



FIRE STRATEGY

(refer to Specialist report)

- \* Install common fire alarm & smoke detection system
- \* Emergency lighting
- \* Fire safety signs

'Simultaneous Evacuation Strategy' in place

Replace all lobby doors with new FD30 doors. New doors to be of panelled design with heritage brass fire-rated hinges and smoke seals

REQUIREMENT FOR STRUCTURE  
(PART B - FIRE RESISTANCE)

60FR 30FR

3 Upgrade detail on drawing 2203/201

- FD30 with door closer & smoke seals
- FD30 with smoke seals only. Door closers could be added for additional protection

Existing panelling: upgrade to be applied to the room side of the wall, party to the communal escape route.

Existing panelling on staircase side and on party wall: treat with a fire rated coating to achieve Class 0 or Classification B:s1:d0 spread of flame protection Envirograf - 2xcoats Q/VFR/C (clear) fire rated @10m2 per litre per coat. Supplied as 50% requirement labelled C1 (1st coat) and 50% labelled C2 (2nd coat). No need for top coat to ceiling but yes to walls to protect against wear/damage

Existing studwork/panelling partition to be 30FR - applied to the room side of the wall, party to the communal escape route. Door FR30 upgrade