	m ²	80	32,870	
6	Roof covering; Spec TBC	411	m ²	100	41,087	
7	EO roof covering; biodiverse green roof	149	m ²	180	26,902	
8	EO roof covering; grillages to plant zone	156	m ²	650	101,643	
<u>Terraces incl. level 6, 7, 8 & 9</u>						
9	Vapour barrier incl. fixings	371	m ²	35	12,976	Includes roof garden @ 9th floor
10	EO allowance for blue roofs	371	m ²	220	81,563	
11	Insulation to create falls; spec TBC	371	m ²	80	29,659	
12	Allowance for a floor finish; porcelain tile or similar	371	m ²	220	81,563	
<u>General</u>						
13	Allowance for mansafe / cleaning strategy allowance	1	item	20,000	20,000	
14	Allowance for PV panels	82	m ²	500	41,030	
15	Allowance for rain water pipework; assume uPVC	247	m	60	14,820	
16	Allowance for lift overrun	1	nr	5,000	5,000	
17	Allowance for AOV	2	nr		Incl.	
Roof carried to summary					557,399	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Stairs						
1	New steel staircase from LGF to GF (EOJ) incl. handrails and balustrade	1	p.sum	20,000	20,000	
2	New feature staircase (retail unit 1) from LGF-GF incl. handrails and balustrade	1	p.sum	50,000	50,000	
3	Extend Staircase A to L9; assumes steel incl. handrails and balustrade	1	flrs	15,000	15,000	
4	Extend Staircase B to L8-9; assumes steel incl. handrails and balustrade	2	flrs	15,000	30,000	
5	New handrails and balustrade to Staircase A	11	flrs	2,500	27,500	
6	New handrails and balustrade to Staircase B	9	flrs	1,500	13,500	
Stairs carried to summary					156,000	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
External Walls						
South Elevation						
1	01 Reconstituted stone cladding	38	m ²	1,300	49,517	
2	02 Aluminium curtain wall system	94	m ²	1,300	121,716	
3	05 Panelised brick cladding	539	m ²	800	431,288	
4	08 Reconstituted stone cil	506	m	450	227,777	
5	09 Painted metal fin panels with openings for intake/extract and louvres behind	69	m ²	850	58,437	
6	12 Painted metal balustrade	53	m	1,000	53,190	
7	13 PPC vertical fin louvres vents to plant	23	m ²	800	18,026	
8	00 Fluted GRC panels	278	m ²	1,300	361,305	
9	00 Perforated metal panels over openable windows	47	m ²	650	30,409	
North Elevation						
10	01 Reconstituted stone cladding	35	m ²	1,500	52,500	
11	02 Aluminium curtain wall system	39	m ²	1,300	50,816	
12	05 Panelised brick cladding	492	m ²	800	393,686	
13	08 Reconstituted stone cil	446	m	450	200,507	
14	09 Painted metal fin panels with openings for intake/extract and louvres behind	54	m ²	850	46,249	
15	12 Painted metal balustrade	151	m	1,000	150,790	
16	13 PPC vertical fin louvres vents to plant	32	m ²	800	25,934	
17	00 Fluted GRC panels	267	m ²	1,300	347,055	
18	00 Perforated metal panels over openable windows	42	m ²	650	27,464	
West Elevation						
19	01 Reconstituted stone cladding	18	m ²	1,500	27,180	
20	02 Aluminium curtain wall system	32	m ²	1,300	41,623	
21	05 Panelised brick cladding	29	m ²	800	23,443	
22	08 Reconstituted stone cil	232	m	450	104,274	
23	09 Painted metal fin panels with openings for intake/extract and louvres behind	31	m ²	850	26,086	
24	12 Painted metal balustrade	32	m	1,000	32,460	
25	13 PPC vertical fin louvres vents to plant	0	m ²	800	0	
26	14 Projecting profiled brickwork	249	m ²	750	186,679	
27	00 Fluted GRC panels	105	m ²	1,300	136,900	
28	00 Perforated metal panels over openable windows	12	m ²	650	7,914	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
External Walls						
East Elevation (Party Wall)						
29	Assumes no works are required	1	item		Excl.	
External Walls carried to summary					3,233,224	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Windows & External Doors						
South Elevation						
1	03 Glazed revolving door	1	nr	75,000	75,000	
2	04 Automated glazed pass single door	2	nr	10,000	20,000	
3	04 Automated glazed pass double door	2	nr	20,000	40,000	
4	06 Slimline aluminium framed window system	471	m ²	925	435,284	
5	06 Slimline aluminium framed window system - openable	47	m ²	1,100	51,461	
6	06 EO for curved aluminium framed window system	12	m ²	1,200	14,545	
7	17 Louvred single doors	1	nr	7,500	7,500	
North Elevation						
8	04 Automated glazed pass single door	1	nr	12,500	12,500	
9	04 Automated glazed pass double door	1	nr	20,000	20,000	
10	06 Slimline aluminium framed window system	372	m ²	925	343,782	
11	06 Slimline aluminium framed window system - openable	42	m ²	1,100	46,477	
12	17 Louvred double doors	2	nr	12,500	25,000	
13	18 Metal doors	2	nr	5,000	10,000	
West Elevation						
14	06 Slimline aluminium framed window system	211	m ²	925	195,066	
15	06 Slimline aluminium framed window system - openable	12	m ²	1,100	13,392	
16	06 EO for curved aluminium framed window system	11	m ²	1,200	13,045	
17	16 Painted glazed bi-fold doors	5	m	2,500	12,600	
18	Allowance for glazed double doors	1	nr	25,000	25,000	
Terraces						
19	Single leaf terrace doors incl. frame and ironmongery	12	nr	5,000	60,000	
20	Double leaf terrace doors incl. frame and ironmongery	0	nr	12,500	0	
East Elevation (Party Wall)						
21	Assumes no works are required	1	item		Excl.	
Windows & External Doors carried to summary					1,420,652	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Internal Walls & Partitions						
Basement						
1	140mm blockwork wall; assumed for cores	0	m²	170	Excl.	Assumes reuse of existing motor room walls
2	Internal stud partitions; fire rating TBC	4	m²	145	591	
3	Allowance to overboard columns to increase fire resistance to 120mins	13	nr	500	6,500	
4	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	0	m²	60	Excl.	
5	Plasterboard internal face of external wall; fire rating TBC	317	m²	80	25,360	
Lower Ground Floor						
6	140mm blockwork wall; assumed for cores	66	m²	170	11,255	Incl. CAT A & Amenity
7	Internal stud partitions; fire rating TBC	643	m²	145	93,301	
8	Allowance to overboard columns to increase fire resistance to 120mins	17	nr	500	8,500	
9	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	253	m²	60	15,180	
10	Plasterboard internal face of external wall; fire rating TBC	0	m²		Incl.	
Ground Floor						
11	140mm blockwork wall; assumed for cores	99	m²	170	16,783	
12	Internal stud partitions; fire rating TBC	182	m²	145	26,318	
13	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	62	m²	60	3,715	
14	Allowance for feature sliding wall to club lounge	18	m²	2,500	43,895	
15	Fire rated glazing; 90 mins to retail unit 1	14	m²	2,500	36,189	
16	Plasterboard internal face of external wall; fire rating TBC	48	m²	60	2,909	
First Floor						
17	140mm blockwork wall; assumed for cores	0	m²	170	0	
18	Internal stud partitions; fire rating TBC	169	m²	145	24,534	
19	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	53	m²	60	3,168	
20	Faceted fire rated glazing; 90 mins - half height with plasterboard	9	m²	3,000	26,591	
21	Plasterboard internal face of external wall; fire rating TBC	240	m²	80	19,191	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Internal Walls & Partitions						
<u>Second Floor</u>						
22	140mm blockwork wall; assumed for cores	0	m ²	170	0	
23	Internal stud partitions; fire rating TBC	194	m ²	145	28,091	
24	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	52	m ²	60	3,146	
25	Fire rated glazing; 90 mins	17	m ²	2,500	43,186	
26	Plasterboard internal face of external wall; fire rating TBC	235	m ²	80	18,770	
<u>Third Floor</u>						
27	140mm blockwork wall; assumed for cores	0	m ²	170	0	
28	Internal stud partitions; fire rating TBC	194	m ²	145	28,134	
29	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	53	m ²	60	3,178	
30	Fire rated glazing; 90 mins	17	m ²	2,500	43,167	
31	Plasterboard internal face of external wall; fire rating TBC	235	m ²	80	18,817	
<u>Fourth Floor</u>						
32	140mm blockwork wall; assumed for cores	0	m ²	170	0	
33	Internal stud partitions; fire rating TBC	194	m ²	145	28,098	
34	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	53	m ²	60	3,161	
35	Fire rated glazing; 90 mins	17	m ²	2,500	43,164	
36	New plasterboard wall linings to NIA; fire rating TBC	235	m ²	80	18,808	
<u>Fifth Floor</u>						
37	140mm blockwork wall; assumed for cores	0	m ²	170	0	
38	Internal stud partitions; fire rating TBC	194	m ²	145	28,113	
39	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	53	m ²	60	3,171	
40	Fire rated glazing; 90 mins	17	m ²	2,500	43,164	
41	Plasterboard internal face of external wall; fire rating TBC	242	m ²	80	19,380	
<u>Sixth Floor</u>						
42	140mm blockwork wall; assumed for cores	0	m ²	170	0	
43	Internal stud partitions; fire rating TBC	194	m ²	145	28,178	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Internal Walls & Partitions						
44	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	53	m ²	60	3,162	
45	Fire rated glazing; 90 mins	17	m ²	2,500	43,186	
46	New plasterboard wall linings to NIA; fire rating TBC	233	m ²	80	18,654	
<u>Seventh Floor</u>						
47	140mm blockwork wall; assumed for cores	0	m ²	170	0	
48	Internal stud partitions; fire rating TBC	210	m ²	145	30,432	
49	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	56	m ²	60	3,389	
50	Fire rated glazing; 90 mins	17	m ²	2,500	41,931	
51	Plasterboard internal face of external wall; fire rating TBC	259	m ²	80	20,714	
<u>Eighth Floor</u>						
52	140mm blockwork wall; assumed for cores	0	m ²	170	0	Incl. in frame
53	Internal stud partitions; fire rating TBC	250	m ²	145	36,182	
54	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	0	m ²	60	0	
55	Fire rated glazing; 90 mins	17	m ²	2,500	43,239	
56	Plasterboard internal face of external wall; fire rating TBC	234	m ²	80	18,725	
<u>Ninth Floor</u>						
57	140mm blockwork wall; assumed for cores	0	m ²	170	0	Incl. in frame
58	Internal stud partitions; fire rating TBC	103	m ²	145	14,951	
59	Allowance for feature sliding wall to roof pavilion	17	m ²	1,500	25,887	
60	Allowance to overboarding the RC lift cores to increase fire resistance to 120mins	0	m ²	60	0	
61	Plasterboard internal face of external wall; fire rating TBC	119	m ²	80	9,550	
Internal Walls & Partitions carried to summary					1,075,710	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Internal Doors						
<u>Basement</u>						
1	Single leaf door incl. frame and ironmongery	3	nr	2,500	7,500	
2	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
3	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
4	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
5	Double leaf riser door incl. frame and ironmongery	0	nr	3,000	0	
6	Single leaf WC door incl. ironmongery	0	nr			Excl. Incl. in sanitaryware package
<u>Lower Ground Floor</u>						
7	Single leaf door incl. frame and ironmongery	27	nr	2,500	67,500	
8	Single leaf and a half door incl. frame and ironmongery	0	nr	3,250	0	
9	Double leaf door incl. frame and ironmongery	0	nr	4,000	0	
10	Single leaf riser door incl. frame and ironmongery	6	nr	2,000	12,000	
11	Double leaf riser door incl. frame and ironmongery	3	nr	3,000	9,000	
12	Single leaf WC door incl. ironmongery	4	nr			Excl. Incl. in sanitaryware package
<u>Ground Floor</u>						
13	Single leaf door incl. frame and ironmongery	5	nr	2,500	12,500	
14	Single leaf and a half door incl. frame and ironmongery	0	nr	3,250	0	
15	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
16	Single leaf riser door incl. frame and ironmongery	4	nr	2,000	8,000	
17	Double leaf riser door incl. frame and ironmongery	0	nr	3,000	0	
18	Single leaf WC door incl. ironmongery	1	nr			Excl. Incl. in sanitaryware package
<u>First Floor</u>						
19	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
20	Single leaf and a half door incl. frame and ironmongery	4	nr	3,250	13,000	
21	Double leaf door incl. frame and ironmongery	0	nr	4,000	0	
22	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
23	Double leaf riser door incl. frame and ironmongery	8	nr	3,000	24,000	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Internal Doors						
24	Single leaf WC door incl. ironmongery	6	nr			Excl. Incl. in sanitaryware package
<u>Second Floor</u>						
25	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
26	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
27	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
28	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
29	Double leaf riser door incl. frame and ironmongery	8	nr	3,000	24,000	
30	Single leaf WC door incl. ironmongery	6	nr			Excl. Incl. in sanitaryware package
<u>Third Floor</u>						
31	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
32	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
33	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
34	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
35	Double leaf riser door incl. frame and ironmongery	8	nr	3,000	24,000	
36	Single leaf WC door incl. ironmongery	6	nr			Excl. Incl. in sanitaryware package
<u>Fourth Floor</u>						
37	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
38	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
39	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
40	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
41	Double leaf riser door incl. frame and ironmongery	8	nr	3,000	24,000	
42	Single leaf WC door incl. ironmongery	6	nr			Excl. Incl. in sanitaryware package
<u>Fifth Floor</u>						
43	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
44	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
45	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Internal Doors						
46	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
47	Double leaf riser door incl. frame and ironmongery	8	nr	3,000	24,000	
48	Single leaf WC door incl. ironmongery	6	nr			Excl. Incl. in sanitaryware package
<u>Sixth Floor</u>						
49	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
50	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
51	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
52	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
53	Double leaf riser door incl. frame and ironmongery	8	nr	3,000	24,000	
54	Single leaf WC door incl. ironmongery	6	nr			Excl. Incl. in sanitaryware package
<u>Seventh Floor</u>						
55	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
56	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
57	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
58	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
59	Double leaf riser door incl. frame and ironmongery	8	nr	3,000	24,000	
60	Single leaf WC door incl. ironmongery	6	nr			Excl. Incl. in sanitaryware package
<u>Eighth Floor</u>						
61	Single leaf door incl. frame and ironmongery	4	nr	2,500	10,000	
62	Single leaf and a half door incl. frame and ironmongery	2	nr	3,250	6,500	
63	Double leaf door incl. frame and ironmongery	1	nr	4,000	4,000	
64	Single leaf riser door incl. frame and ironmongery	2	nr	2,000	4,000	
65	Double leaf riser door incl. frame and ironmongery	7	nr	3,000	21,000	
66	Single leaf WC door incl. ironmongery	5	nr			Excl. Incl. in sanitaryware package
<u>Ninth Floor</u>						
67	Single leaf door incl. frame and ironmongery	1	nr	2,500	2,500	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Internal Doors						
68	Single leaf and a half door incl. frame and ironmongery	0	nr	3,250	0	
69	Double leaf door incl. frame and ironmongery	0	nr	4,000	0	
70	Single leaf riser door incl. frame and ironmongery	1	nr	2,000	2,000	
71	Double leaf riser door incl. frame and ironmongery	0	nr	3,000	0	
72	Sliding door to kitchen unit	1	nr	7,500	7,500	
73	Single leaf WC door incl. ironmongery	1	nr			Excl. Incl. in sanitaryware package
Internal Doors carried to summary					518,500	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Wall Finishes						
<u>Basement</u>						
1	Emulsion paint; dulux trade or similar to internal partition	113	m ²	15	1,690	
2	Emulsion paint; dulux trade or similar to blockwork	612	m ²	20	12,230	
3	Porcelain wall tile or similar to WC's / showers	0	m ²	175	0	
<u>Lower Ground Floor</u>						
4	Emulsion paint; dulux trade or similar to internal partition	1,239	m ²	15	18,578	
5	Emulsion paint; dulux trade or similar to blockwork	0	m ²	20	0	
6	Porcelain wall tile or similar to WC's; half height	267	m ²	175	46,757	
7	Allowance for a feature finish to lift reveals; design intent TBC	28	m ²	200	5,680	
8	Allowance for an enhanced finish to lift lobby; design intent TBC	29	m ²	120	3,457	
<u>Ground Floor</u>						
9	Emulsion paint; dulux trade or similar to internal partition	400	m ²	15	6,005	
10	Porcelain wall tile or similar to WC's; half height	13	m ²	175	2,336	
11	Allowance for a feature finish to lift reveals; design intent TBC	23	m ²	200	4,677	
12	Allowance for an enhanced finish to lift lobby; design intent TBC	24	m ²	120	2,898	
13	Allowance for feature wall to reception area; allow 50% of total wall area; design intent TBC	6	m ²	750	4,500	
14	Finishes to retail units & club lounge	0	m ²		Excl.	
<u>First Floor</u>						
15	Emulsion paint; dulux trade or similar to internal partition	473	m ²	15	7,102	
16	Porcelain wall tile or similar to WC's; half height	54	m ²	175	9,429	
17	Allowance for a feature finish to lift reveals; design intent TBC	34	m ²	200	6,847	
18	Allowance for an enhanced finish to lift lobby; design intent TBC	37	m ²	120	4,405	
<u>Second Floor</u>						

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Wall Finishes						
19	Emulsion paint; dulux trade or similar to internal partition	473	m ²	15	7,102	
20	Porcelain wall tile or similar to WC's; half height	54	m ²	175	9,429	
21	Allowance for a feature finish to lift reveals; design intent TBC	34	m ²	200	6,853	
22	Allowance for an enhanced finish to lift lobby; design intent TBC	63	m ²	120	7,526	
<u>Third Floor</u>						
23	Emulsion paint; dulux trade or similar to internal partition	473	m ²	15	7,102	
24	Porcelain wall tile or similar to WC's; half height	54	m ²	175	9,429	
25	Allowance for a feature finish to lift reveals; design intent TBC	34	m ²	200	6,853	
26	Allowance for an enhanced finish to lift lobby; design intent TBC	63	m ²	120	7,526	
<u>Fourth Floor</u>						
27	Emulsion paint; dulux trade or similar to internal partition	473	m ²	15	7,102	
28	Porcelain wall tile or similar to WC's; half height	54	m ²	175	9,429	
29	Allowance for a feature finish to lift reveals; design intent TBC	34	m ²	200	6,847	
30	Allowance for an enhanced finish to lift lobby; design intent TBC	63	m ²	120	7,526	
<u>Fifth Floor</u>						
31	Emulsion paint; dulux trade or similar to internal partition	473	m ²	15	7,102	
32	Porcelain wall tile or similar to WC's; half height	54	m ²	175	9,429	
33	Allowance for a feature finish to lift reveals; design intent TBC	34	m ²	200	6,847	
34	Allowance for an enhanced finish to lift lobby; design intent TBC	63	m ²	120	7,526	
<u>Sixth Floor</u>						
35	Emulsion paint; dulux trade or similar to internal partition	473	m ²	15	7,102	
36	Porcelain wall tile or similar to WC's; half height	54	m ²	175	9,429	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Wall Finishes						
37	Allowance for a feature finish to lift reveals; design intent TBC	34	m ²	200	6,847	
38	Allowance for an enhanced finish to lift lobby; design intent TBC	63	m ²	120	7,526	
<u>Seventh Floor</u>						
39	Emulsion paint; dulux trade or similar to internal partition	473	m ²	15	7,102	
40	Porcelain wall tile or similar to WC's; half height	54	m ²	175	9,429	
41	Allowance for a feature finish to lift reveals; design intent TBC	37	m ²	200	7,343	
42	Allowance for an enhanced finish to lift lobby; design intent TBC	37	m ²	120	4,406	
<u>Eighth Floor</u>						
43	Emulsion paint; dulux trade or similar to internal partition	478	m ²	15	7,174	
44	Porcelain wall tile or similar to WC's; half height	49	m ²	175	8,606	
45	Allowance for a feature finish to lift reveals; design intent TBC	33	m ²	200	6,624	
46	Allowance for an enhanced finish to lift lobby; design intent TBC	48	m ²	120	5,701	
<u>Ninth Floor</u>						
47	Emulsion paint; dulux trade or similar to internal partition	105	m ²	15	1,577	
48	Porcelain wall tile or similar to WC's; half height	24	m ²	175	4,154	
49	Allowance for a feature finish to lift reveals; design intent TBC	5	m ²	200	1,000	
50	Allowance for an enhanced finish to lift lobby; design intent TBC	84	m ²	120	10,046	
Wall Finishes carried to summary					364,286	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Floor Finishes						
<u>Basement</u>						
1	Leveling screed throughout	385	m ²	60	Excl.	
2	Asphalt epoxy paint; watco or similar incl Stair A	385	m ²	50	19,271	
3	MDF skirting incl. paint finish to above	155	m	25	3,875	
<u>Lower Ground Floor</u>						
4	Leveling screed throughout	519	m ²	60	Excl.	
5	Asphalt epoxy paint; watco or similar to BOH areas incl. plant rooms	397	m ²	50	19,866	
6	MDF skirting incl. paint finish to above	282	m	25	7,050	
7	Porcelain floor tile or similar; incl. ditra matting to wet rooms	108	m ²	200	21,524	
8	Tiled skirting incl. s/s trim to changing rooms	82	m	50	4,100	
9	Allowance for a floor finish to Stair A, incl. lobby; assume porcelain tile finish	14	m ²	200	2,761	
10	EO allowance for stair nosings	1	flrs	1,000	1,000	
11	MDF skirting incl. paint finish to above	16	m	25	400	
<u>Ground Floor</u>						
12	Leveling screed throughout	222	m ²	60	Excl.	
13	Asphalt epoxy paint; watco or similar to BOH areas	83	m ²	50	4,138	
14	MDF skirting incl. paint finish to above	117	m	25	2,925	
15	Porcelain floor tile or similar; incl. ditra matting to wet rooms	4	m ²	200	898	
16	Tiled skirting incl. s/s trim to changing rooms	9	m	50	450	
17	Allowance for enhanced floor finish to the main reception incl. Stair A; stone or similar	118	m ²	400	47,104	
18	EO allowance for stair nosings	1	flrs	1,000	1,000	
19	Stone skirting incl. s/s trim to above	68	m	25	1,700	
20	Allowance for a floor finish to Stair B, incl. lobby; assumes hardwood or similar	17	m ²	160	2,641	
21	EO allowance for stair nosings	1	flrs	1,000	1,000	
22	MDF skirting incl. paint finish to above	17	m	25	425	
23	Allowance for entrance matting	1	nr	10,000	10,000	
<u>First Floor</u>						
24	Leveling screed throughout	82	m ²	60	Excl.	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Floor Finishes						
25	Porcelain floor tile or similar; incl. ditra matting to wet rooms	23	m ²	200	4,544	
26	Tiled skirting incl. s/s trim to WC lobby	39	m	50	1,971	
27	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	26	m ²	200	5,161	
28	EO allowance for stair nosings	2	flrs	1,000	2,000	
29	MDF skirting incl. paint finish to above	32	m	25	790	
30	Allowance for a floor finish to main core; assume porcelain tile or similar	33	m ²	200	6,676	
31	MDF skirting incl. paint finish to above	42	m	25	1,040	
<u>Second</u>						
32	Leveling screed throughout	73	m ²	60	Excl.	
33	Porcelain floor tile or similar; incl. ditra matting to wet rooms	24	m ²	200	4,886	
34	Tiled skirting incl. s/s trim to WC lobby	30	m	50	1,521	
35	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	26	m ²	200	5,173	
36	EO allowance for stair nosings	2	flrs	1,000	2,000	
37	MDF skirting incl. paint finish to above	32	m	25	793	
38	Allowance for a floor finish to main core; assume porcelain tile or similar	23	m ²	200	4,531	
39	MDF skirting incl. paint finish to above	38	m	25	947	
<u>Third</u>						
40	Leveling screed throughout	73	m ²	60	Excl.	
41	Porcelain floor tile or similar; incl. ditra matting to wet rooms	24	m ²	200	4,812	
42	Tiled skirting incl. s/s trim to WC lobby	29	m	50	1,470	
43	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	26	m ²	200	5,198	
44	EO allowance for stair nosings	2	flrs	1,000	2,000	
45	MDF skirting incl. paint finish to above	32	m	25	797	
46	Allowance for a floor finish to main core; assume porcelain tile or similar	23	m ²	200	4,514	
47	MDF skirting incl. paint finish to above	38	m	25	944	
<u>Fourth Floor</u>						
48	Leveling screed throughout	72	m ²	60	Excl.	
49	Porcelain floor tile or similar; incl. ditra matting to wet rooms	24	m ²	200	4,811	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Floor Finishes						
50	Tiled skirting incl. s/s trim to WC lobby	32	m	50	1,624	
51	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	26	m ²	200	5,180	
52	EO allowance for stair nosings	2	flrs	1,000	2,000	
53	MDF skirting incl. paint finish to above	32	m	25	791	
54	Allowance for a floor finish to main core; assume porcelain tile or similar	22	m ²	200	4,467	
55	MDF skirting incl. paint finish to above	37	m	25	929	
<u>Fifth Floor</u>						
56	Leveling screed throughout	73	m ²	60	Excl.	
57	Porcelain floor tile or similar; incl. ditra matting to wet rooms	24	m ²	200	4,882	
58	Tiled skirting incl. s/s trim to WC lobby	36	m	50	1,792	
59	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	26	m ²	200	5,174	
60	EO allowance for stair nosings	2	flrs	1,000	2,000	
61	MDF skirting incl. paint finish to above	42	m	25	1,060	
62	Allowance for a floor finish to main core; assume porcelain tile or similar	23	m ²	200	4,603	
63	MDF skirting incl. paint finish to above	38	m	25	947	
<u>Sixth Floor</u>						
64	Leveling screed throughout	73	m ²	60	Excl.	
65	Porcelain floor tile or similar; incl. ditra matting to wet rooms	24	m ²	200	4,790	
66	Tiled skirting incl. s/s trim to WC lobby	30	m	50	1,485	
67	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	26	m ²	200	5,163	
68	EO allowance for stair nosings	2	flrs	1,000	2,000	
69	MDF skirting incl. paint finish to above	32	m	25	788	
70	Allowance for a floor finish to main core; assume porcelain tile or similar	23	m ²	200	4,617	
71	MDF skirting incl. paint finish to above	38	m	25	949	
<u>Seventh Floor</u>						
72	Leveling screed throughout	73	m ²	60	Excl.	
73	Porcelain floor tile or similar; incl. ditra matting to wet rooms	24	m ²	200	4,790	
74	Tiled skirting incl. s/s trim to WC lobby	30	m	50	1,484	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Floor Finishes						
75	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	26	m ²	200	5,173	
76	EO allowance for stair nosings	2	flrs	1,000	2,000	
77	MDF skirting incl. paint finish to above	32	m	25	791	
78	Allowance for a floor finish to main core; assume porcelain tile or similar	23	m ²	200	4,605	
79	MDF skirting incl. paint finish to above	38	m	25	947	
<u>Eighth Floor</u>						
80	Leveling screed throughout	69	m ²	60	Excl.	
81	Porcelain floor tile or similar; incl. ditra matting to wet rooms	19	m ²	200	3,886	
82	Tiled skirting incl. s/s trim to WC lobby	27	m	50	1,328	
83	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	25	m ²	200	5,075	
84	EO allowance for stair nosings	2	flrs	1,000	2,000	
85	MDF skirting incl. paint finish to above	30	m	25	762	
86	Allowance for a floor finish to main core; assume porcelain tile or similar	24	m ²	200	4,769	
87	MDF skirting incl. paint finish to above	40	m	25	989	
<u>Ninth Floor</u>						
88	Leveling screed throughout	46	m ²	60	Excl.	
89	Porcelain floor tile or similar; incl. ditra matting to wet rooms	3	m ²	200	641	
90	Tiled skirting incl. s/s trim to WC lobby	7	m	50	366	
91	Allowance for a floor finish to Stair A&B; assume porcelain tile or similar	10	m ²	200	2,080	
92	EO allowance for stair nosings	2	flrs	1,000	2,000	
93	MDF skirting incl. paint finish to above	13	m	25	329	
94	Allowance for a floor finish to main core; assume porcelain tile or similar	32	m ²	200	6,446	
95	MDF skirting incl. paint finish to above	55	m	25	1,375	
Floor Finishes carried to summary					325,779	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Ceiling Finishes						
<u>Basement</u>						
1	Exposed soffit; allowance for enhanced service layouts	385	m ²	30	11,562	
2	Allowance for paint finish to exposed soffit	385	m ²	50	19,271	
<u>Lower Ground Floor</u>						
3	Exposed soffit; allowance for enhanced service layouts	272	m ²	30	8,174	
4	Allowance for paint finish to exposed soffit	272	m ²	50	13,623	
5	Accessible ceiling; SAS plank system or similar to BOH lobby	164	m ²	130	21,347	
6	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	82	m ²	110	9,029	
<u>Ground Floor</u>						
7	Exposed concrete soffit; allowance for enhanced service layouts to bin store and cycle lift	42	m ²	30	1,249	
8	Allowance for paint finish to exposed soffit	42	m ²	50	2,081	
9	Accessible ceiling; SAS plank system or similar to BOH lobby	5	m ²	130	644	
10	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	66	m ²	110	7,255	
11	Enhanced ceiling finish to reception area; timber baffles or similar	109	m ²	325	35,422	
<u>First Floor</u>						
12	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	82	m ²	110	9,011	
<u>Second Floor</u>						
13	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	73	m ²	110	8,026	
<u>Third Floor</u>						
14	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	73	m ²	110	7,988	
<u>Fourth Floor</u>						

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Ceiling Finishes						
15	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	73	m ²	110	8,064	
<u>Fifth Floor</u>						
16	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	73	m ²	110	8,063	
<u>Sixth Floor</u>						
17	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	73	m ²	110	8,015	
<u>Seventh Floor</u>						
18	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	73	m ²	110	8,014	
<u>Eighth Floor</u>						
19	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	69	m ²	110	7,553	
<u>Ninth Floor</u>						
20	Suspended plasterboard ceiling to lift lobby, stairs and WC's incl. paint finish and access hatches	46	m ²	110	5,044	
Ceiling Finishes carried to summary					199,431	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Fittings, Furnishings & Equipment						
<u>Reception</u>						
1	Allowance for reception desk	1	psum	35,000	35,000	
2	Allowance for 90 min fire curtain to reception staircore					
3	Allowance for 90 min fire curtain to reception lift core	3	m	5,000	13,000	
7		7	m	5,000	33,250	
4	Allowance for building directory signage	1	psum	10,000	10,000	
5	Loose furniture allowance	1	psum		Excl.	Client direct
6	General artwork	1	item		Excl.	
7	Allowance for turnstiles	1	item		Excl.	
<u>EOJ - Lower Ground Floor</u>						
8	Allowance for graphics and wayfinding signage	1	psum	15,000	15,000	
9	Allowance for white line markings	1	psum	5,000	5,000	
10	Bike repair station	1	psum	5,000	5,000	
11	Allowance for sheffield bike stand	12	nr	450	5,400	
12	Allowance for double stacked bike racks	100	nr	600	60,000	
13	Allowance for changing room lockers	58	nr	750	43,500	
14	Allowance for cycle lockers	10	nr	900	9,000	
15	Allowance for folding cycle lockers	7	nr	1,000	7,000	
16	Allowance for towel drop feature to changing rooms	2	nr	1,000	2,000	
17	Allowance for water filling station	1	nr	1,500	1,500	
18	E-Bike charging points	2	nr		Incl.	
19	Allowance for vending machine	1	item		Excl.	
20	Joinery allowance to changing rooms	1	item		Excl.	
<u>General</u>						
21	Allowance for graphics and wayfinding signage to Stair A	12	flrs	1,000	12,000	
22	Statutory signage	12	flrs	1,500	18,000	
23	Allowance for manual blinds	1	item		Excl.	
Fittings, Furnishings & Equipment carried to summary					274,650	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Sanitaryware Appliances						
1	Cistern and frame; assumes mid spec	43	nr	450	19,350	
2	WC pan and cover; assumes mid spec	43	nr	550	23,650	
3	Doc M Pack; assumes mid spec	10	nr	3,000	30,000	
4	Flush plate; assumes mid spec	53	nr	450	23,850	
5	Paper Holder; assumes mid spec	53	nr	150	7,950	
6	Toilet brush holder; assumes mid spec	53	nr	100	5,300	
7	Tap; assumes mid spec	46	nr	350	16,100	
8	Soap dispenser; assumes mid spec	46	nr	200	9,200	
9	Towel dispenser; assumes mid spec	46	nr	120	5,520	
10	Coat hook; assumes mid spec	53	nr	40	2,120	
11	Door stop; assumes mid spec	53	nr	40	2,120	
12	Bottle trap; assumes mid spec	46	nr	200	9,200	
13	Waste outlet; assumes mid spec	46	nr	180	8,280	
14	Vanity unit; off the shelf system	2	nr	15,000	30,000	
15	Mirror unit; off the shelf system	53	nr	500	26,500	
16	Full height mirror; off the shelf system	2	nr	1,200	2,400	
17	Cubicle system; maxwood or similar	53	nr	3,500	185,500	
18	Allowance for waste bin	53	nr	100	5,300	
19	Shower set incl. wall mounted head	11	nr	750	8,250	
20	Shower tray; assumes mid spec	11	nr	500	5,500	
21	Shower drain; assumes mid spec	11	nr	200	2,200	
22	Glazed shower screen; assumes mid spec	11	nr	1,500	16,500	
23	Changing bench; non bespoke	3	nr	1,000	3,000	
24	Shower bench; non bespoke	11	nr	500	5,500	
25	Allowance for hair dryer	11	nr	250	2,750	
26	Cleaner sinks; assumes mid spec	2	nr	500	1,000	
Sanitaryware Appliances carried to summary					457,040	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
Sanitaryware appliances						
1	Installation of sanitaryware	135	nr	180	24,300	
2	Testing and commissioning @ 3.5%	1	Item		851	
3	Sub-contractor's construction preliminaries @ 12%	1	Item		3,018	
4	Services equipment	1	Item		N/A	
Disposal installations						
<u>Rainwater installation</u>						
5	Rainwater installations	7,096	m ²	10	70,962	
6	Acoustic insulation through office areas	1	Item	20,000	20,000	
<u>Condensate drainage installations</u>						
7	Condensate collections from landlords mechanical plant	7,096	m ²	3	21,289	
<u>Sanitation distribution</u>						
8	Existing vertical pipework	1	Item		Excl.	
9	Extension of main vertical stack pipework	1	Item	10,000	10,000	
10	New sanitation collections from sanitaryware	7,096	m ²	15	106,443	
<u>General items</u>						
11	Greywater / rainwater harvesting	1	Item		Excl.	
12	Testing and commissioning @ 3.5%	1	Item		8,004	
13	Sub-contractor's construction preliminaries @ 12%	1	Item		28,404	
14	Sub-contractors OH&P	1	item		Incl.	
Water installations						
<u>MCWS installation</u>						
15	New MCWS to tanks / plant equipment	7,096	m ²	3	17,740	
<u>Cold water installation</u>						
16	Cold water distribution to sanitary ware	7,096	m ²	25	177,404	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
<u>Hot water installation</u>						
17	Hot water distribution to sanitary ware	7,096	m ²	24	170,308	
<u>CAT-5 Water systems</u>						
18	CAT-5 Water systems	1	Item	30,000	30,000	
<u>General items</u>						
19	Thermal insulation, cladding & weatherproofing	1	Item		Incl.	
20	Irrigation systems	1	Item		Excl.	
21	Water softening / conditioning	1	Item		Excl.	
22	Testing and commissioning @ 3.5%	1	Item		13,841	
23	Sub-contractor's construction preliminaries @ 12%	1	Item		49,115	
24	Sub-contractors OH&P	1	Item		Incl.	
25	Heat source	1	Item		N/A	
Space heating and air treatment						
<u>Space heating</u>						
26	ASHP - Full air conditioning (4-Pipe LTHW / CHW System)	7,096	m ²	195	1,383,753	
27	Acoustic enclosures to ASHPs	2	nr	25,000	50,000	
<u>General items</u>						
28	VRF (Split System) Installations	1	Item		Excl.	
29	Leak detection	1	Item		Excl.	
30	Mechanical water pipework metering	7,096	m ²	3	17,740	
31	Riser bracketry and secondary steelwork / stepovers / big foots / supports	1	Item		Excl.	
32	Testing and commissioning @ 3.5%	1	Item		50,802	
33	Sub-contractor's construction preliminaries @ 12%	1	Item		180,276	
34	Sub-contractors OH&P	1	Item		Incl.	
Air side ventilation systems						

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
<u>Ventilation</u>						
35	FAI/EXH risers to LGF (changing room MVHR feed only)	7,096	m ²	4	28,385	
36	MVHR & FCUs to amenity areas	7,096	m ²	9	63,866	
37	Bin / refuse & cycle store extract ventilation	7,096	m ²	4	24,837	
38	WC ventilation	7,096	m ²	12	85,154	
<u>General items</u>						
39	Fire / smoke extract systems (COLT type etc.)	1	Item		Excl.	
40	Stairwell Fire/ Smoke Extract Systems (COLT type etc.)	1	Item	15,000	15,000	
41	New roof level AOV	1	Item	10,000	10,000	
42	Basement smoke ventilation system (Fire rated Ductwork)	1	Item	100,000	100,000	
43	Future retail unit ductwork / plant	1	Item		Excl.	
44	Future bar area ductwork / plant	1	Item		Excl.	
45	Louvres / motorised louvres	1	Item		Excl.	
46	Testing and commissioning @ 3.5%	1	Item		11,453	
47	Sub-contractor's construction preliminaries @ 12%	1	Item		40,643	
48	Sub-contractors OH&P	1	Item		Incl.	
Electrical installations						
<u>HV installation</u>						
49	Incoming power connection	1	Item		Excl.	
50	Utility meter	1	Item		Excl.	
51	Fit-Out/modifications to existing UKPN room	1	Item		Excl.	
52	Allowance for utility liaising	1	Item		Incl.	
53	Transformers	1	Item		Excl.	
54	Main building LV connection (from UKPN to new main switchgear)	1	Item		Incl.	
<u>Generators & Life Safety</u>						
55	New life safety generator	800	kVA	330	264,000	
56	2-hour fire rated acoustic enclosure to generator	1	Item		Excl.	
57	Load bank connection	1	Item	10,000	10,000	
58	New life safety switchgear	1	Item	30,000	30,000	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
59	LS sub mains cabling & ATS	7,096	m ²	6	42,577	
<u>LV installation</u>						
60	New LV switchgear	1	Item	90,000	90,000	
61	Surge protection	1	Item	2,000	2,000	
<u>Sub-mains distribution</u>						
62	Rising busbar	1	Item	50,000	50,000	
63	Mechanical power supplies	7,096	m ²	8	56,769	
64	Sub mains cabling	7,096	m ²	12	85,154	
65	Containment	7,096	m ²	12	85,154	
66	Office lighting / small power distribution boards	8	nr	4,000	32,000	
<u>Small power</u>						
67	General LV small power	7,096	m ²	15	106,443	
68	Door access power	1	Item	7,500	7,500	
<u>Electric heating</u>						
69	Electric underfloor heating	1	Item		Excl.	
70	Additional electric radiators to stairs / BOH areas	1	Item		Excl.	
71	POU Water heaters / ZIP Taps	1	Item		Excl.	
<u>Lighting</u>						
72	External lighting	1	Item		Excl.	
73	Landlords lighting	7,096	m ²	27	191,597	
74	Lighting control	7,096	m ²	10	70,962	
75	Emergency lighting & escape signage	7,096	m ²	10	70,962	
76	Feature lighting to reception and club lounge	267	m ²	200	53,326	
77	Circadian lighting	1	Item		Excl.	
<u>General Items</u>						
78	Earthing and bonding	7,096	m ²	5	35,481	
79	Fire rated enclosures to switchgear / ATS	1	Item		Excl.	
80	Fire rated enclosures to life safety cable feeds	1	Item		Excl.	
81	EV Charging provision	1	Item		Excl.	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
82	Electric cycle chargers	2	nr	1,500	3,000	
83	Testing and commissioning @ 3.5%	1	Item		45,042	
84	Sub-contractor's construction preliminaries @ 12%	1	Item		159,836	
85	Sub-contractors OH&P	1	Item		Incl.	
86	Gas /fuel installations	1	Item		N/A	
Lift installations						
87	New passenger / goods lift PL1; lower ground to level 9	11	flrs	15,000	165,000	
88	New passenger lift PL2; lower ground to level 9	10	flrs	15,000	150,000	
89	New passenger lift PL3; ground to level 8	9	flrs	15,000	135,000	
90	Fire fighters lift; lower ground to level 9	9	flrs	12,500	112,500	
91	New cycle lift; lower ground to ground	2	flrs	20,000	40,000	
Protective installations						
<u>Sprinkler systems</u>						
92	Sprinkler installation	7,096	m ²	35	248,366	
<u>Dry riser</u>						
93	Landing valves	18	nr	2,500	45,000	
94	Twin breeching inlet valve	2	nr	3,000	6,000	
<u>General items</u>						
95	Lightning protection	7,096	m ²	3	21,289	
96	Testing and commissioning @ 3.5%	1	Item		11,223	
97	Sub-contractor's construction preliminaries @ 12.5%	1	Item		41,485	
98	Sub-contractors OH&P	1	Item		Incl.	
Communication installations						
<u>Fire / smoke detection systems</u>						
99	Fire alarm protection	7,096	m ²	15	106,443	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
<u>PA / VA</u>						
100	PA / VA	1	Item		Incl.	
<u>Disabled facilities</u>						
101	Disabled refuge intercom	20	nr	2,000	40,000	
102	Disabled WC pull-cord alarm	11	nr	2,500	27,500	
<u>Access control / EACS</u>						
103	Assumed Access Control Doors - Basement	5	no	1,500	7,500	
104	Assumed Access Control Doors - LGF	7	no	1,500	10,500	
105	Assumed Access Control Doors - GF	17	no	1,500	25,500	
106	Assumed Access Control Doors - Level 1	5	no	1,500	7,500	
107	Assumed Access Control Doors - Level 2	4	no	1,500	6,000	
108	Assumed Access Control Doors - Level 3	4	no	1,500	6,000	
109	Assumed Access Control Doors - Level 4	4	no	1,500	6,000	
110	Assumed Access Control Doors - Level 5	3	no	1,500	4,500	
111	Assumed Access Control Doors - Level 6	5	no	1,500	7,500	
112	Assumed Access Control Doors - Level 7	5	no	1,500	7,500	
113	Assumed Access Control Doors - Level 8	6	no	1,500	9,000	
114	Assumed Access Control Doors - Level 9	8	no	1,500	12,000	
<u>Security installation</u>						
115	Security installations	7,096	m ²	2	10,644	
<u>CCTV</u>						
116	CCTV Installations	20	nr	2,000	40,000	
<u>Telecoms</u>						
117	Telecoms	7,096	m ²	6	42,577	
<u>IT & data installations</u>						
118	IT & data installations	7,096	m ²	6	42,577	
<u>General items</u>						
119	AV installations	1	Item		Excl.	

SHELL & CORE WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
120	Wi-Fi	1	Item		Excl.	
121	Mobile phone booster	1	Item		Excl.	
122	Testing and commissioning @ 3.5%	1	Item		14,673	
123	Sub-contractor's construction preliminaries @ 12.5%	1	Item		54,239	
124	Sub-contractors OH&P	1	Item		Incl.	
Special installations (shell & core)						
<u>Building Management System (BMS)</u>						
125	BMS	7,096	m ²	22	156,116	
<u>Energy Management System (EMS)</u>						
126	EMS	7,096	m ²	5	35,481	
<u>General / Misc. Items</u>						
127	CNS	1	Item	292,000	292,000	
128	SMART Building platform	1	Item	35,000	35,000	
129	MSI	1	Item	76,000	76,000	
130	Passive mixed mode openable window allowance	1	Item	45,000	45,000	
131	Provisional allowance for underfloor services to pavilion	1	psum	50,000	50,000	
132	Testing and commissioning @ 3.5%	1	Item		24,136	
133	Sub-contractor's construction preliminaries @ 12%	1	Item		85,648	
134	Sub-contractors OH&P	1	Item		Incl.	
135	BWIC @ 4%	1	Item		262,751	
Mechanical And Electrical Services carried to summary					6,831,536	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	TOTAL (£)	£/m ²	£/ft ²	%
1	Wall Finishes	0			
2	Floor Finishes	224,784	32	3	6
3	Ceiling Finishes	781,152	110	10	21
4	Fittings, Furnishings & Equipment	13,500	2	0	0
5	Mechanical and Electrical Services	2,712,095	382	36	73
Category A Fit Out Works carried to summary		3,731,531	526	49	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Wall Finishes						
1	Wall Finishes	1	item		Incl.	
Wall Finishes carried to summary					0	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Floor Finishes						
<u>First Floor</u>						
1	Leveling screed to NIA	508	m ²	60	Excl.	
2	Raised access floor; reuse existing	508	m ²	40	20,319	
3	Recessed MDF skirting incl. decoration	113	m	25	2,825	
4	Allowance for fire barriers (assume every 20m)	12	m	50	601	
<u>Second Floor</u>						
5	Leveling screed to NIA	568	m ²	60	Excl.	
6	Raised access floor; reuse existing	568	m ²	40	22,726	
7	Recessed MDF skirting incl. decoration	112	m	25	2,800	
8	Allowance for fire barriers (assume every 20m)	14	m	50	721	
<u>Third Floor</u>						
9	Leveling screed to NIA	568	m ²	60	Excl.	
10	Raised access floor; reuse existing	568	m ²	40	22,737	
11	Recessed MDF skirting incl. decoration	112	m	25	2,800	
12	Allowance for fire barriers (assume every 20m)	14	m	50	720	
<u>Fourth Floor</u>						
13	Leveling screed to NIA	568	m ²	60	Excl.	
14	Raised access floor; reuse existing	568	m ²	40	22,720	
15	Recessed MDF skirting incl. decoration	112	m	25	2,800	
16	Allowance for fire barriers (assume every 20m)	14	m	50	719	
<u>Fifth Floor</u>						
17	Leveling screed to NIA	597	m ²	60	Excl.	
18	Raised access floor; reuse existing	597	m ²	40	23,894	
19	Recessed MDF skirting incl. decoration	116	m	25	2,900	
20	Allowance for fire barriers (assume every 20m)	14	m	50	718	
<u>Sixth Floor</u>						
21	Leveling screed to NIA	563	m ²	60	Excl.	
22	Raised access floor; reuse existing / part new	563	m ²	50	28,129	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Floor Finishes						
23	Recessed MDF skirting incl. decoration	114	m	25	2,850	
24	Allowance for fire barriers (assume every 20m)	13	m	50	668	
<u>Seventh Floor</u>						
25	Leveling screed to NIA	531	m ²	60	Excl.	
26	Raised access floor; reuse existing / part new	531	m ²	50	26,528	
27	Recessed MDF skirting incl. decoration	112	m	25	2,800	
28	Allowance for fire barriers (assume every 20m)	12	m	50	617	
<u>Eighth Floor</u>						
29	Leveling screed to NIA	333	m ²	60	Excl.	
30	Raised access floor; assumed recycled	333	m ²	70	23,319	
31	Recessed MDF skirting incl. decoration	103	m	25	2,575	
32	Allowance for fire barriers (assume every 20m)	8	m	50	381	
<u>Ninth Floor (Roof Pavilion)</u>						
33	Leveling screed to NIA	82	m ²	60	Excl.	
34	Raised access floor; assumed recycled	82	m ²	70	5,771	
35	Recessed MDF skirting incl. decoration	46	m	25	1,149	
36	Allowance for fire barriers (assume every 20m)	0	m	50	0	
Floor Finishes carried to summary					224,784	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Ceiling Finishes						
<u>First Floor</u>						
1	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	0	m ²	110	0	
2	Exposed soffit; allowance for enhanced service layouts	508	m ²	30	15,239	
3	Allowance for paint to exposed soffit to above	508	m ²	50	25,398	
4	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	152	m ²	300	45,717	
<u>Second Floor</u>						
5	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	0	m ²	110	0	
6	Exposed soffit; allowance for enhanced service layouts	568	m ²	30	17,045	
7	Allowance for paint to exposed soffit to above	568	m ²	50	28,408	
8	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	170	m ²	300	51,134	
<u>Third Floor</u>						
9	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	0	m ²	110	0	
10	Exposed soffit; allowance for enhanced service layouts	568	m ²	30	17,053	
11	Allowance for paint to exposed soffit to above	568	m ²	50	28,421	
12	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	171	m ²	300	51,158	
<u>Fourth Floor</u>						
13	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	0	m ²	110	0	
14	Exposed soffit; allowance for enhanced service layouts	568	m ²	30	17,040	
15	Allowance for paint to exposed soffit to above	568	m ²	50	28,400	
16	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	170	m ²	300	51,121	
<u>Fifth Floor</u>						
17	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	0	m ²	110	0	
18	Exposed soffit; allowance for enhanced service layouts	597	m ²	30	17,921	
19	Allowance for paint to exposed soffit to above	597	m ²	50	29,868	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Ceiling Finishes						
20	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	179	m ²	300	53,762	
<u>Sixth Floor</u>						
21	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	204	m ²	110	22,493	
22	Exposed soffit; allowance for enhanced service layouts	358	m ²	30	10,743	
23	Allowance for paint to exposed soffit to above	358	m ²	50	17,905	
24	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	107	m ²	300	32,228	
<u>Seventh Floor</u>						
25	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	171	m ²	110	18,763	
26	Exposed soffit; allowance for enhanced service layouts	360	m ²	30	10,799	
27	Allowance for paint to exposed soffit to above	360	m ²	50	17,999	
28	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	108	m ²	300	32,398	
<u>Eighth Floor</u>						
29	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	133	m ²	110	14,670	
30	Exposed soffit; allowance for enhanced service layouts	200	m ²	30	5,993	
31	Allowance for paint to exposed soffit to above	200	m ²	50	9,988	
32	Allowance for raft ceiling to CAT A; assumes 30% of ceiling area	60	m ²	300	17,978	
<u>Ninth Floor</u>						
33	Suspended plasterboard ceiling incl. paint finish to newly formed extensions	82	m ²	110	9,069	
34	Exposed soffit; allowance for enhanced service layouts	0	m ²	30	0	
35	Allowance for paint to exposed soffit to above	0	m ²	50	0	
36	Enhanced fit out allowance to pavilion; mid spec excl. loose furniture and joinery	82	m ²	1,000	82,442	
Ceiling Finishes carried to summary					781,152	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Fittings, Furnishings & Equipment						
1	Escape signage to office floors	9	flrs	1,500	13,500	
2	Tea point / pantry	9	flrs		Excl.	
3	Manually operated drop down roller blind with system compatible blind box	1	item		Excl.	
Fittings, Furnishings & Equipment carried to summary					13,500	

CATEGORY A FIT OUT WORKS

ITEM	DESCRIPTION	QUANTITY	UNIT	RATE	TOTAL (£)	COMMENTS
Mechanical and Electrical Services						
1	Sanitaryware Appliances	1	item		Excl.	
Disposal Installation						
2	Soil waste & vent	1	item		Excl.	
3	Condensate collections from mechanical equipment	165	nr	200	33,000	
4	Water Installation	1	item		Excl.	
Space Heating & Air treatment						
5	MVHRs	51	nr	2,750	140,250	
6	FCUs	114	nr	1,500	171,000	
7	CHW pipework to FCUs	114	nr	1,950	222,300	
8	LTHW pipework to FCUs	114	nr	1,500	171,000	
9	Thermal insulation	1	item	59,850	59,850	
10	Leak detection	1	item		Excl.	
Ventilation Installation						
11	MVHR fresh air ductwork; assumes 200 x 150mm average	311	m	200	62,200	
12	MVHR supply air ductwork; assumes 200 x 150mm average	695	m	200	139,000	
13	MVHR return air ductwork; assumes 200 x 150mm average	28	m	200	5,600	
14	MVHR exhaust air ductwork; assumes 200 x 150mm average, 5m per apartment	367	m	200	73,400	
15	FCU secondary ductwork	570	m	160	91,200	
16	Thermal insulation	1	item	62,000	62,000	
17	Grilles, bell mouths & diffusers	1	item		Incl.	
Electrical Installation						
18	Mechanical power supplies	4,476	m ²	15	67,140	
19	Containment	4,476	m ²	8	35,808	
20	Small power	4,476	m ²	20	89,520	
Lighting installations						
21	CAT A strip lighting	517	nr	800	413,600	
22	CAT A CORE Perimeter Lighting	4,476	m ²	18	80,568	