

## FIRE STRATEGY (refer to Specialist report)

Install common fire alarm & smoke detection system Emergency lighting

\* Fire safety signs

'Simultaneous Evacuation Strategy' in place

Replace all lobby doors with new FD30 doors. New doors to be of panelled design with heritage brass fire-rated hinges and smoke seals

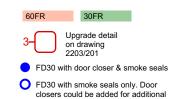
Existing panelling: upgrade to be applied to the room side of the wall, party to the communal escape route.

Existing panelling on staircase side and on party wall: treat with a fire rated coating to achieve Class 0 or Classification B:s1:d0 spread of flame protection Envirograf - 2xcoats Q/VFR/C (clear) fire rated @10m2 per litre per coat. Supplied as 50% requirement labelled C1 (1st coat) and 50% labelled C2 (2nd coat). No need for top coat

nage Existing studwork/panelling partition to be 30FR - applied to the room side of the wall, party to the communal escape route. Door FR30 upgrade

to ceiling but yes to walls to protect against wear/da

(PART B - FIRE RESISTANCE)



protection

\* new fittings & finishes in kitchens

\* new fittings & finishes in bathrooms. Where panelling exists, to be lined with Aquapanel board -

- \* after repairs are carried out redecorate walls, ceilings and internal joinery throughout.

## **REPAIRS - GENERALLY:**

\*Floorboards: lift up floorboards to repair/fill in gaps

\*Stairwell panelling: repairs prior to any fire proofing

\*Windows: overhaul/draughtstripping (additional allowance for secondary glazing)

\*Doors: repair & refurbish in accordance to the fireproofing strategy. Refer to Door Schedule

\*Fireplaces not to be brought back in use. Reinstate surrounds, grates and hearths for aestethic

\*All internal panelling where exposed within flats

\*Cornices/skirtings repair (where missing sections, or redundant sockets are removed, intersection with unsympathetic cabling/pipework...) & make good

\*Ceilings: lath & plaster repairs. Some rooms have artex, it may be more economical to leave (if without

Flat 1 - 1Bed 1p - 43.70sqm Flat 2 - 1Bed 1p - 43.80sqm Flat 3 - 1Bed 1p - 39.70qm

17/05/2024 10/05/2024

## PLANNING

Proposed First, Second and

ROGER MEARS ARCHITECTSLLP Union Chapel, Compton Avenue London N1 2XD

rma@rmears.co.uk www.rmears.co.uk	-	tel 020 7359 8222 © Roger Mears Architects LLP	
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