

Flat A, 43 Dartmouth Park Hill, NW5 1HU -
2024/0369/P



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Site photos & Plans – Flat A 43 Dartmouth Park Hill – 2024/0369/P



Figure 1: Aerial image of application site. Aerial image shows context of rear gardens and rear elevations of neighbouring properties.



Figure 2: Application site when viewed from across the street (middle terrace).



Figure 3: Rear elevation of application site. image shows No. 45 window and height difference, and application site hardstand area.

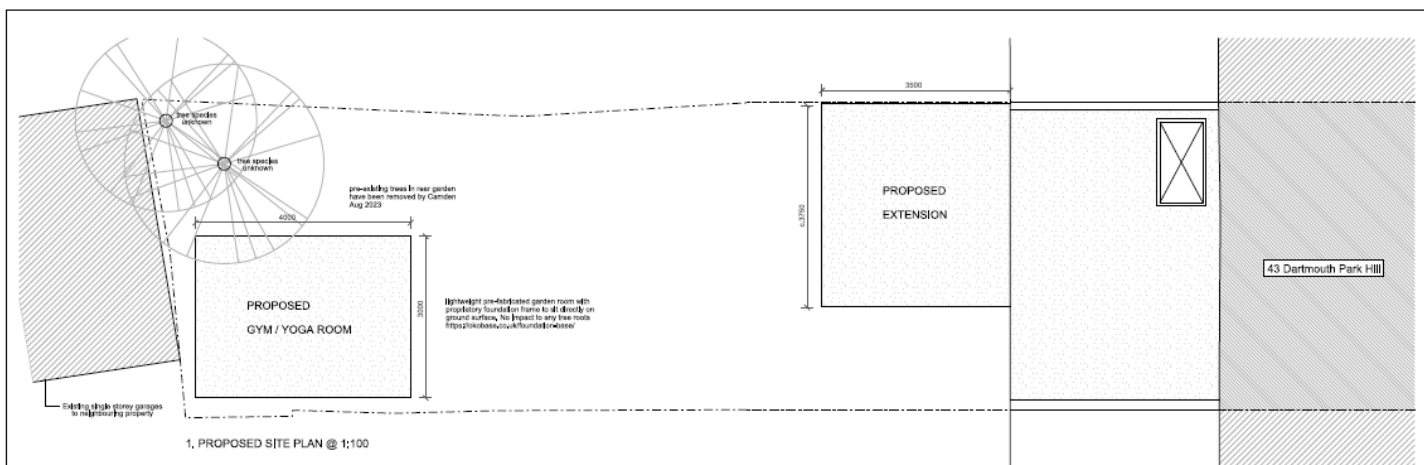


Figure 4: Proposed site plan showing rear extension, and outbuilding.

