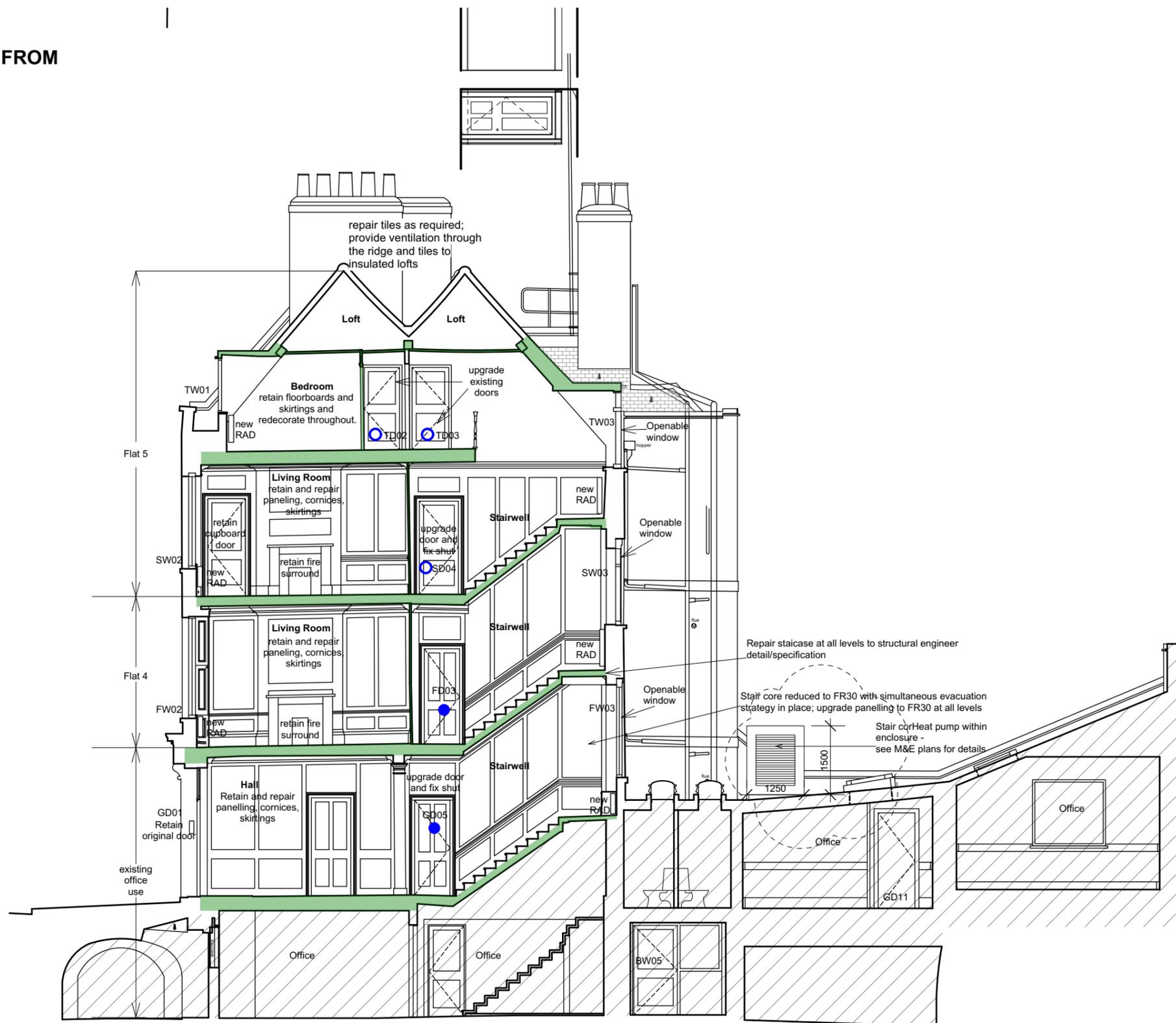


AREA EXCLUDED FROM APPLICATION



01 Proposed Section A  
105 1:100@A3; 1:50@A1

Notes

- KEY**
- existing structure
- FLATS GENERALLY:**
- \* drainage provision as existing
  - \* new plumbing/electrical systems
  - \* new fittings & finishes in kitchens
  - \* new fittings & finishes in bathrooms. Where panelling exists, to be lined with Aquapanel board - or similar - and tiles).
  - \* new meters to each flat
  - \* new lighting circuits & fittings
  - \* after repairs are carried out redecorate walls, ceilings and internal joinery throughout.

- REPAIRS - GENERALLY:**
- \*Floorboards: lift up floorboards to repair/fill in gaps
  - \*Stairwell: repair to steps, handrails
  - \*Stairwell panelling: repairs prior to any fire proofing
  - \*Windows: overhaul/draughtstripping (additional allowance for secondary glazing)
  - \*Doors: repair & refurbish in accordance to the fireproofing strategy. Refer to **Door Schedule** submitted
  - \*Fireplaces not to be brought back in use. Reinstall surrounds, grates and hearths for aesthetic purposes only.
  - \*All internal panelling where exposed within flats repair prior to any fire proofing.
  - \*Cornices/skirtings repair (where missing sections, or redundant sockets are removed, intersection with unsympathetic cabling/pipework...) & make good
  - \*Ceilings: lath & plaster repairs. Some rooms have artex, it may be more economical to leave (if without asbestos).

C	Location of heat pump amended	10/06/2024
B	Annotations revised	17/05/2024
A	Heating system updated	10/05/2024

Revisions

**PLANNING**

51 Great Ormond Street  
London, WC1N 3HZ

Proposed Section A

**ROGER MEARS ARCHITECTS LLP**  
Union Chapel, Compton Avenue London N1 2XD

rma@rmears.co.uk tel 020 7359 8222  
www.rmears.co.uk © Roger Mears Architects LLP

Date	Scale
02/04/2024	1:100@A3 1:50@A1

Job No.	Dwg No.	Rev
2203	L (51)105	C

- FIRE STRATEGY**  
(refer to Specialist report)
- \* Install common fire alarm & smoke detection system
  - \* Emergency lighting
  - \* Fire safety signs

'Simultaneous Evacuation Strategy' in place

Replace all lobby doors with new FD30 doors. New doors to be of panelled design with heritage brass fire-rated hinges and smoke seals

- Existing panelling:** upgrade to be applied to the room side of the wall, party to the communal escape route.
- Existing panelling on staircase side and on party wall:** treat with a fire rated coating to achieve Class 0 or Classification B:s1:d0 spread of flame protection Envirograf - 2xcoats Q/VFR/C (clear) fire rated @10m2 per litre per coat. Supplied as 50% requirement labelled C1 (1st coat) and 50% labelled C2 (2nd coat). No need for top coat to ceiling but yes to walls to protect against wear/damage
- Existing studwork/panelling partition to be 30FR** - applied to the room side of the wall, party to the communal escape route. Door FR30 upgrade

REQUIREMENT FOR STRUCTURE (PART B - FIRE RESISTANCE)

- 60FR
- 30FR
- Upgrade detail on drawing 2203/201
- FD30 with door closer & smoke seals
- FD30 with smoke seals only. Door closers could be added for additional protection