

**ACORN HOUSE,
314 - 320 GRAY'S INN ROAD,
LONDON
WC1X 8DP**

Validation and Completion Report

**Client
MyCo Ltd**

Report No. 5824

29th May 2024



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**Validation and Completion
Report**

Synopsis

Following a combined Phase I Desk Study and intrusive investigation^[1] undertaken by Soiltechnics and a remedial action plan^[3] by ourselves for the mixed use development at Acorn House in Kings Cross on the instructions of MyCo Ltd.

The purpose of this validation and completion report is to provide the information to confirm works on site have been carried out in accordance with the above reports.

The results indicate that the site is suitable for use.

1

Previous investigations and strategy

The previous investigation at this site^[1] has found the site to be generally suitable for its proposed use. Originally some soft landscaping was to be provided which would have required some capping of the soil. However as shown at Figure 1 & 2 of Appendix A all landscaping will be hard landscaping with raised planters and thus no remediation required.

2

Ground conditions

2.1

Stratigraphy

The stratigraphy of the site as revealed during the redevelopment is consistent with that found in the survey. No visual or olfactory evidence of contamination was observed.

3

Discussion

3.1

Solid phase

As is good practice, the site agent was required to inform us if any possible contamination was found. No such notification was received; as detailed in Appendix B.

All soft landscaping is via raised planters with a concrete basement slab being provided across the whole site and thus remediation or validation sampling is not required.

3.2

General

The site has been investigated to a suitable extent and appropriate risk assessments undertaken.

No additional contamination has been highlighted, all landscaped soils were formed in raised planters. On this basis the development is therefore considered suitable for its proposed use.

A M Smith
AP GEOTECHNICS LTD.
29th May 2024

This report has been prepared for the sole and specific use of Myco for the purpose of the proposed development at Acorn House and should not be relied upon by any third party. Any other persons who use any information contained herein without the written permission of AP GEOTECHNICS LTD, do so at their own risk. The copyright to this report remains the property of AP GEOTECHNICS LTD.

References

- [1] Report No. STS5053
Ground Investigation Report
Acorn House, 314 - 320 Gray's Inn Road, Kings Cross WC1X 8DP
Soiltechnics., July 2020

- [2] Report No. 5657 V2
Remedial Action Plan
Acorn House, 314 - 320 Gray's Inn Road, Kings Cross WC1X 8DP
APgeotechnics, March 2024

APPENDICES

A Figures

Figure 1: Proposed Basement layout

Figure 2: Landscaping formed from raised planters

B Client Declaration

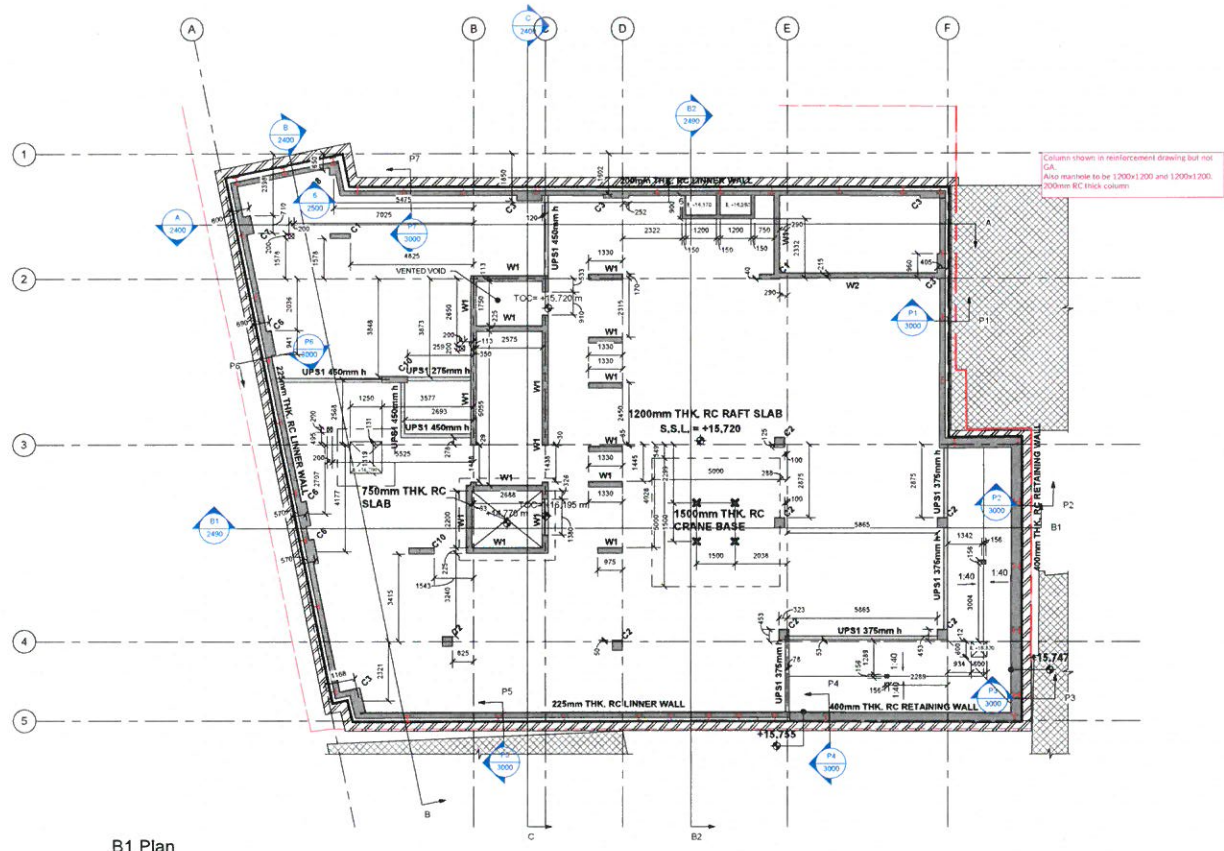
APPENDIX A

FIGURES

Acorn House, 314 - 320
 Gray's Inn Road, London,
 WC1X 9DP

Proposed Basement layout

Scale: unknown



B1 Plan
 1:100

Wall Schedule	
Ref.	Type
W1	225mm THK RC WALL
W2	200mm THK RC WALL
W3	300mm THK RC WALL
Structural Column Schedule	
Type Mark	Type
C1	200 x 800mm RC COLUMN
C2	400 x 400mm RC COLUMN
C3	350 x 1000mm RC COLUMN
C4	385 x 1000mm RC COLUMN
C6	380 x 240mm RC COLUMN
C7	725 x 350mm RC COLUMN
C8	385 x 350mm RC COLUMN
C9	250 x 800mm RC COLUMN
C10	250 x 1000mm RC COLUMN

RC Upstand Schedule	
Type Mark	Type
UPS1	150mm THK RC UPSTAND
UPS2	150mm THK RC UPSTAND
UPS3	250mm THK RC UPSTAND
UPS4	110mm THK RC UPSTAND
UPS5	100mm THK RC UPSTAND
UPS6	250mm THK RC UPSTAND
UPS7	240mm THK RC UPSTAND

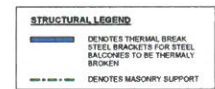
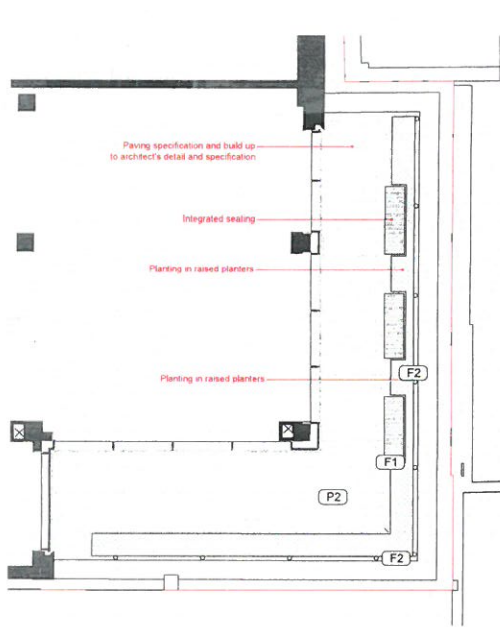


Figure 1

Acorn House, 314 - 320
Gray's Inn Road, London,
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Landscaping formed from raised planters

Scale: as shown



0101 GENERAL ARRANGEMENT - LOWER GROUND
01 SCALE 1:50

Lower Ground Floor

Herbaceous Plant Mix					
Code	Latin name	Common name	Pot Size	Height (cm)	Quantity
AN	<i>Anemone nemorosa</i>	Wood Anemone	Bulb 7/Item	20-30	As shown 131
AS	<i>Asplenium nidus</i>	Hart's-Tongue Fern	2L	20-30	As shown 9
AR	<i>Asarum majus 'Rubra'</i>	Masterwort	2L	40-60	As shown 8
BR	<i>Sergenia 'Bressingham Ruby'</i>	Elephant's Ears	1L	30-40	As shown 1
BS	<i>Blechnum spicant</i>	Deer Fern	3L	40-50	As shown 18
CF	<i>Cytisium tortuosum</i>	House Hairy Fern	2L	20-30	As shown 24
GP	<i>Geranium phaeum 'Samobor'</i>	Mounting Widow	2L	30-50	As shown 30
HN	<i>Hebeborus niger</i>	Christmas Rose	2L	30-40	As shown 7
HO	<i>Hebeborus orientalis</i>	Lenten Rose	2L	30-40	As shown 8
LN	<i>Lupinus linifolius</i>	Stoney Woodrush	2L	20-40	As shown 24
PA	<i>Polystrichum aculeatum</i>	Soft Shield Fern	2L	20-30	As shown 29
TC	<i>Tiarella cordifolia</i>	Foam Flower	2L	20-30	As shown 23
Total					312
Specimen Shrubs and Climbers					
Code	Latin name	Common name	Pot Size	Height (cm)	Quantity
DL	<i>Daphne laureola</i>	Sourage Laurel	20L	80-100	2
HC	<i>Hedera colchica</i>	Presley Ivy	5L	200-250	5
PV	<i>Plectanthe viburnodes</i>	Climbing Hydrangea	5L	100-125	14
PM	<i>Polystichum montanum</i>	Western Sword Fern	10L	80-100	3
PL	<i>Prunus laurocerasus 'Ouro Luyken'</i>	Cherry Laurel	10L	80-100	3
SH	<i>Sarcococca hookeriana 'Digyna'</i>	Dwarf Box	10L	80-100	2
Total					29
Bulb Planting					
Code	Latin name	Common name	Bulb size	Spacing	Quantity
	<i>Galanthus nivalis</i>	Snowdrop	5-6cm	As shown	46

Note: Plants to be planted in groups of 5/10/2/100, etc. of same species to create repetition planting.

0101 PLANTING SCHEDULE - LOWER GROUND
02

GENERAL ARRANGEMENT KEY

- P2: Paving Specimen Plants to be laid in Herbaceous bed. To back in simple and simple.
- F1: Raised Planter system with integrated sealing to be used. Plants to be shown as shown.
- F2: Other areas to be planted with integrated sealing. To be used for other areas to be shown as shown.



0101 PLANTING PLAN - LOWER GROUND
03 SCALE 1:20

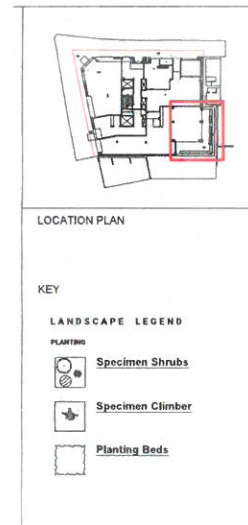
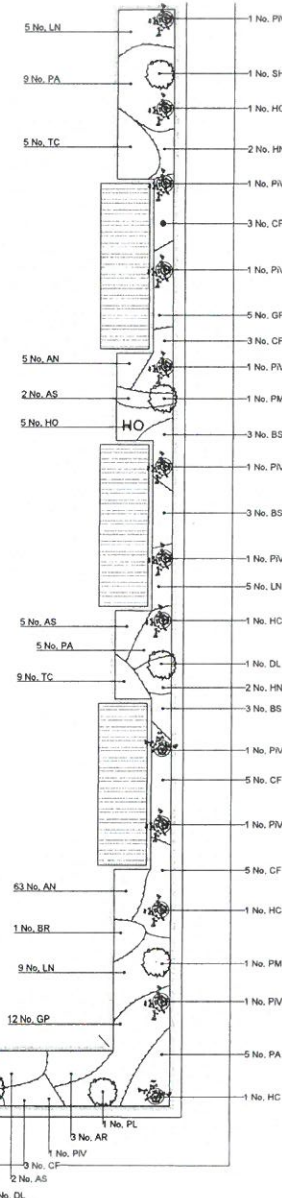
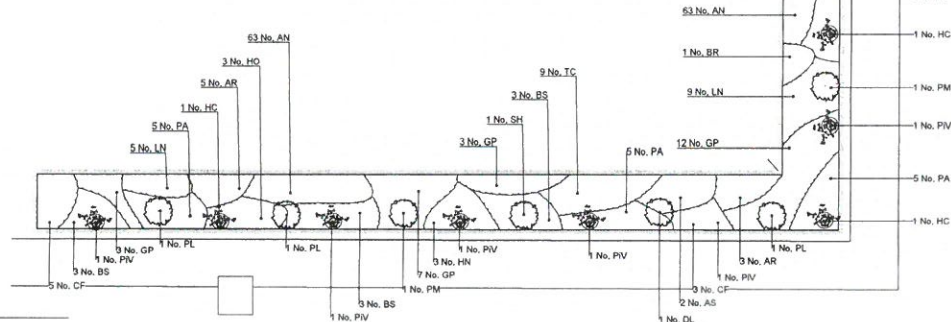


Figure 2

APPENDIX B

CLIENT DECLARATION



Konform (Uk) Limited

Craycombe, Parsonage Lane,

Sawbridgeworth, CM21 0ND

Mr Adrian Smith

AP Geotechnics limited

51-53 Guildford Street

Chertsey

Surrey KT16 9BA

Ref: AC01

Date 21/05/24

Dear Adrian,

[Acorn House]

We employ a qualified and suitably experienced site agent with over 10 years of experience working on a wide variety of sites including contaminated ones.

Our site agent can confirm that no materials were encountered that showed significant variation from those detailed in the ground investigation that required a visit from our environmental specialist.

We can also confirm that all ground workers on the site were informed to report any material that would be cause for concern in relation to contamination, to be reported for further investigation.

Our site records indicate that no reports in this regard were recorded.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Paul Collins', is placed over a light grey rectangular background.

[Paul Collins- Konform Contracts Manager]