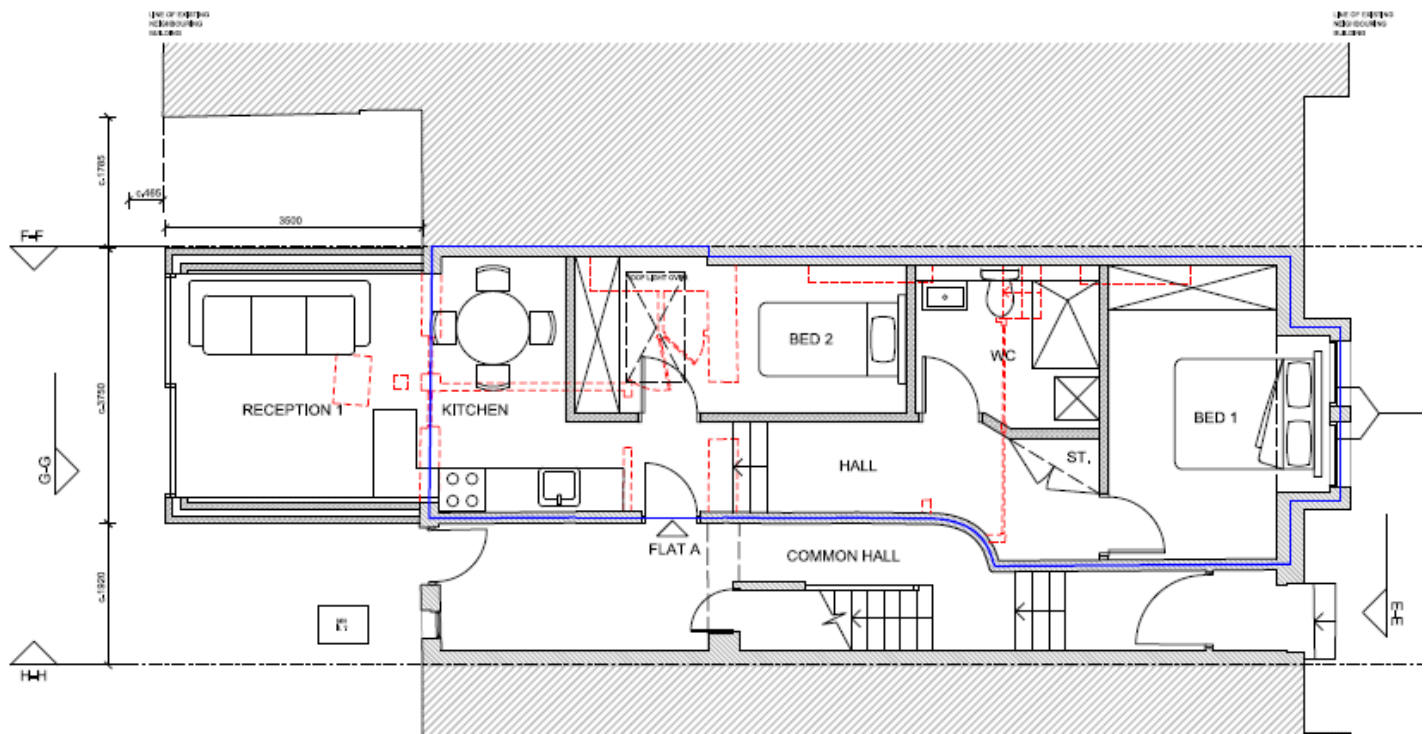
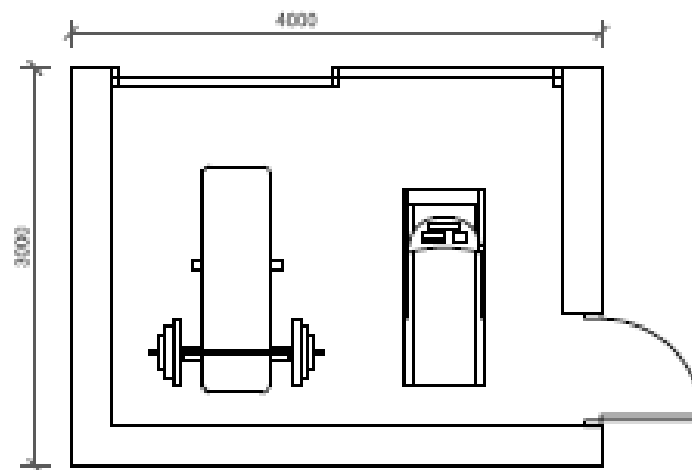


Figure 5: Proposed ground floor plan (rear extension).



2. OUTBUILDING FLOOR PLAN

Figure 6: Proposed floor plan (outbuilding).

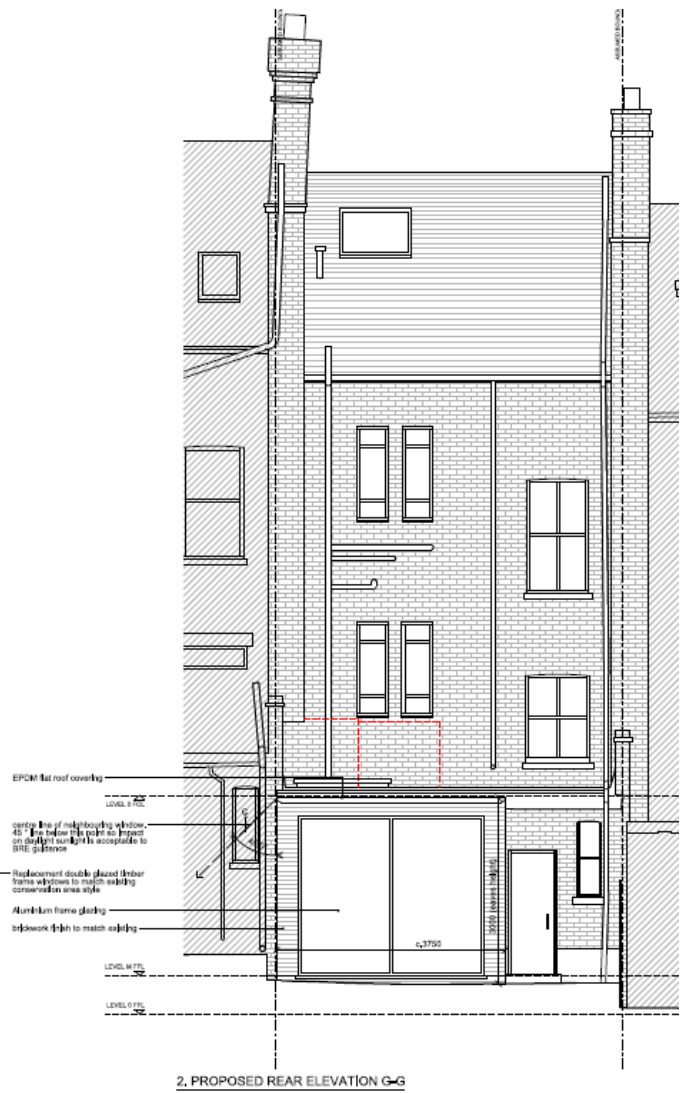
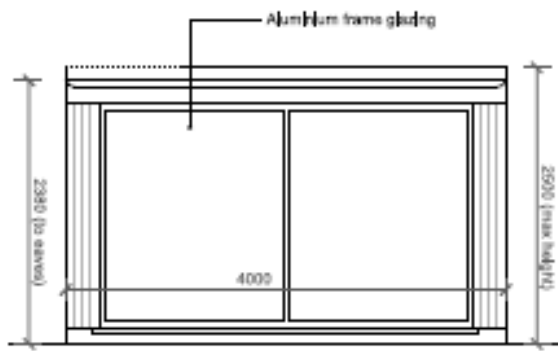
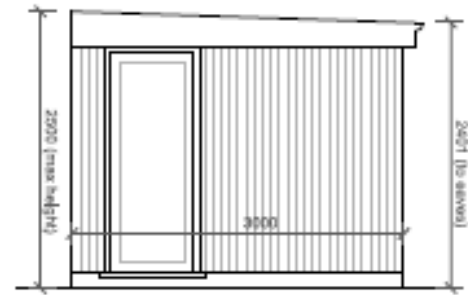


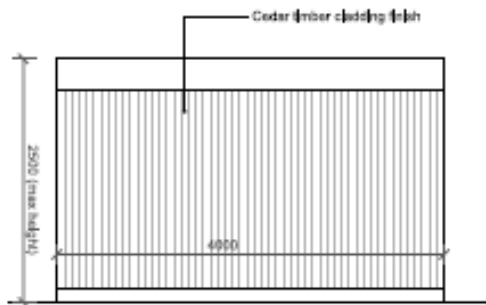
Figure 7: Proposed front and rear elevations of host building.



