

SUMMARY STATEMENT

May 2024

12 & 13 PRIMROSE HILL STUDIOS

Applications 2022/3694/P and 2022/4547/L



Prepared by

Humphrey Kelsey Architecture
4 Primrose Hill Studios
London
NW1 8TR

On behalf of

Rory and Barbara Campbell-Lange

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1.0 PURPOSE OF THE SUMMARY STATEMENT

1.1 Background

Following a series of meetings and information exchanges with both the Planning and Conservation Teams at Camden Council and with Historic England, Jane Wylie, the Conservation Team Manager, has kindly indicated, in her email dated 12th February 2024, a course of action which would allow a recommendation for approval, as set out below.

“I have discussed the application with Sam and Nick today. I confirm that we can accept the revision D drawings for the internal alterations and the revision B for the elevations and move forward with a recommendation for approval on this basis. However, would it be possible for you to send over a pack of all of the drawings you consider to be your final versions? I just want to confirm we absolutely have the same set of drawings moving forward.

We do not need to publicly re-consult in this instance, but we will let the CAAC know that the proposals have been amended, as they may wish to withdraw their objection on this basis. Then the application will need be considered by the Members Briefing Panel given the comments that were received during the consultation process. This should be relatively straightforward though given the amendments to the proposals”

Pursuant of this, and in response to the above email, the Applicants suggested putting together a unifying Revision E package of drawings which brings all the proposed changes under a single consistent Revision E (including a demolition set of drawings). Given the length of time and multiple amendments that the applications have undergone since their validation in October 2022, it was felt that to further explain the final proposed alterations, and as an ‘aide memoire’ to their justifications, it seemed helpful to issue this Summary Statement to accompany the Revision E drawings.

1.2 Principal Considerations and The Inclusion of General Conservation Repairs

The principal material consideration is that the proposal for a basement and the associated courtyard access has been removed from the application. The layout of No12 also remains consistent with the existing. This application proposes no alterations to the Courtyard or Boundary Wall. The drawings are all notated with the approved two storey infill extension, 2018/0191/P and 2018/1150/L, which has been activated by the demolition of the two garages.

In addition the schedule of general conservation repairs as noted in the initial application are still proposed, where applicable, as part of this Revision E submission.

1.3 Caveat to these ‘Final’ Proposals

Given that a number of the ‘understandings’ between the applicant and Camden have been based on verbal discussions we would kindly ask that if anything in this Revision E submission is not as has been assumed or agreed, or is of concern and would not lead to a recommendation for approval, then please advise and this will be addressed immediately in order to rectify any misunderstanding.

2.0 PROPOSED ALTERATIONS - 12 Primrose Hill Studios

2.1 The Painting Room

2.1.1 Kitchen

A kitchen layout is proposed in the Painting Room which includes a breakfast bar 'island' unit facing the studio area as indicated on the approved revision D layouts. Nick Baxter, the Senior Conservation Office, raised the following concerns regarding the kitchen design in his email, dated 12 February 2024,

"At some stage we will need to see an elevation of the proposed kitchen, so that we can assess its impact on the studio, with regard to high-level units (which we would ask you to avoid), extraction (which we would hope you could cope with using a recirculation system), etc."

An elevation of the kitchen is now shown in drawing 352_P_202 Rev E Proposed Section DD and a section is shown in 352_P_200 Rev E Proposed Section AA & BB.

The proposed kitchen does not have high-level wall cupboards and does not have an overhead ducted extraction unit which allows the gable wall of The Painting Room to remain clear.

We note that Listed Building Consent was granted last year for a kitchen breakfast bar 'island' unit at 11 Primrose Hill Studios (2023/2995/L).

2.1.2 Ceiling, Lighting and Detection

The lath-and-plaster construction build up of the ceiling is to be retained and stabilised where possible.

Nick Baxter has also asked for clarification on lighting the studio as follows,

"given the presence of lath-and-plaster ceilings, we will need to understand how the interiors will be illuminated"

Ceiling lights and smoke/heat detectors will not be recessed within the lath-and-plaster ceilings but will be surface mounted and fixed through the lath-and-plaster ceiling directly into the structural timber collar ties of the roof. This is to avoid any additional weight being added to the lath-and-plaster ceiling. Any required cabling will be laid from above, when the roof is repaired, avoiding any unnecessary disturbance to the existing ceiling build up.

2.1.3 Floor

The methodology for the proposed floor finish follows the recently consented proposal at 11 Primrose Hill Studios (application 2023/2995/L):

"Carefully lift and set aside existing square edged pine boards, retain lime pugging in-situ (40mm below top of joists) and install aluminium deflector trays and UFH pipework before reinstating the original boards. Overlay retained boards with [new timber floor boards sealed with clear matt lacquer finish]."

2.2 Mezzanine

Mezzanines were installed throughout Primrose Hill Studios in the 1960s. The drawings (see plans on following page) from the M.E.E Bordass thesis, *Primrose Hill Studios 1877-1883: To what Extent Do They Reflect Their Period* (1981), shows an existing 1910 layout for studio 10 and the 1960's planning proposal for the initial mezzanine installation.

It is proposed to retain the non-original mezzanine and its construction to provide a library space to the property, to remain part of the larger Painting Room studio.

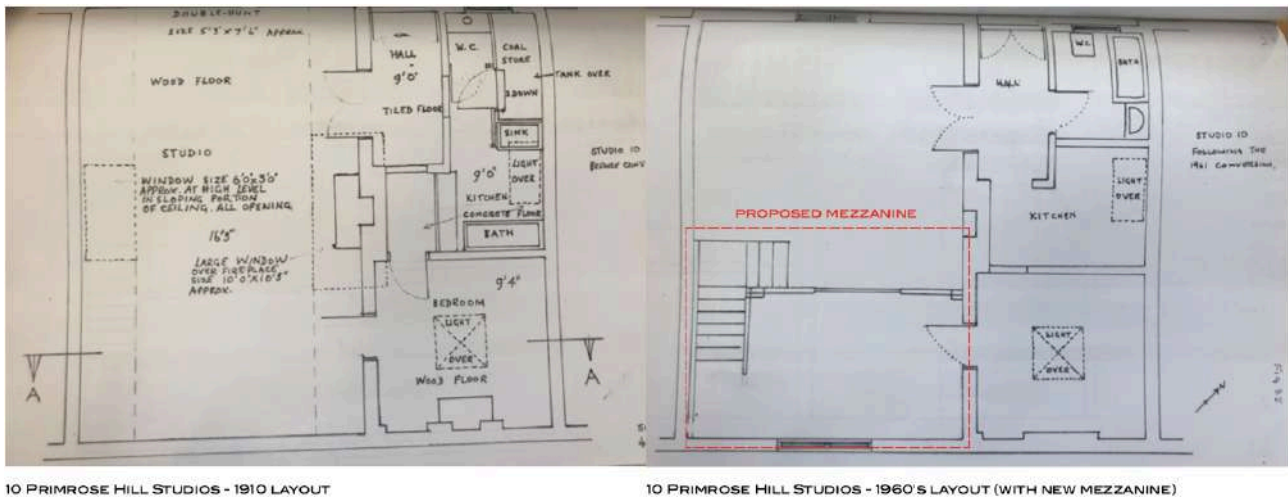


Image: Historic drawings showing the introduction of mezzanines to Primrose Hill Studios in the 1960s

2.3 Mezzanine Balustrade

It is proposed to remove the non-original balustrade (see following image) and replace it with 1100mm high bookshelves facing the mezzanine to create a library. It is also recognised that the existing balustrade is non-compliant with Building Regulations and in particular *Approved Document K, 'Protection from falling, collision and impact'*.

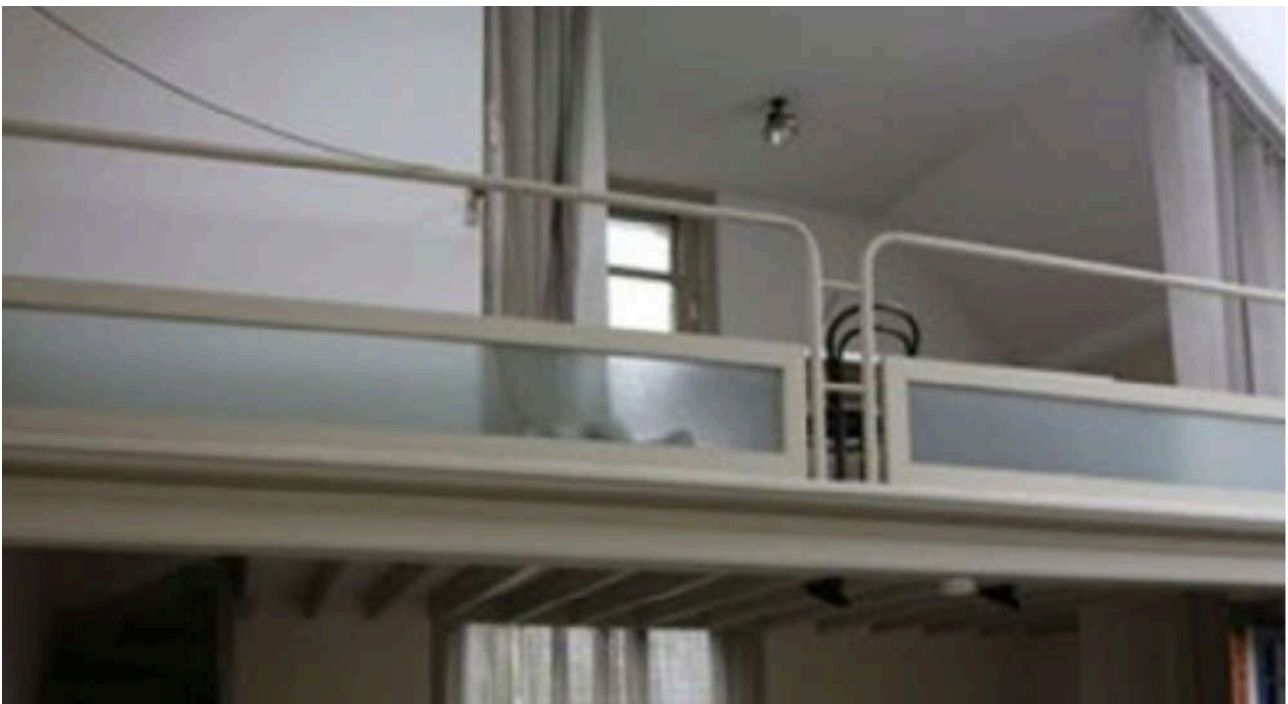


Image: Existing balustrade at 12 Primrose Hill Studios

It is noted that Listed Building Consent was granted last year for a bookshelf balustrade to the mezzanine at 11 Primrose Hill Studios (2023/2995/L). Please see the approved drawing on the following page.



Image: Approved Drawing showing a bookcase as part of the mezzanine balustrade at 11 Primrose Hill Studios

2.4 Mezzanine Staircase

It is also proposed to remove the non-original staircase and install a simple utilitarian 'open riser' metal staircase. The Painting Room is intended to be used as a creative and practical design studio by the Applicants and a simple pragmatic modern staircase would be more in keeping with that use than the 'faux' decorative staircase installed during the 1960's which is considered of low significance. In addition this will provide increased openness and daylight to the studio space (particularly under the mezzanine). The removal of the enclosed cupboard under the staircase will also increase the usable space of the studio.

The earliest plans of Studios 9-12, sourced from the Camden Archives dated 1910 (below), also evidence the fact that the mezzanines and their staircases are not an original feature of Painting Rooms at Primrose Hill Studios. It is therefore considered that any alteration that helps 'open up' The Painting Room must be seen as a reasonable and positive contribution to the Listed Building.

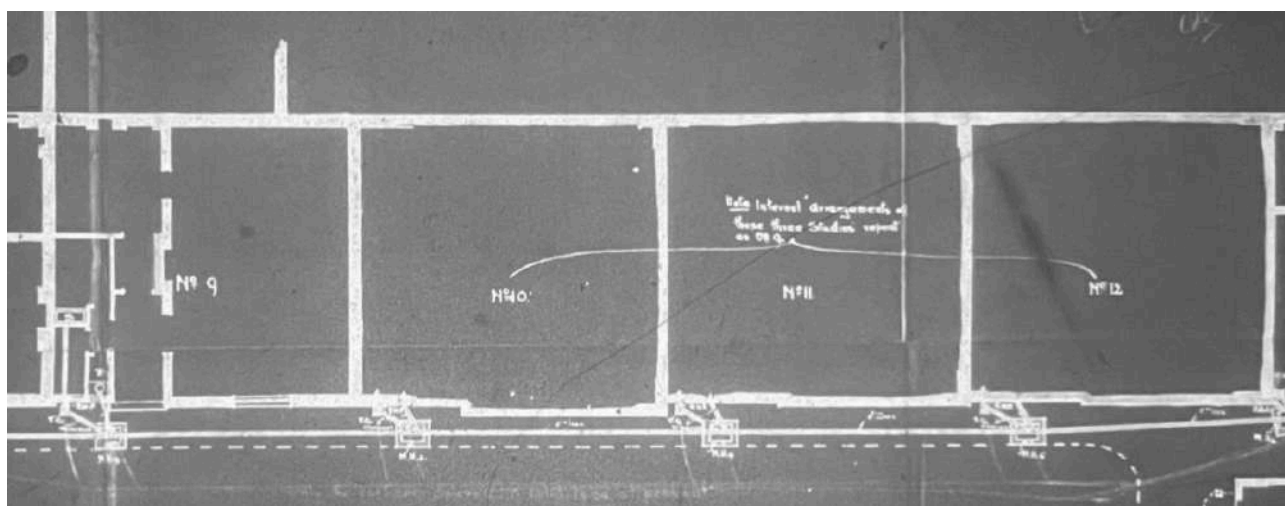


Image: Camden Archive, 1910, showing the 'as built' Studios 9-12 without mezzanines

We note that Listed Building Consent was granted for a modern open riser metal staircase at 10 Primrose Hill Studios (2009/4424/L and 2009/1184/P). See the photograph on the following page.



Image: Approved open riser metal staircase at 10 Primrose Hill Studios

The Planning Officer's Report, at the time, advised the following,

"It is proposed to remove the staircase and replace it with a new spiral staircase within the main living space. A new walkway is to be added to the existing modern mezzanine structure and the incongruous window within the wall of the mezzanine is to be replaced with a large sliding door. All of these modifications are considered acceptable and do not impact detrimentally upon the internal appearance or spatial quality of the listed building"

2.5 Flat Roof Access Hatch

An access hatch is proposed from the mezzanine to the flat roof area, as detailed in the initial planning submission (and in particular on Page 45 of The Design and Access Statement August 2022). Safe access is required to primarily service and maintain the flat roof area and rooflights but it is also noted that there is potential for further outdoor amenity as currently enjoyed at Nos 10 and 11 Primrose Hill Studios.

It is noted that Nos 10 and 11 Primrose Hill Studios both have received Listed Building Consent for access to the flat roof from their respective mezzanines in respective applications 2013/6383/L and 2023/2995/L.

2.6 Ancillary Rooms

2.6.1 The Models' "Retiring" Room

The "retiring" room is retained as a bedroom.

2.6.2 The Other Ancillary Rooms

The two other ancillary rooms remain as two rooms with one providing a family bathroom and the other providing a laundry and guest wc. This remains consistent with the approved layouts at Nos 10 and 11.

2.7 Fireplaces

The scheme proposes to clear the existing masonry flues and reinstate fireplaces to The Painting Room and the Bedroom.

2.8 Rooflights

2.8.1 South and North Rooflight, Main Painting Gallery (R.01 and R.02)

It is proposed to remove the dilapidated rooflights and replace them, like for like, with slim metal mullions and with toughened double glazing all set within the original retained structural opening. It is proposed to paint these white, internally and externally, to match the original frame colour. In addition the replacement rooflight for the (existing openable) South Rooflight (RL.01) is to be operated by a remote electrical motor to enable more effective use of natural ventilation to The Painting Room.

We note that Listed Building Consent was granted for rooflights with motorised opening vents at 10 Primrose Hill Studios (2009/4424/L) and 11 Primrose Hill Studios (2013/3740/P).

In addition Listed Building Consent has been granted for slimline metal framed with toughened double glazing in the principal north facing rooflights at 3 Primrose Hill Studios (2018/2665/L), 4 Primrose Hill Studios (2012/0238/P) and 5 Primrose Hill Studios (2022/3472/P). Please see approved drawings on Page 12.

It is proposed to replace the existing dilapidated cladding to the cheeks with natural 'lead' coloured hand worked zinc sheet strip, with flat seams, and traditional lead flashings to abutments with the slated roofs to match the consented scheme at 11 Primrose Hill Studios (2013/3740/P).

2.8.2 Bedroom Rooflight to Flat Roof (RL.03)



Image: Original Rooflight lantern at 10 Primrose Hill Studios, 1981

It is proposed to replaced the existing dilapidated rooflight with a reinstated Victorian style, slim framed rooflight lantern to match the original as closely as possible, and as pictured, at 10 Primrose Hill Studios in the photograph taken from the M.E.E Bordass thesis (1981) on the previous page. The lantern will require mechanised opening vents in order to provide natural ventilation to the bedroom ensuring that it meets the requirements of a 'habitable' room .

2.8.3 Bathroom Rooflight to Flat Roof (RL.04)

It is proposed to replaced the existing dilapidated rooflight with low profile toughened double glazed rooflights. The low profile rooflights will sit on a surrounding statutory 150mm upstand.

2.9 Windows and Glazing

2.9.1 Front Elevation - Main Sash

It is proposed to reinstate the large 4 pane sash window as captured in a 1938 photograph (see image below) which was included in the M.E.E Bordass thesis (1981).

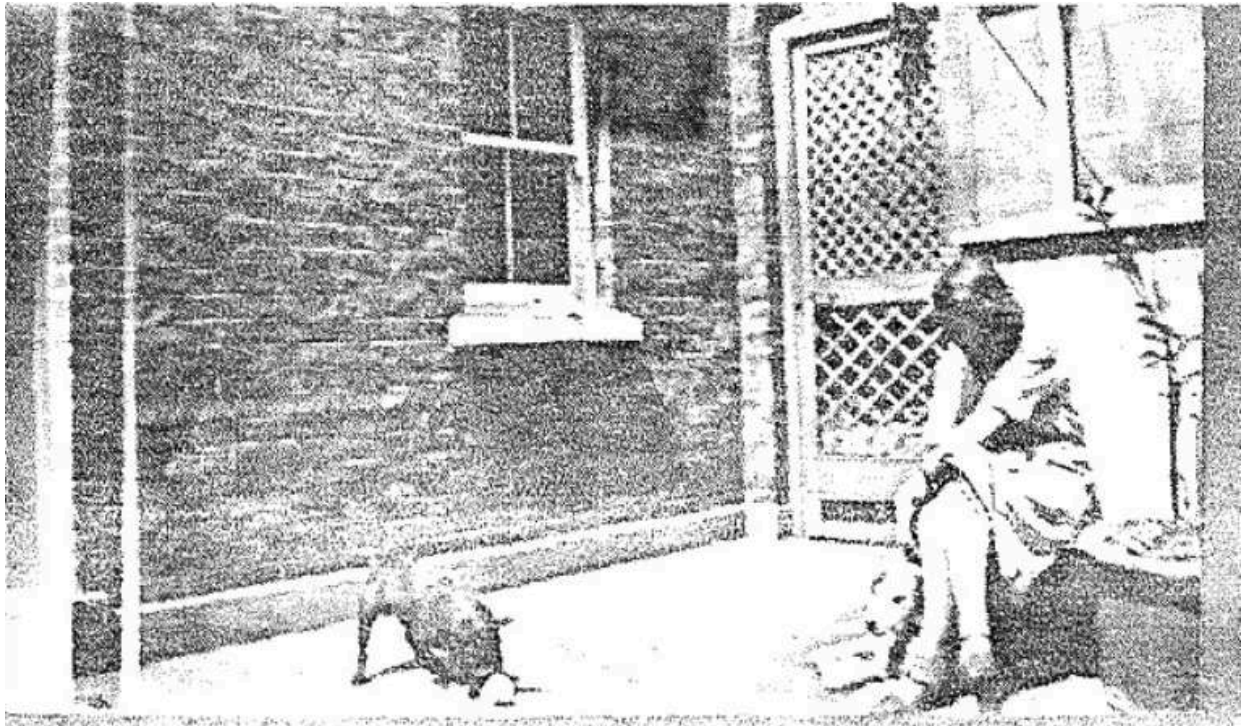


Image: 1938 Photograph showing the original principal sash window at 12 Primrose Hill Studios

The proportions of the original sash window would also match those of the existing principal sash window at 11 Primrose Hill Studios.

2.9.2 Front Elevation - Mezzanine Sash

The first floor mezzanine sash window is to be replaced like for like.

2.9.3 Front Elevation - Bathroom Window

The window adjacent to the front door is to be reinstated in its original configuration with two top in-swing hopper vents to match Studios 10 and 11. Top in-swing hopper vents are a feature of all the properties at Primrose Hill Studios.

2.9.4 Glazing to Front Elevation

As none of the existing windows have original hand-drawn ('GD') glass it is proposed to install new glazing. Nick Baxter has suggested, in his email dated 22 February 2024, that *"under certain circumstances, we would consider a laminate system, such as Histoglass Mono"*.

It is felt that secondary glazing would negatively impact on the internal spaces and therefore in order to improve the thermal performance of the property laminated Histoglass Mono glazing is proposed.

3.0 PROPOSED ALTERATIONS - 13 Primrose Hill Studios/The Lodge

3.1 Internal Layouts

It is proposed to move the staircase (which we understand has already been discussed and agreed) while maintaining the "domestic" character of the property with two rooms upstairs (bedroom and bathroom) and two rooms downstairs (kitchen and reception).

It is noted that Historic England, given the extensive bomb damage to the property, consider the Lodge's interior of "lower significance", and have further stated,

"We do not consider the proposed internal alterations to number 13 as set out in the revised [Revision D] proposals to cause harm to the building's significance given the extent of change that has already occurred within this building."

3.2 Staircase

It is proposed that the repositioned staircase be a simple utilitarian 'open riser' metal staircase. This will provide increased daylight within the property. It is noted that Listed Building Consent was granted for a modern open riser metal staircase at 10 Primrose Hill Studios 2009/4424/L as referenced previously.

3.3 Fireplaces

The scheme proposes to clear the existing masonry flue and reinstate the fireplace to the Reception Room.

3.4 Dormer

It is proposed to replace the existing poorly installed asphalt roof cladding to the dormer with natural 'lead' coloured hand worked zinc sheet strip, with flat seams to the roof and cheek and with traditional lead flashings to abutments with the slated roof. This has been approved as a cladding to the north skylight of 11 Primrose Hill Studios (2013/3740/P) and would therefore appear to be a consistent treatment to large roof features at Primrose Hill Studios.

The only other dormer at Primrose Hill Studios is at 6 Primrose Hill Studios and this has glazed cheeks which we do not feel is appropriate.

3.5 Rooflights to Pitched Roof (RL.05 and RL.06)

It is proposed to replace the existing dilapidated rooflights with low profile conservation or heritage rooflights. The replacement rooflights are of comparable size to the existing but are slightly repositioned to reflect the internal layouts below. They will be not visible from Primrose Hill Studios or the wider conservation area. Rooflight RL.05 would be openable (as is the existing) to provide natural ventilation to the landing area.

3.6 Windows and Glazing

3.6.1 Courtyard Elevation

All the windows and doors to this elevation are proposed to be slim steel frames identical in proportion to the Crittall W20 rolled steel section and are to be thermally broken (to achieve Building Regulation Approval). This framing was originally introduced in 1884 by Francis Henry Crittall, at the time when Primrose Hill Studios were constructed, and would therefore appear to be a suitable heritage profile to employ.

This would also help unify the courtyard elevation with a consistent framing system. The arrangement of the transoms, and panel divisions, is sympathetic to the existing fenestration pattern but is less methodical in creating a rigorous grid of small glass panes which we feel is more commonly associated with Victorian commercial properties, such as warehousing, or with domestic Art Deco glazing. We believe the framing design is an understated, yet elegant and refined, 'domestic' solution for the Lodge and avoids the overly stylistic 'grid' pattern.

The design is also a like-for-like copy of the consented doors and windows at 4 Primrose Hill Studios (2012/0238/P). See the following photograph.



Image: Photograph showing the galvanised steel Crittall windows and doors installed at 4 Primrose Hill Studios

We also note that Listed Building consent was granted for slimline metal framing to the large glazed North facing window and doors at Nos 3 Primrose Hill Studios (2018/2665/L) and 5 Primrose Hill Studios (2022/3472/P). Please see approved drawings on the following page.

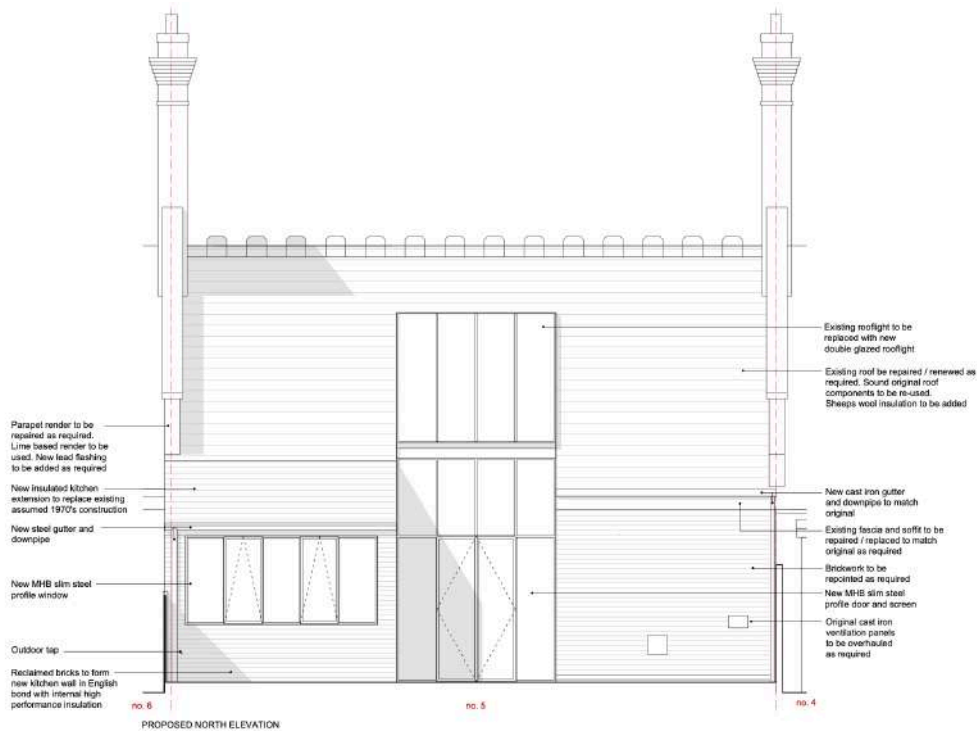


Image: 5 Primrose Hill Studios, approved drawing (2022/3472/P) showing double glazed thermally broken “MHB slim steel profile” rooflight, doors and windows

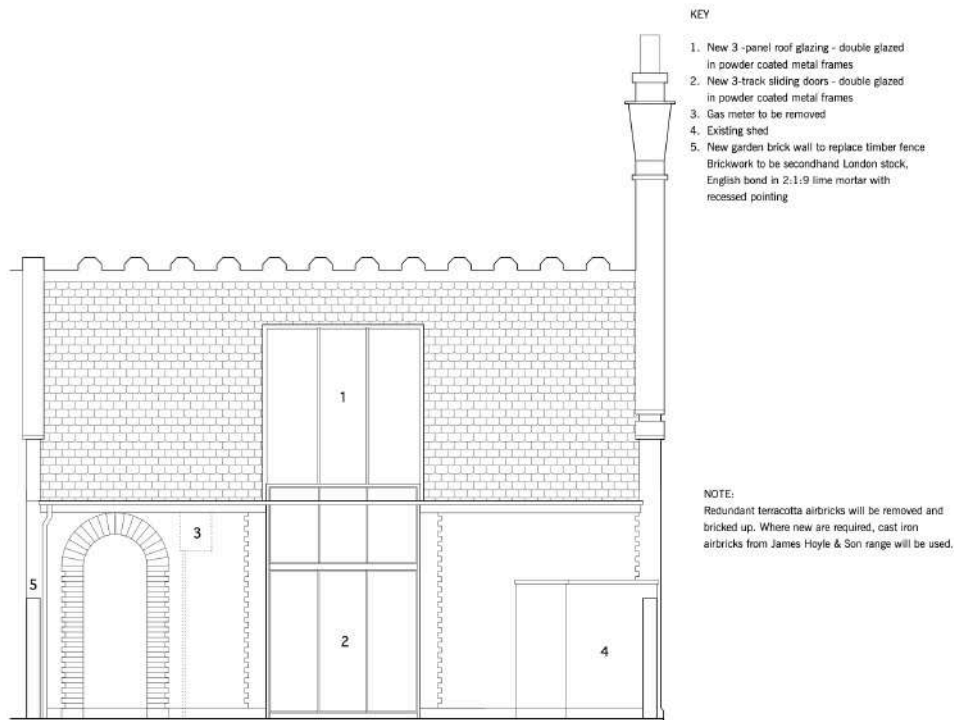


Image: 3 Primrose Hill Studios, approved drawing (2018/2665/L) showing double glazed thermally broken “powder coated metal frames” rooflight, doors and windows

Nick Baxter in his email dated 12th February 2024 advised *“we are prepared to assess double glazing on the façade of the lodge”*.

We are therefore proposing double glazing to this east facade facing The Courtyard. It is noted that double glazing was approved to the replaced glazing at Nos 3, 4 and 5 Primrose Hill Studios as noted in the previous images.

3.6.2 Front Elevation

We are proposing like for like repairs, or replacement, to the existing frames and, as none of the glazing is original, proposing laminate Histoglass Mono to replace the existing glass.

4.0 SUMMARY

We hope that the above proposals are what has been previously agreed or assumed, or that the detail as now described is seen as a positive impact on the Listed Buildings or, at least, sympathetic to the Listed Buildings. With every proposed alteration we have also highlighted that there are existing approved examples already at Primrose Hill Studios. If there is anything that has been misunderstood, or has not been included in the proposed schedule, then we would ask that you give us the opportunity to respond so that the application can finally be recommended for approval.