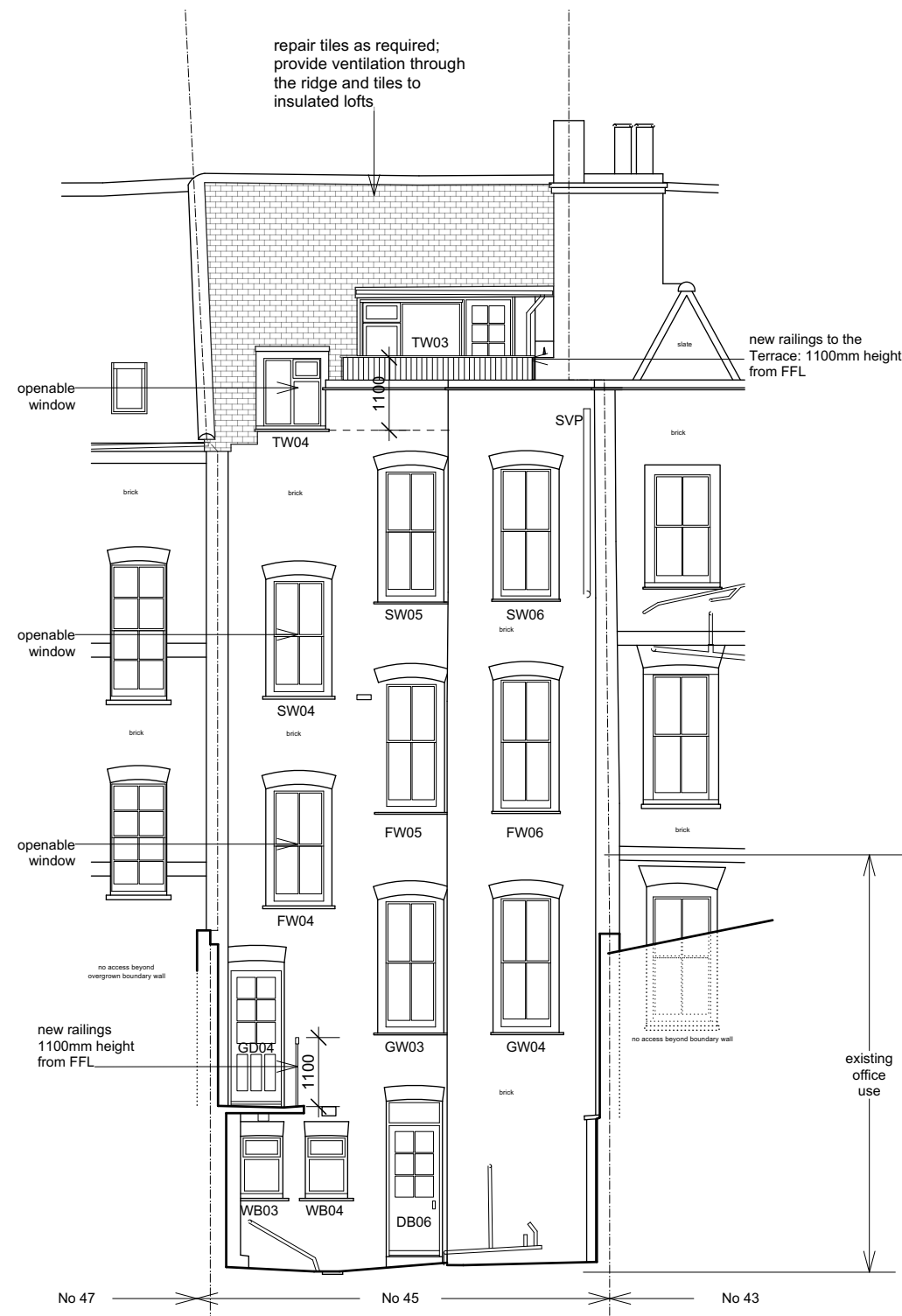
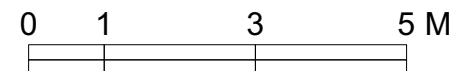




01  
103  
Proposed Front Elevation  
1:100@A3; 1:50@A1



02  
103  
Proposed Rear Elevation  
1:100@A3; 1:50@A1



## Notes

### KEY

### FLATS GENERALLY:

- \* drainage provision as existing
- \* new plumbing/electrical systems
- \* new fittings & finishes in kitchens
- \* new fittings & finishes in bathrooms. Where panelling exists, to be lined with Aquapanel board - or similar - and tiles).
- \* new meters to each flat
- \* new lighting circuits & fittings
- \* after repairs are carried out redecorate walls, ceilings and internal joinery throughout.

### REPAIRS - GENERALLY:

- \*Floorboards: lift up floorboards to repair/fill in gaps
- \*Stairwell: repair to steps, handrails
- \*Stairwell panelling: repairs prior to any fire proofing
- \*Windows: overhaul/draughtstripping (additional allowance for secondary glazing)
- \*Doors: repair & refurbish in accordance to the fireproofing strategy. Refer to **Door Schedule** submitted
- \*Fireplaces not to be brought back in use. Reinstall surrounds, grates and hearths for aesthetic purposes only.
- \*All internal panelling where exposed within flats repair prior to any fire proofing.
- \*Cornices/skirtings repair (where missing sections, or redundant sockets are removed, intersection with unsympathetic cabling/pipework...) & make good
- \*Ceilings: lath & plaster repairs. Some rooms have artex, it may be more economical to leave (if without asbestos).

B	Annotations revised	17/05/2024
A	Heating system updated	10/05/2024

### Revisions

## PLANNING

45 Great Ormond Street  
London, WC1N 3HZ

### Proposed Front and Rear Elevations

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Date 05/04/2024	Scale 1:100@A3 1:50@A1	Job No. 2203	Dwg No. <b>L (45)103</b>	Rev B
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