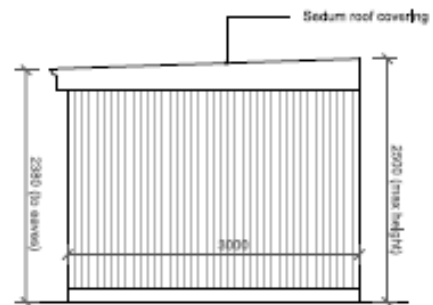
4. OUTBUILDING FRONT ELEVATION



5. OUTBUILDING SIDE ELEVATION



6. OUTBUILDING REAR ELEVATION



7. OUTBUILDING SIDE ELEVATION



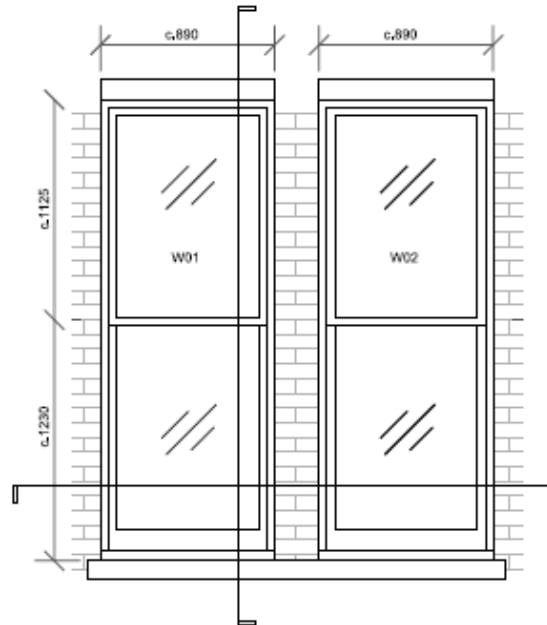
9. EXAMPLE OUTBUILDING IMAGE

Figure 8: Proposed elevation of outbuilding.

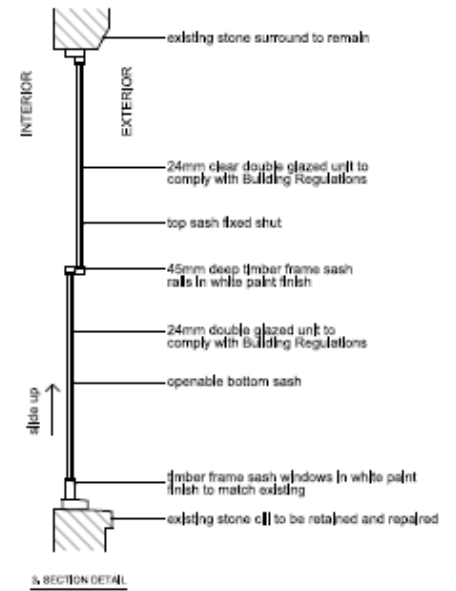
Like-for-like replacement double glazed painted timber frame sash windows to match existing conservation area style in frame sizes, proportion, colour, opening method etc.



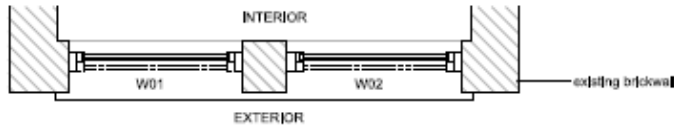
1. EXISTING WINDOW EXTERIOR PHOTO



2. ELEVATION DETAIL



3. SECTION DETAIL



4. PLAN DETAIL

Inputs are design intent and indicative only, all existing dimensions to be verified on site by glazing fabricator

Figure 9: Proposed front elevation window details.

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	27/03/2024
		N/A / attached	Consultation Expiry Date:	14/04/2024
Officer			Application Number(s)	
Alex Kresovic			2024/0369/P	
Application Address			Drawing Numbers	
Flat A 43 Dartmouth Park Hill London NW5 1HU			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of a single storey ground floor rear extension and garden room outbuilding to the rear of the garden and replacement glazing to existing ground floor bay windows to front elevation.				
Recommendation(s):		Grant Conditional Planning Permission		
Application Type:		Full Planning Permission		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	03	No. of objections	03
Summary of consultation responses:	Press Notice: published 21/03/2024, expired 14/04/2024. Site Notice: displayed 15/03/2024, expired 08/04/2024.			
	<p>Three (3) objections were received from neighbouring occupiers (45 Dartmouth Park Hill). Concerns arising from the objections are summarised below:</p> <ul style="list-style-type: none">Disappointed not to have been consulted.Not opposed in principle to the rear extension, but object to the height of the proposed extension of 3m.Proposal will reduce privacy of the flats and also block light in the flats at 45 Dartmouth Park Hill and is therefore excessive.The proposed extension will be 4m deep. It will project beyond the building line of 45 Dartmouth Park Hill by 465cm.Wrong application form submitted, applications needs to be withdrawn and resubmitted.Both proposals (rear extension and garden room) will result in a significant loss of garden land and trees that should be assessed when considering this proposal.Application should be screened to determine whether a Sunlight and Daylight Assessment of that window should be carried out.Increased Sense of Enclosure.Overlooking from the Garden Room. <p>Officers Response:</p> <ul style="list-style-type: none"><i>The Council has a statutory requirement to consult on the application for 21 days. The consultation period was between the 15/03/2024 and 14/04/2024 (press notice and site notices).</i><i>The height of the rear extension does not cause any such adverse amenity impacts to the neighbouring properties. <u>Refer to section 4.2.</u></i><i>The rear extension and outbuilding are single storey with windows facing into the rear garden, and therefore it is not considered that any such privacy and overlooking opportunities will arise from the proposals. Sufficient light will be received to the neighbouring property which is in accordance with the BRE guidance on daylight and sunlight. <u>Refer to section 4.2, 4.3, and 4.4.</u></i><i>The rear extension has been reduced in depth and will not protrude beyond the neighbouring rear extension. <u>Refer to section 3.3.</u></i><i>Application form, along with the Certificate B has been resubmitted and correctly completed. No need for withdrawal and resubmission of the application.</i><i>Majority of the rear extension is to be built on existing hardstanding</i>			

	<p><i>whilst the outbuilding will have a green roof to subset the loss of garden. <u>Refer to section 5.</u></i></p> <ul style="list-style-type: none"> <i>A desktop analyses has determined that a daylight / sunlight assessment is not required. <u>Refer to section 4.2.</u></i> <i>The rear extension is not considered to cause a sense of enclosure as it will not be built up to the boundaries with neighbouring properties. <u>Refer to section 4.</u></i> <i>The outbuilding is a single storey structure with windows facing into the rear garden and is not considered to increase any such overlooking to what currently is possible when standing in the rear garden. <u>Refer to section 4.4.</u></i>
Dartmouth Park CAAC and Dartmouth Park Neighbourhood Forum:	No objections or comments were received by the Dartmouth Park CAAC and Dartmouth Park Neighbourhood Forum.

Site Description

The application site is located on the west side of Dartmouth Park Hill close to the junction with Dartmouth Park Avenue. The site comprises a two storey Victorian dwelling house. The property is not listed but is located in the Dartmouth Park Conservation Area. The property and the wider terrace are noted with the Conservation Area Statement as positive contributors to the conservation area.

Relevant History

2023/4178/PRE - New single storey rear extension and garden room outbuilding to rear end of garden. Summary of advice:

It is considered the construction of the rear extension and outbuilding are acceptable. Like for like double glazed replacement windows would be considered acceptable and would not detract from the character and appearance of the building and the wider conservation area.

Advice issued on the 19th of December 2024.

45 Dartmouth Park Hill

There is no relevant planning history associated with the existing single storey rear extension.

Relevant policies

The National Planning Policy Framework 2023

The London Plan 2021

Camden Local Plan 2017

A1 Managing the Impact of Development.

A3 Biodiversity.

D1 Design.

D2 Heritage.

H6 Housing choice and mix.

CC1 Climate change mitigation.

CC2 Adapting to climate change.

CC3 Water and flooding.

Dartmouth Park Neighbourhood Plan (2020)

DC2 Heritage assets

DC3 Requirement for good design

DC4 Small residential extensions
ES1 Green and open spaces
ES2 Trees
ES3 Biodiversity
ES4 Energy efficiency

Camden Planning Guidance

Amenity CPG (2021)
Design CPG (2021)
Biodiversity CPG (2018)
Home Improvements CPG (2021)
Trees CPG (2019)

Dartmouth Park Conservation Area appraisal and management strategy (2009)

Draft Camden Local Plan

The council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications, but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1. Proposal

1.1 The application proposes the following:

- i. Single storey rear infill extension measuring 3500mm deep, 3750mm wide and 3000mm high (set in from the boundary with no.41 by circa 1.9m);
- ii. Single storey cedar timber cladding outbuilding to the rear of the garden measuring 4000mm deep, 3000mm wide and 2500mm high;
- iii. Replacement sash ground floor windows in the front elevation.

2. Revisions

2.1 The proposal has been amended over the course of the application to reduce the depth of the rear extension from 4000mm to 3500mm to be in line with the pre application advice.

3. Design and Heritage

3.1 Policy D1 'Design' states that the Council will seek to secure high quality design in all cases. This policy states that in order to demonstrate high quality, developments should meet several criteria including: respecting local context and character; be sustainable and durable and comprise details and materials that are of high quality and complement the local character. It continues to state that the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area.

3.2 Policy D2 'Heritage' states that to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

3.3 The proposal involves the construction of a rear extension (3m H x 3.5m D x 3.75m W) and is set in from the boundary with no.41 by circa 1.9m. The depth, width and height of the proposed rear extension would be of a similar scale to the existing rear extension at the neighbouring property no.45. It is acknowledged that the proposed rear extension, in its current form, when taken together with the existing rear extension results in extensions that measure 7m from the main rear elevation of the building. This would not normally be supported on an historic building in the conservation area. However, in this instance, given that there is an extension at the neighbouring property (no. 45) which

is similar in terms of its dimensions and scale, the proposed extension would be considered acceptable. It must be noted that the rear extension would not be visible from any public views along Dartmouth Park Hill and Chetwynd Road (south of the site). Consequently, the proposed rear extension can therefore be considered.

3.4 The proposed rear extension would be constructed using London Stock brickwork to match that of the host building which is welcomed.

3.5 The proposed cedar timber cladded outbuilding (4m D x 3m W x 2.5m H) with a green roof is positioned a sufficient distance away from the host building due to the generous length of the back garden measuring approximately 15.8m from the existing rear building face. The footprint, height, bulk, form, detailed design, and materiality are in keeping with the surrounding area.

3.6 The proposed outbuilding of the application property is not visible from any public views along Dartmouth Park Hill and Chetwynd Road (south of the site). In terms of location, form, scale, proportions, and dimensions the proposed outbuilding is considered subordinate to the existing building and would respect and preserve the character of the existing building and the wider conservation area.

3.7 The proposed replacement sash windows in the front elevation, which are of a one-over-one fenestration and with detailing closely matching the historic design.

3.8 Overall, it is considered that the proposals would not result in a detrimental impact upon the character and appearance of the host property and would preserve the special character of the Dartmouth Park Conservation Area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. They would be in accordance with policies D1 and D2 of the Camden Local Plan 2017 and policies DC2, DC3, and DC4 of the Dartmouth Park Neighbourhood Plan (2020).

4. Neighbouring Amenity

4.1 Policy A1 seeks to ensure that development does not cause adverse amenity impacts upon neighbours in terms of sunlight, daylight, privacy and overlooking, noise, vibration, and odour.

4.2 The proposed half width 3.5m deep single-storey rear extension proposes new habitable space in the form of an open living arrangement. The proposal will also include a sliding door overlooking the rear garden which will provide adequate sunlight to the rear of the flat. A daylight / sunlight assessment has not been provided, however, a desktop analysis investigating the 45 degree test in plan and elevation has been undertaken which demonstrates that the proposed half width rear extension would cause added impact to the neighbouring property at no.45. The added impact is considered to be negligible due to the extension slightly protruding the 45-degree line in plan only, while not infringing the 45-degree line in elevation to the adjoining neighbour at no.45 (north of the application site). The added impact is to an existing side window in no. 45 that serves the bedroom. Side windows are generally considered un-neighbourly as they are reliant on daylight from the neighbouring property. Given that the extension includes an existing full height glazed double doors on the rear that would continue to provide daylight into this room, it is considered that the proposal would not have an adverse impact on the amenity of no. 45 in terms of daylight. Therefore, the amenity, in terms of daylight / sunlight, will not adversely be impacted as a result of the proposal.

4.3 The proposed outbuilding will be used for ancillary purposes to Flat A 43 Dartmouth Park Hill and will not be used as a separate residential dwelling or a business premises. A condition would be attached to ensure this is the case.

4.4 The proposed outbuilding would be situated adjacent to an existing single storey flat roof outbuilding / car garage structure that serves the development at 121 Chetwynd Road which is located directly behind the rear garden fence of no.43. The existing structure is mostly screened from

the rear boundary fence and does not have any windows overlooking into no.43. The proposal will not have any such adverse amenity impacts to the existing structure. Given the separation distance to surrounding properties, and the height of the outbuilding and existing boundary fences, the proposed outbuilding would not result in undue harm to the daylight, sunlight, or outlook of surrounding properties.

4.5 The proposed rear extension and the proposed outbuilding would not cause any such adverse impacts to neighbouring properties, in particular to privacy and overlooking. The flat roof will not be used as a terrace, and access to it will be controlled by a planning condition. It is therefore considered that the proposals are in general accordance with policies A1.

4.6 In terms of the noise or disturbance resulting from the use, this is a material planning consideration; however, it is not considered that the level of noise generated from the proposal (no net loss or gain of dwellings) or comings and goings to the dwelling within an existing residential development would cause undue harm to neighbouring properties. It is therefore considered that the proposals are in general accordance with policies A1 and A4.

4.7 It is considered that the proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with policy A1 and A4 of the Camden Local Plan 2017.

5. Biodiversity

5.1 As set out in policies CC1 and CC2, the Council requires development to incorporate sustainable design and construction measures. The application would constitute a minor development (< 4 units or 500sqm new floorspace), as set out in the Energy Efficiency and Adaption CPG, and therefore an energy statement is not required.

5.2 It is proposed to install a green roof on the outbuilding. No details of the green roof have been provided. A condition would be attached requiring these details to be submitted.

5.3 No trees are proposed for removal in order to facilitate development. However, a condition would be attached requiring appropriate tree protection measures to protect neighbouring trees in accordance with BS5837:2012.

6. Recommendation

6.1 Grant conditional Planning Permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 10th June 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2024/0369/P
Contact: Alex Kresovic
Tel: 020 7974 3134
Email: Alex.Kresovic@camden.gov.uk
Date: 4 June 2024

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Sandeep
57 WOODCOCK DELL AVENUE
HARROW
HA3 0NU
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat A

43 Dartmouth Park Hill

London

NW5 1HU

DECISION

Proposal: Erection of a single storey ground floor rear extension and garden room outbuilding to the rear of the garden and replacement glazing to existing ground floor bay windows to front elevation.

Drawing Nos: 43DPH-001 dated 08.23, 43DPH-002 dated 09.23, 43DPH-003 dated 09.23, 43DPH-004 dated 09.23, 43DPH-005 dated 09.23, 43DPH-101 revision A dated 30.05.24, 43DPH-102 revision A dated 30.05.24, 43DPH-103 revision A dated 30.05.24, 43DPH-104 revision A dated 30.05.24, 43DPH-105 revision A dated 30.05.24, 43DPH-106 dated 01.24, Design & Access Statement.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

43DPH-001 dated 08.23, 43DPH-002 dated 09.23, 43DPH-003 dated 09.23, 43DPH-004 dated 09.23, 43DPH-005 dated 09.23, 43DPH-101 revision A dated 30.05.24, 43DPH-102 revision A dated 30.05.24, 43DPH-103 revision A dated 30.05.24, 43DPH-104 revision A dated 30.05.24, 43DPH-105 revision A dated 30.05.24, 43DPH-106 dated 01.24.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and policies DC2, DC3 and DC4 of the Dartmouth Park Neighbourhood Plan 2020 .

- 4 Prior to commencement of development , full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017 and policies ES1, ES2, ES3 and ES4 of the Dartmouth Park Neighbourhood Plan 2020.

- 5 The roof of the single storey rear infill extension and outbuilding hereby approved shall not be used as a roof terrace and shall be accessed for maintenance purposes only.

Reason: To safeguard the amenities of adjoining properties in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 6 The outbuilding hereby approved shall only be used for ancillary purposes to Flat A 43 Dartmouth Park Hill and shall not be used as a separate residential dwelling or a business premises.

Reason: In order to protect the residential amenities of neighbouring occupiers and prevent substandard living accommodation and excessive on-street parking pressure in accordance with policies A1, H6 and T2 of the London Borough of Camden Local Plan 2017 and policies DC2, DC3 and DC4 of the Dartmouth Park Neighbourhood Plan 2020 .

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
 - 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
 - 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)
- Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.
- 4 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:
<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer