

# 19 Steele's Road, London, NW3 4SH - 2024/0439/P



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**Site photos & Plans – 19 Steele’s Road – 2024/0439/P**



*Figure 1: Application site identified with blue door at UGF when viewed from across the street.*



*Figure 2: Application site showing front hardstand area and boundary wall.*





*Figure 3: Application site when viewed from sidewalk directly in front of the site. (no changes proposed to the door at UGF)*



*Figure 4: Application site showing the host building from the sidewalk directly in front of the site.*





Figure 5: View from Eton Villas of rear gardens at Steele's Road.



Figure 6: Proposed rear elevation in context to existing neighbouring rear elevations.

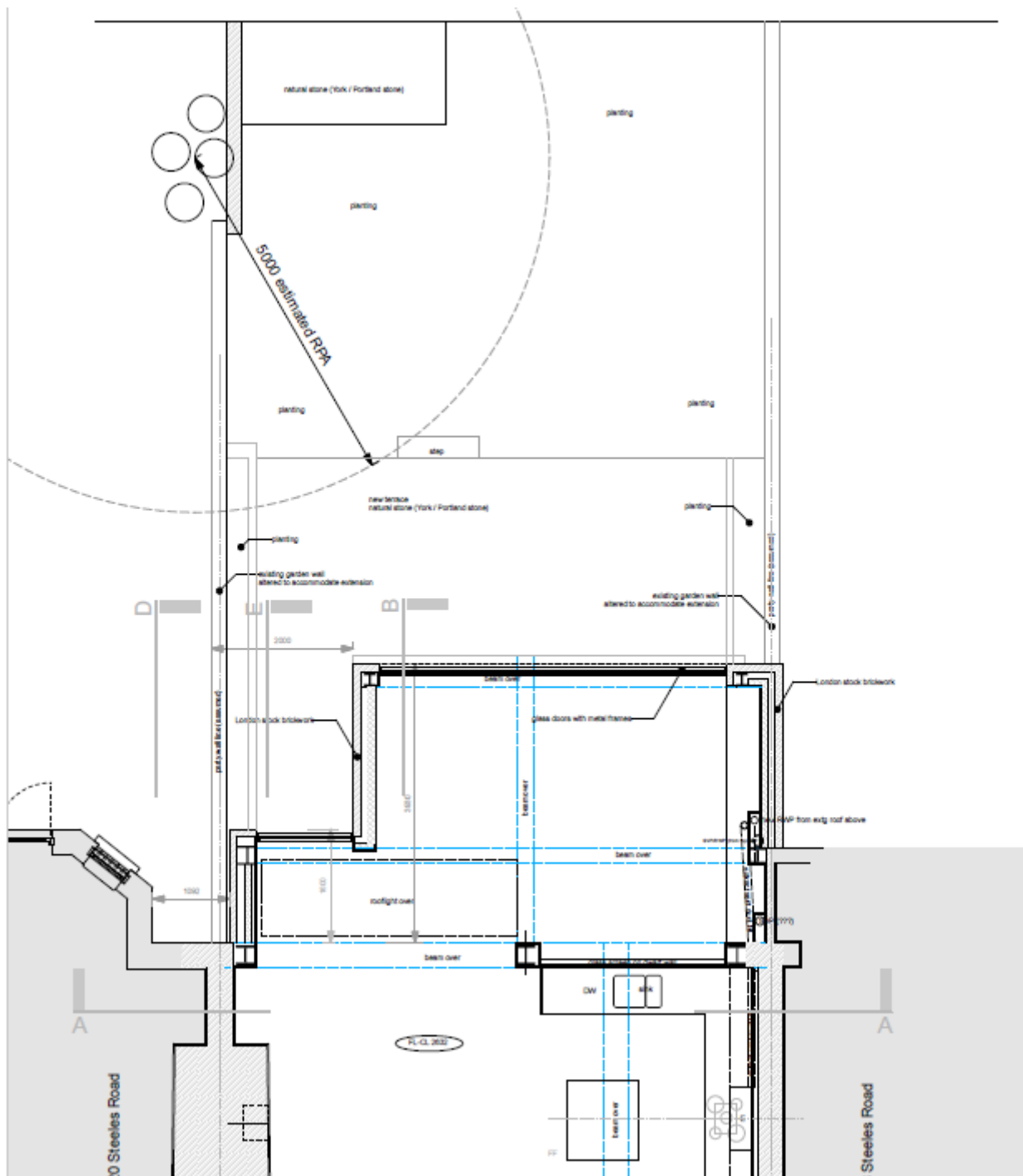


Figure 7: Proposed works to the rear showing rear extension and rear terrace.

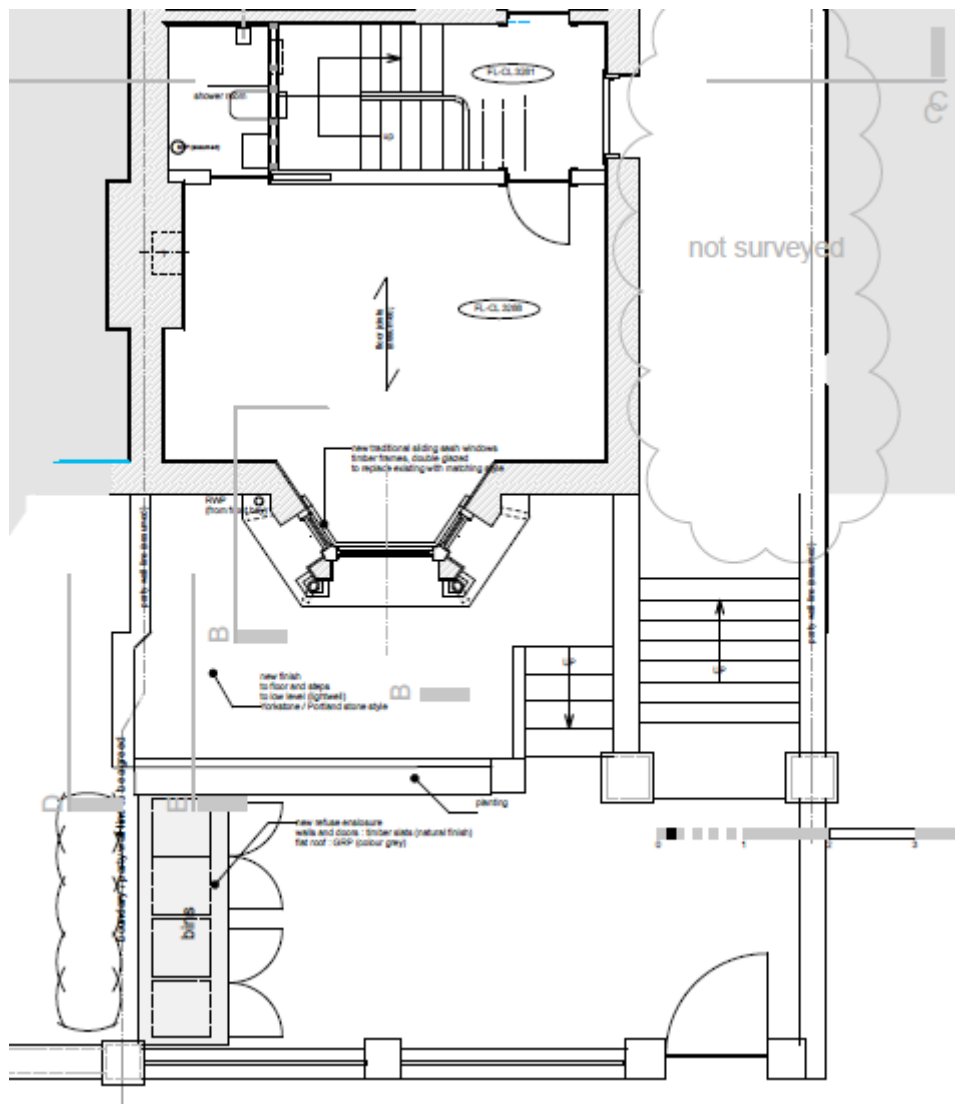


Figure 8: Proposed works to the front (bin store)

<b>Delegated Report (Members Briefing)</b>		<b>Analysis sheet</b>	<b>Expiry Date:</b>	01/04/2024
		N/A / attached	<b>Consultation Expiry Date:</b>	12/05/2024
<b>Officer</b>			<b>Application Number(s)</b>	
Alex Kresovic			2024/0439/P	
<b>Application Address</b>			<b>Drawing Numbers</b>	
Maisonette Basement and Ground Floor 19 Steele's Road London NW3 4SH			See draft decision notice	
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>	
<b>Proposal(s)</b>				
Erection of a single storey rear extension, replacement of the lower ground floor front door, replacement windows to front and rear, blocking-up of upper ground floor existing window opening to the rear, new external floor finishes to front and rear and installation of a new bin store.				
<b>Recommendation(s):</b>		Grant Conditional Planning Permission		
<b>Application Type:</b>		Full Planning Permission		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	08	No. of objections	08
Summary of consultation responses:	Press Notice: published 18/04/2024, expired 12/05/2024. Site Notice: displayed 17/04/2024, expired 11/05/2024.			
	<p>Eight (8) objections were received from neighbouring occupiers who live on Eton Villas and Steeles Road. Concerns arising from the objections are summarised below:</p> <ul style="list-style-type: none"><li>• The rear extension will have a detrimental effect on daylight and sunlight.</li><li>• The rear extension will create a sense of enclosure.</li><li>• The rear extension is an overdevelopment.</li><li>• The rear extension will negatively harm the outlook from the directly adjacent neighbouring property.</li><li>• The rear extension will disrupt the garden/tree and will negatively harm the biodiversity within the area.</li><li>• The rear extension will have a negative impact on the conservation area.</li><li>• Lack of privacy due to the rear extension.</li></ul> <p><b>Officers Response:</b></p> <ul style="list-style-type: none"><li>• <i>A daylight / sunlight assessment has been provided which demonstrates that the proposed extension does not have any adverse effect on the neighbouring property and would comply with the Building Research Establishment (BRE) Guidelines 'Site Layout Planning for Daylight and Sunlight: a guide to good practice' 2022. <u>Refer to section 4.2.</u></i></li><li>• <i>The proposed rear extension is not considered to create a sense of enclosure. From the neighbouring local ground floor rear windows, sufficient amount of outlook into the rear garden will be retained, whilst the daylight/sunlight levels will not be adversely affected. <u>Refer to section 4.2.</u></i></li><li>• <i>The proposal, in its current form, is not considered to be an overdevelopment and would be of similar scale to other rear extensions within vicinity of the application site. <u>Refer to section 3.3.</u></i></li><li>• <i>The rear extension will not have ana effect on the outlook of the neighbouring lower ground floor rear room at 20 Steel's Road. <u>Refer to section 4.2.</u></i></li><li>• <i>The magnolia in the rear garden was subject to a tree application (ref: 2023/2513/T), in which the Council raised no objection to the removal of the tree and therefore cannot be considered as part of this application. Additionally, the majority of the intended works would be located on an existing hard paved area, with only a small overrun into the garden, which is not considered to be detrimental, considering the</i></li></ul>			



	<p><i>applicant will provide additional planting and a green roof as part of the works. Refer to section 5.2.</i></p> <ul style="list-style-type: none"> <li><i>The proposal, in its current form, is not considered to have a detrimental impact on the conservation area as the proposal would be of similar scale to other rear extensions within the vicinity of the application site. <u>Refer to section 3.3.</u></i></li> <li><i>The rear extension would be located on the local ground floor and as such would not cause any loss of privacy to neighbouring properties due to there being no opportunities for overlooking. The flat roof of the rear extension will be conditioned to not be used as a terrace and only can be accessed for maintenance purposes only. <u>Refer to section 4.3.</u></i></li> </ul>
Eton CAAC:	<p>An objection was received by the Eton CAAC. Concerns arising from the objection is summarised below:</p> <ul style="list-style-type: none"> <li>A rear extension with 3m of depth is excessive within the conservation area.</li> <li>The rear extension is harmful to the amenity of neighbouring properties.</li> <li>The rear extension would erode the rear garden.</li> </ul> <p><b>Officers Response:</b></p> <ul style="list-style-type: none"> <li><i>The proposal, in its current form, is not considered to have a detrimental impact on the conservation area as the proposal would be of similar scale to other rear extensions within vicinity of the application site. <u>Refer to section 3.3.</u></i></li> <li><i>It is not considered that the proposed rear extension would have a negative impact on neighbouring amenity in terms of sunlight/daylight (as demonstrated by the submitted daylight and sunlight report), noise, privacy, and sense of enclosure. Outlook from the rear room of the neighbouring local ground floor at 20 Steele's Road will not be impacted. <u>Refer to section 4.2.</u></i></li> <li><i>The magnolia in the rear garden was subject to a tree application (ref: 2023/2513/T), in which the Council raised no objection to the removal of the tree and therefore cannot be considered as part of this application. Additionally, the majority of the intended works would be located on an existing hard paved area, with only a small overrun into the garden, which is not considered to be detrimental, considering the applicant will provide additional planting and a green roof as part of the works. <u>Refer to section 5.2.</u></i></li> </ul>

## Site Description

The application property is a two storey maisonette (Lower Ground Floor and Upper Ground Floor) in a five storey terraced building, comprising two other dwellings (first floor flat and second and third floor maisonette). The application site is situated within the Eton Conservation Area (Sub Area 1) and is identified as making a positive contribution to the character or appearance of the conservation area. The typology and detailing of southern terrace (Nos. 15-22) is mirrored in the northern terrace (Nos. 23-29) and reflective of the high degree of consistency in the Victorian era development pattern of housing in the Area. The rear elevations of the southern terrace are visible through gaps in development on Eton Road and Eton Villas.

The significance of the Eton Conservation Area is derived from its high-quality Victorian housing, with distinctive and cohesive architectural details. It includes green spaces, mature trees, and landscaped gardens, that contribute to the verdant character of the area.

## Relevant History

**2023/2513/T** - REAR GARDEN: 1 x Magnolia (Magnolia spp) (T1) - Fell to ground level by sectional take down. Granted on 24 July 2023

**2023/0524/T** - REAR GARDEN: 1 x Magnolia (T4) - Lift crown to approx. 4m from ground level by removing three lowest branches and reduce remainder back to previous pruning points, approx. 1.5m reduction. Granted on 15 March 2023

**2014/1654/P** - REAR GARDEN: 1 x Magnolia - Reduce crown by 1-2m. Granted on 25 March 2014

## Relevant policies

### The National Planning Policy Framework 2023

### The London Plan 2021

### Camden Local Plan 2017

A1 Managing the Impact of Development

A3 Biodiversity

A4 Noise and vibration

D1 Design

D2 Heritage

CC1 Climate change mitigation

CC2 Adapting to climate change

CC3 Water and flooding

### Camden Planning Guidance

Amenity CPG (2021)

Design CPG (2021)

Biodiversity (2018)

### Eton Conservation Area appraisal and management strategy (2002)

### Draft Camden Local Plan

The council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications, but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

## Assessment

### 1. Proposal

1.1 The application proposes the following:

- i. Erection of a single storey full width rear extension at lower ground floor measuring 4340mm deep, 8000mm wide and 3150mm high (the rear extension possesses a 2000mm wide side setback/cutout on the eastern side);
- ii. New permeable floor finish to external rear lower ground floor terrace;
- iii. Blocking-up of existing small side window opening located at upper ground floor (rear elevation);
- iv. Replacement front and rear windows;
- v. Replacement front door at lower ground floor;
- vi. New finish to floor and steps in lower ground floor front lightwell;

- vii. New refuse enclosure (bin store) located within the communal parts of the building (19 Steeles Road) and as such is shared by the leaseholders of the other flats in the building;

## **2. Revisions**

2.1 The proposal has been amended over the course of the application to omit and revise parts of the scheme in order to preserve the character and appearance of the positively contributing building in the Eton Conservation Area. This included:

- Lowering the height of the extension from 3150mm to 2900mm to match the approved development at No. 21, with the associated angled rooflight also omitted.
- Reducing the depth of the extension from 4340mm to 3900mm to match the rear elevation line of the approved developments at Nos. 21 and 22.
- Retention of the 2000mm wide side setback/cutout on the eastern side.
- Reduction in depth of the side setback/cutout to align with the neighbouring cantered bay from 3000mm to 1600mm.

## **3. Design and Heritage**

3.1 Policy D1 'Design' states that the Council will seek to secure high quality design in all cases. This policy states that in order to demonstrate high quality, developments should meet several criteria including: respecting local context and character; be sustainable and durable and comprise details and materials that are of high quality and complement the local character. It continues to state that the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area.

3.2 Policy D2 'Heritage' states that to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

3.3 The proposal involves the erection of a rear extension (2.9m H x 3.9m D x 8m W) with a 2m x 2m side setback/cutout on the eastern side which results in a stepped appearance. The depth and height of the proposed rear extension would match the dimensions of the approved developments at 21 and 22 Steele's Road.

3.4 The introduction of the 2000mm side setback/cutout detail is key to adequately mitigate the added bulk and massing of the extension such that it would be subordinate to the host building. The rear elevation of the host property does not have any detailed architectural features that would be harmed by the extension. Additionally, the cutout would provide separation from the neighbouring dwellings cantered bay, which will remain the dominant feature on the rear elevation.

3.5 The proposed rear extension would be constructed using London Stock brickwork to match that of the host building which is welcomed and would have a green roof installed to maximise greening of the site, promote rainwater detention and reduce the heat island effect of hot roofs.

3.6 The proposed rear extension of the application property is not visible from any public views along Steele's Road and Eton Villas (south of the site). In terms of location, form, scale, proportions, and dimensions the proposed extension is considered subordinate to the existing building and would respect and preserve the character of the existing building and the wider conservation area.

3.7 The footprint of the rear extension itself would be constructed on an existing area of hardstanding. The proposed permeable external rear terrace will measure 3000mm in depth and would be accessed via a glazed sliding door directly from the proposed rear extension. With the large rear garden, and the permeable nature of the material, it is considered the rear terrace would not adversely impact the garden setting, nor harm the appearance of the conservation area.

3.8 The bricking-up of an existing small side window on the upper ground floor on the rear elevation,



replacement of the front and rear windows with timber framed double glazed windows, replacement of front door at lower ground floor with a partially glazed timber traditional panelled door, and new finish to floor and steps in lower ground floor front lightwell is welcomed as it would not result in a detrimental impact upon the character and appearance of the host property.

3.9 The proposed bin storage will sit behind the retained front boundary wall and railing, and is orientated along the side boundary so that the full length of its bulk does not present to the street. Additional planting is proposed along the top of the lower ground floor retaining wall which will create a more verdant setting to the front garden that is currently covered in hardstanding.

3.10 Overall, it is considered that the proposals would not result in a detrimental impact upon the character and appearance of the host property and would preserve the special character of the Eton Conservation Area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. They would be in accordance with policies D1 and D2 of the Camden Local Plan 2017.

#### **4. Neighbouring Amenity**

4.1 Policy A1 seeks to ensure that development does not cause adverse amenity impacts upon neighbours in terms of sunlight, daylight, privacy and overlooking, noise, vibration, and odour.

4.2 The proposed full width, 3.9m deep single storey rear extension at the lower ground floor would provide new habitable space in the form of an open living arrangement. The proposal will also include a sliding door overlooking the rear garden which will provide adequate sunlight to the lower ground floor. A daylight / sunlight assessment has been provided. It concludes that the proposed extension does not have any such adverse effect on the neighbouring property and would comply with the Building Research Establishment (BRE) Guidelines 'Site Layout Planning for Daylight and Sunlight: a guide to good practice' 2022. In addition to this, the outlook from no. 20 is considered acceptable and will not be adversely affected as a result of the proposal due to the extension closest to the boundary with no. 20 not projecting beyond the side window in the bay and there being a door and another window that serves that room to provide sufficient outlook and daylight/sunlight.

4.3 The proposed rear extension would be located at lower ground floor, whilst the replacement of existing front and rear windows and flat roof of the rear extension will not cause any such adverse impacts to neighbouring properties, in particular to privacy and overlooking. The replacement of existing windows will not create any new openings and the flat roof will not be used as a terrace, and this will be secured via a planning condition. It is therefore considered that the proposals are in general accordance with policies A1.

4.4 In terms of the noise or disturbance resulting from the use, this is a material planning consideration; however, it is not considered that the level of noise generated from the proposal (no net loss or gain of dwellings) or comings and goings to the dwelling within an existing residential development would cause undue harm to neighbouring properties. It is therefore considered that the proposals are in general accordance with policies A1 and A4.

4.5 It is considered that the proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with policy A1 and A4 of the Camden Local Plan 2017.

#### **5. Biodiversity**

5.1 It is proposed to install a green roof on the rear extension. No details of the green roof have been provided. A condition would be attached requiring these details to be submitted.

5.2 No trees are proposed for removal in order to facilitate development as a tree application has been granted on 24 July 2023 allowing for the felling of the magnolia T1 tree.

## **6. Recommendation**

### **6.1 Grant conditional Planning Permission**

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 10<sup>th</sup> June 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2024/0439/P  
Contact: Alex Kresovic  
Tel: 020 7974 3134  
Email: [Alex.Kresovic@camden.gov.uk](mailto:Alex.Kresovic@camden.gov.uk)  
Date: 30 May 2024

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

WEBB ARCHITECTS LIMITED  
Studio B  
7 Wellington Road  
London  
NW10 5LJ  
United Kingdom

# DRAFT

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Full Planning Permission Granted

Address:

**Maisonette Basement And Ground Floor**  
**19 Steele's Road**  
**London**  
**NW3 4SH**

# DECISION

Proposal: Erection of a single storey rear extension, replacement of the lower ground floor front door, replacement windows to front and rear, blocking-up of upper ground floor existing window opening to the rear, new external floor finishes to front and rear and, installation of a new bin store.

Drawing Nos: 1287.01.00(-), 1287.01.01(D), 1287.01.02(C) 1287.02.02(B), 1287.03.02(C), 1287.03.04(A), 1287.02.04(B), 1287.03.05(B), 1287.01.05(C), 1287.01.06(C), 1287.03.12(E), 1287.01.21(E), 1287.01.22(F), 1287.02.22(E), 1287.03.24(D), 1287.02.24(E) 1287.01.25(E), 1287.02.25(E), 1287.03.25(C), 1287.01.26(F), Design & Access Statement rev01 prepared by Webb Architects Limited, Daylight and Sunlight Assessment Job No: 5626 Issued: April, 2024 Issue No.: 2.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.



Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

1287.01.00(-), 1287.01.01(D), 1287.01.02(C) 1287.02.02(B), 1287.03.02(C), 1287.03.04(A), 1287.02.04(B), 1287.03.05(B), 1287.01.05(C), 1287.01.06(C), 1287.03.12(E), 1287.01.21(E), 1287.01.22(F), 1287.02.22(E), 1287.03.24(D), 1287.02.24(E) 1287.01.25(E), 1287.02.25(E), 1287.03.25(C), 1287.01.26(F), Design & Access Statement rev01 prepared by Webb Architects Limited, Daylight and Sunlight Assessment Job No: 5626 Issued: April, 2024 Issue No.: 2.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to commencement of development , full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
- i. a detailed scheme of maintenance
  - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
  - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 The roof of the single storey rear infill extension hereby approved shall not be used as a roof terrace and shall be accessed for maintenance purposes only.

Reason: To safeguard the amenities of adjoining properties in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer