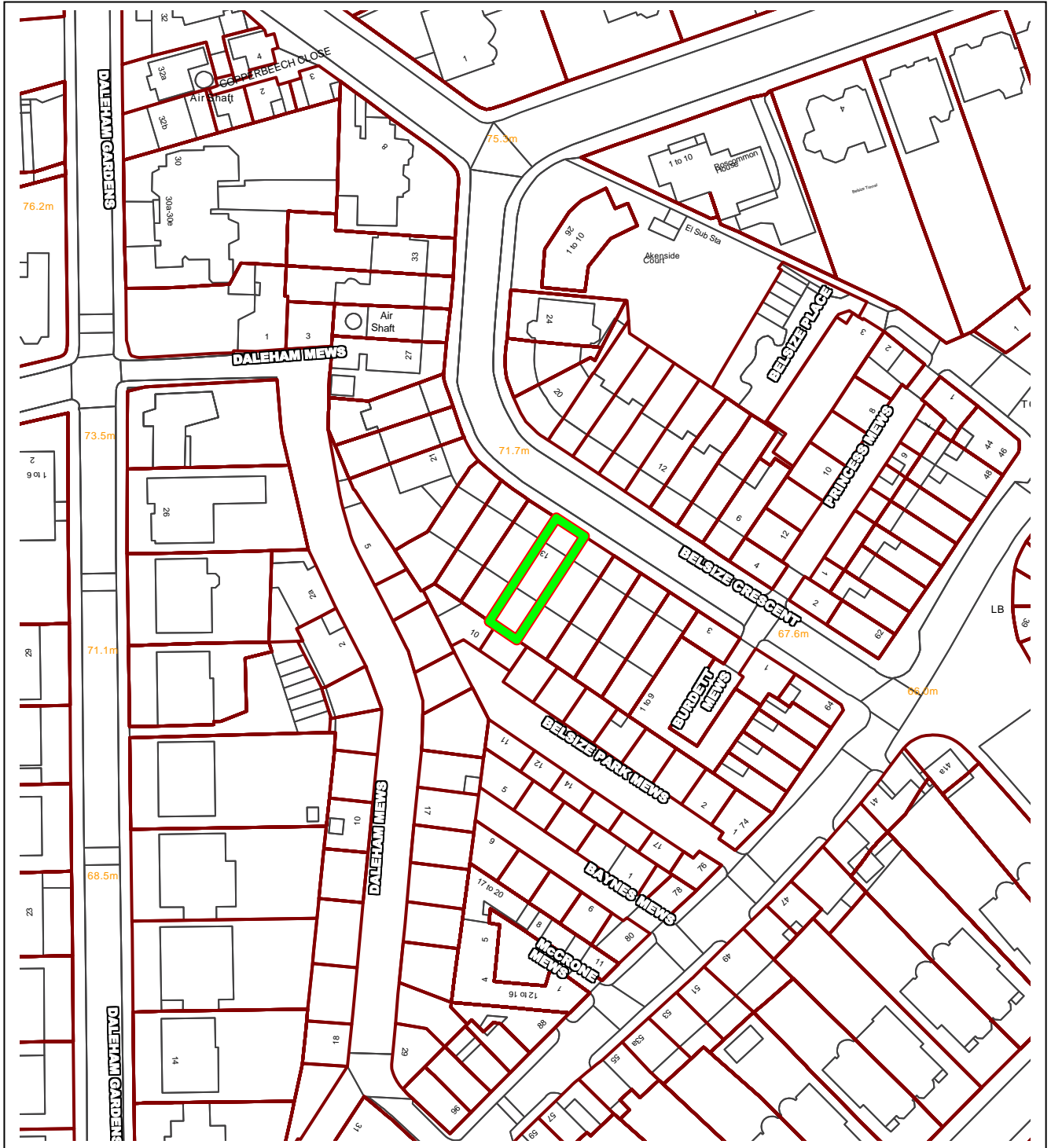


# 13 Belsize Crescent – 2023/0693/P



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### 13 Belsize Crescent: Site Images.

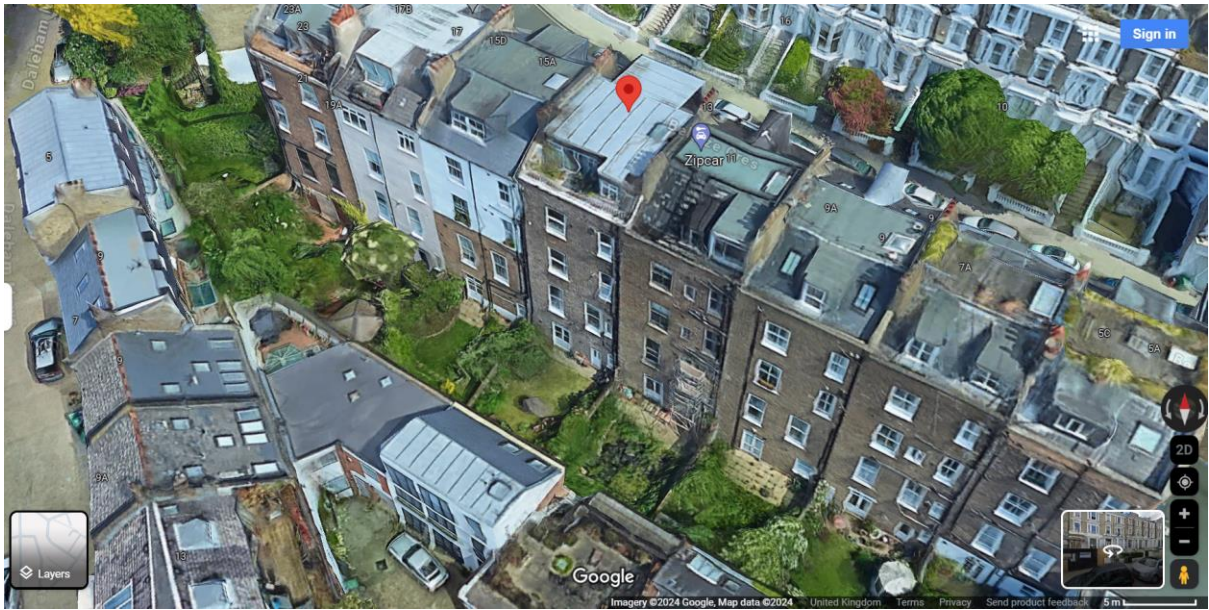


1. Goolgmaps satellite view.

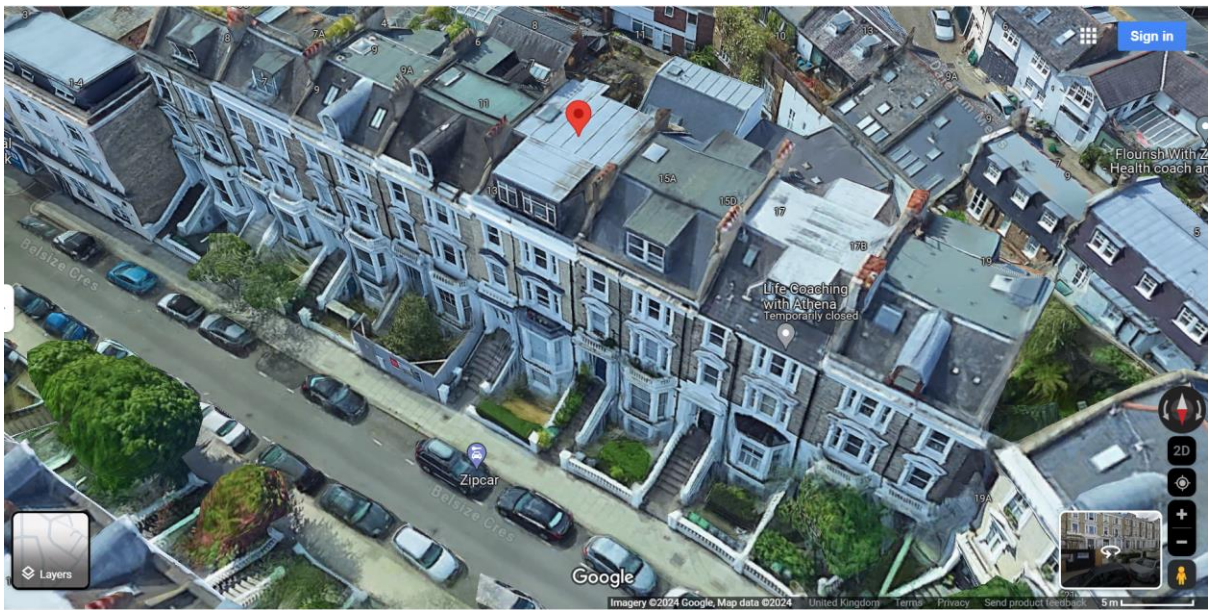


2. Googlemaps satellite view close up.



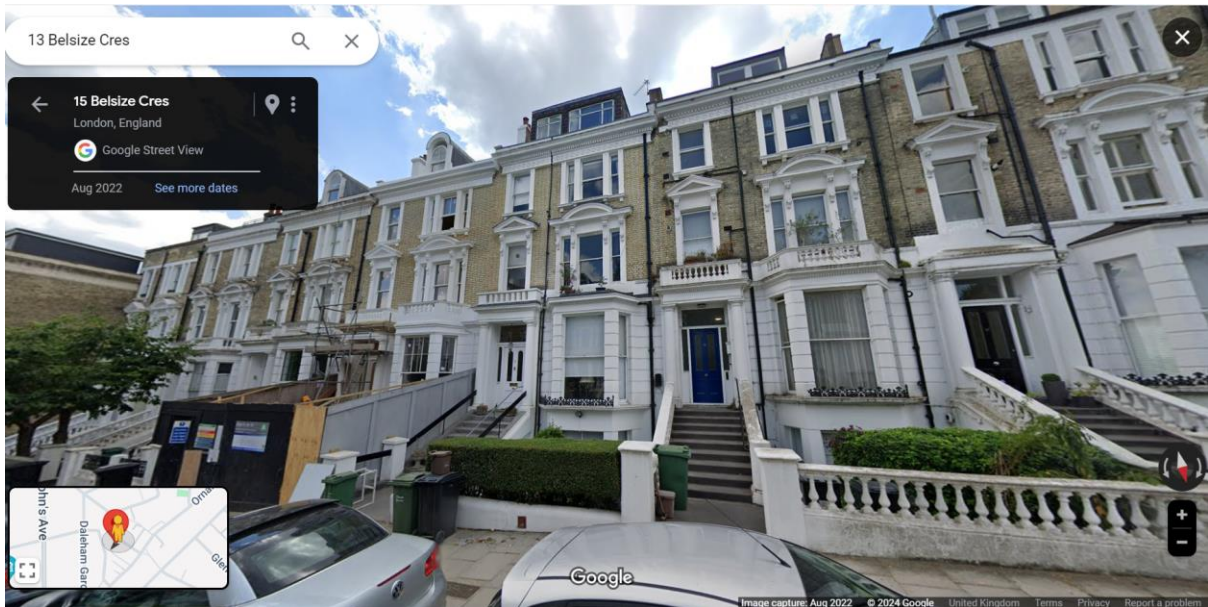


3. Google 3D view of rear.



4. Google 3D view of front.





5. Google Streetview. Large existing front dormer to host site.



6. Site visit photograph, street scene. Host site with large existing front dormer.



7. Site visit photograph, front light-well.



8. Site visit photograph, Front light well.





9. Site visit photograph, existing condition at lower ground floor.



10. Site visit photograph, lower ground floor view to rear.



11. Site visit photograph, rear garden.



12. Site visit photograph, one side of existing front dormer.





13. Site visit photograph, existing rear balcony railing.



14. Site visit photograph, existing rear balcony railing.





15. Site visit photograph, existing roof and neighbouring plant arrangement.



16. Site visit photograph, existing neighbouring access to roof.

<b>Delegated Report</b>		<b>Analysis sheet</b>	<b>Expiry Date:</b>	<b>EoT 03/05/2024</b>
<b>(Members Briefing)</b>		N/A / attached	<b>Consultation Expiry Date:</b>	25/06/2023
<b>Officer</b>			<b>Application Number(s)</b>	
Matthew Dempsey			2023/0693/P	
<b>Application Address</b>			<b>Drawing Numbers</b>	
13 Belsize Crescent London NW3 5QY			Please refer to Decision Notice	
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>	
<b>Proposal(s)</b>				
Remodelling of dormer, fenestration alterations, replacement windows, installation of roof lights, solar panels, air source heat pumps and associated works.				
<b>Recommendation(s):</b>		Grant Householder Consent		
<b>Application Type:</b>		Householder Application		



Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
<b>Consultations</b>						
Adjoining Occupiers:	No. notified	00	No. of responses	4	No. of objections	4
Summary of consultation responses:	<p>A site notice was displayed 31/05/2023, which expired 24/06/2023. A press notice was published 01/06/2023, which expired 25/06/2023.</p> <p>4 responses were received from local residents who raised objections to the scheme. Their concerns related ca be summarised as follows:</p> <ul style="list-style-type: none"> <li>• Front dormer (original should be reinstated).</li> <li>• Reinstatement of stone balustrading, front steps, boundary wall and first floor window.</li> <li>• Detail within application.</li> <li>• Installation of disabled access (to frontage within a CA).</li> <li>• Basement excavation (depth of excavation, swimming pool, risk of mould, damp).</li> <li>• Impact on local traffic management.</li> <li>• Flood risk.</li> <li>• Noise from Air Sourced Heat Pump (ASHP).</li> </ul> <p><u>Officer response:</u></p> <ul style="list-style-type: none"> <li>• <i>It is acknowledged that the existing front dormer is somewhat incongruous in the street scene, however it is already in place, and the overall site development shall include improvement to the fenestration which is welcomed.</i></li> <li>• <i>The proposed basement excavation has been significantly reduced with the removal of the swimming pool from scope of development entirely. The applicant has provided a basement impact assessment which has been independently checked by our specialist consultants to their satisfaction. This is considered acceptable.</i></li> <li>• <i>The development shall be subject to an acceptable construction management plan (CMP) to be secured by section 106 legal agreement to ensure construction impacts are minimised and mitigated.</i></li> <li>• <i>The building works and associated construction shall be governed by the usual environmental health controls to ensure that the development does not create unnecessary noise nuisance. In addition, the applicant has provided a noise impact assessment which has been checked by the Council's Env Health Officer.</i></li> <li>• <i>The application under consideration is not considered to bring about any flood risks. Please see associated application reference 2023/0692/P.</i></li> <li>• <i>The applicant has provided a noise impact assessment which has been reviewed by the Council's Environmental Health Officer who has confirmed it is acceptable in environmental health terms.</i></li> </ul>					
Belsize CAAC comments:	<p>The Belsize conservation Area Advisory Committee were consulted on the scheme and raised the following objection:</p> <p>"We note that this building makes a positive contribution to the Conservation Area. The windows on the rear elevation should match the existing. The double glazing divisions should be no thicker than for single glazing. The heat pumps should be in a sound reducing enclosure".</p> <p><u>Officer Response:</u></p> <p><i>The proposed development is considered to bring about enhancements which would positively contribute to the character and appearance of the conservation area, such as the reinstatement of historic balustrading as part of the overall works. Where windows are to be replaced these shall match the original timber framed sash designs. Details shall be secured by conditions. The applicant has provided a noise impact assessment as part of their application which has been check to the satisfaction of the Council's Environmental Health Officer. They have also suggested conditions which have been added to the</i></p>					

*derision. As such the proposed development is considered acceptable.*



## Site Description

The host site is a single family dwelling, terraced house, constructed during the Victorian period across five floors including lower ground floor and habitable loft space. It is situated on the south-west side of Belsize Crescent.

The property benefits from a small private front garden with grand steps to the main front entrance and existing secondary entrance at lower ground floor. The property includes a private garden to the rear.

The property is not listed, but is located within the Belsize Conservation Area. The site is noted along with its neighbours as making a positive contribution to the character and appearance of the area.

## Relevant History

Application site

**2022/1803/P** - Use of the property as a single residential unit (Class C3). **Granted 15/06/2022**

**2022/3736/P** - Replacement of two rear upper ground floor sash windows with French doors and glazed balustrades. **Granted 20/03/2023.**

**2022/3739/P** - Replacement of rear lower ground floor doors and window with bi-folding doors. **Granted 20/03/2023.**

**2023/0692/P** – Basement excavation, installation of external platform lift, reconfiguration of external staircase, reinstatement of stair balustrade and front boundary treatment to match original, replacement windows, installation of bi folding doors, hard and soft landscaping and associated works. **Recommended for approval.**

## Relevant policies

**National Planning Policy Framework 2023**

**The London Plan 2021**

**Camden Local Plan 2017**

A1 Managing the impact of development

A4 Noise and vibration

CC1 Climate change mitigation

CC2 Adapting to climate change

CC3 Water and flooding

D1 Design

D2 Heritage

**Camden Planning Guidance:**

Amenity (January 2021)

Design (January 2021)

Energy efficiency and adaptation (January 2021)

Home Improvements (January 2021)

**Belsize Park Conservation Area Statement (2002)**

## Assessment

### 1.0 Proposal:

1.1 Householder consent is sought for the following to front and rear:

- Remodelling of dormer fenestration;
- Replacement windows.

1.2 Also with the following at roof level:

- Installation of roof lights;
- Solar panels;
- Air source heat pumps (ASHP), and,
- Biodiverse roof covering.

1.3 The scheme was revised during the assessment to respond to consultation responses. The revisions include:

- Alteration to front dormer glazing bars.
- Installation of timber framed sash window to rear dormer.
- Replacement of rear terrace railings, with black painted cast iron railings.
- Replacement of existing UPVC windows to rear with timber sash units.
- Repositioning of stairwell roof light.

### 2.0 Assessment:

2.1 The main planning considerations in the assessment of this application are:

- Design and heritage
- Amenity
- Biodiversity

### 3.0 Design and Heritage:

3.1 The Council's policy D1 aims to ensure the highest design standards for developments and states that the Council will require all developments to be of the highest standard of design and to respect the character, setting, form and scale of neighbouring buildings and the character and proportions of the existing building. Policy D2 'Heritage' states that to maintain the character of Camden's conservation areas and listed buildings, the Council will not permit development within the conservation area or for listed buildings that fails to preserve or enhance the character and appearance of that conservation area and the special interest of the listed building.

3.2 To the front and rear, timber framed double glazed sash windows are proposed to replace the existing single glazed windows. New windows shall be designed to match original units, albeit with improved thermal insulation.

3.3 The fenestration to the existing front dormer shall be re-configured with three timber framed sash windows installed to replace the existing pair of casement windows in place.

3.4 The existing access to the rear terrace shall be replaced with aluminium framed sliding doors and an existing UPVC window shall be replaced with a double glazed timber framed sash unit. The existing white metal safety railing shall be replaced with a more traditional black metal rail.

3.5 Works to the property includes replacement and reinstatement of historic features such as first floor level balustrading to match original features at neighbouring properties.

3.6 At roof level, a biodiverse roof covering is proposed to the existing flat roof of the front dormer. Two rooflights



are positioned centrally, adjacent to the installation of three ASHPs and an array of seven (7) solar panels are to be installed above the rear dormer roof. The roof top installation would not be noticeable from the public realm and are not considered to have any harmful impact on the appearance of the host property or wider street scene.

3.7 Overall, the proposed development is considered to be acceptable in terms of design and heritage policies.

#### **4.0 Amenity:**

- 4.1 The Council's Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Policy A1 seeks to ensure that development protects the quality of life of occupiers and neighbours by stating that the Council will only grant permission for development that would not harm the amenity of neighbouring residents. This includes privacy, outlook, noise and impact on daylight and sunlight.
- 4.2 The replacement windows shall be fitted within existing openings with no significant new views created through this development. As such these works are not considered to have any harmful impact on neighbouring amenity.
- 4.3 The proposed ASHP installation has been accompanied by a Noise Impact Assessment which has been reviewed by the Council's Environmental Health Officer. They have considered the application acceptable in environmental health terms, and have suggested conditions to ensure there would be no noise nuisance. These conditions have been added to the decision.
- 4.4 The existing rear balcony terrace would be maintained, with access to the upper roof level shall be restricted for maintenance purposes only.
- 4.5 Given the nature of this development, it is not considered that it would have a detrimental impact on the amenity of any neighbouring occupiers.

#### **5.0 Biodiversity:**

- 5.1 The provision of a biodiverse roof to the existing front dormer roof shall provide habitats and feeding opportunities promoting local biodiversity. The addition of the biodiverse roofs will also contribute to flood mitigation which is welcomed.
- 5.2 Full detail of the proposed biodiverse roof installation shall be secured by condition which is added to the decision notice.

#### **6.0 Recommendation:**

- 6.1 Grant Householder consent.

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 29<sup>th</sup> April 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2023/0693/P  
Contact: Matthew Dempsey  
Tel: 020 7974 3862  
Email: [Matthew.Dempsey@Camden.gov.uk](mailto:Matthew.Dempsey@Camden.gov.uk)  
Date: 23 April 2024

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

SM Planning  
80-83 Long Lane  
London  
EC1A 9ET

# DRAFT

Dear Sir/Madam

**DECISION**

Town and Country Planning Act 1990 (as amended)

## **Householder Application Granted**

Address:

**13 Belsize Crescent  
London  
NW3 5QY**

Proposal: Remodelling of dormer, fenestration alterations, replacement windows, installation of roof lights, solar panels, air source heat pumps and associated works.

Drawing Nos: Existing Plans: GA 100 - Site Location Plan - Rev A, GA 100 - Existing Lower Ground Floor Garden Plan - Rev A, GA 101 - Existing Lower Ground Floor Plan - Rev A, GA 102 - Upper Ground Floor Plan - Rev A, GA 103 - First Floor Plan Rev A, GA 104 - Second Floor Plan - Rev A, GA 105 - Third Floor Plan - Rev A

GA 106 - Roof Plan - Rev A, GA 107 - Existing Rear Elevation - Rev C, GA 108 - Existing Front Elevation - Rev C, GA 200 - Existing Section A - Rev A, GA 201 - Existing Section B - Rev A.

Proposed Plans: GA 302 - Proposed Upper Ground Floor Plan - Rev P1, GA 303 - Proposed First Floor Plan - Rev P1, GA 304 - Proposed Second Floor Plan - Rev P1, GA 305 - Proposed Third Floor Plan - Rev P1, GA 306 - Proposed Roof Plan - Rev P1, GA 315 - Proposed Lower Ground Floor Garden Plan - Rev P1

GA 404 - Proposed Section A - Rev A, GA 406 - Proposed Section B - Rev A

GA 500 - Proposed Front Elevation - Rev C, GA 501 - Proposed Rear Elevation - Rev C.

Supporting Technical Documents: QF10856/PF7342/RP2C - Results of a 48 hour noise level survey carried out on the roof of the residential property located at 13 Belsize Crescent, London, NW3 and a report on the noise impact of the proposed new external plant - Rev C, Photo Survey 2023, Design and Access Statement - dated 16th February 2023, Planning and Heritage Statement Letter - dated 31st March 2023.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Existing Plans: GA 100 - Site Location Plan - Rev A, GA 100 - Existing Lower Ground Floor Garden Plan - Rev A, GA 101 - Existing Lower Ground Floor Plan - Rev A, GA 102 - Upper Ground Floor Plan - Rev A, GA 103 - First Floor Plan Rev A, GA 104 - Second Floor Plan - Rev A, GA 105 - Third Floor Plan - Rev A, GA 106 - Roof Plan - Rev A, GA 107 - Existing Rear Elevation - Rev C, GA 108 - Existing Front Elevation - Rev C, GA 200 - Existing Section A - Rev A, GA 201 - Existing Section B - Rev A.

Proposed Plans: GA 302 - Proposed Upper Ground Floor Plan - Rev P1, GA 303 - Proposed First Floor Plan - Rev P1, GA 304 - Proposed Second Floor Plan - Rev P1, GA 305 - Proposed Third Floor Plan - Rev P1, GA 306 - Proposed Roof Plan - Rev P1, GA 315 - Proposed Lower Ground Floor Garden Plan - Rev P1, GA 404 - Proposed Section A - Rev A, GA 406 - Proposed Section B - Rev A, GA 500 - Proposed Front Elevation - Rev C, GA 501 - Proposed Rear Elevation - Rev C.

Supporting Technical Documents: QF10856/PF7342/RP2C - Results of a 48 hour noise level survey carried out on the roof of the residential property located at 13 Belsize Crescent, London, NW3 and a report on the noise impact of the proposed new external plant - Rev C, Photo Survey 2023, Design and Access Statement - dated 16th February 2023, Planning and Heritage Statement Letter - dated 31st March 2023.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.



- 4 The external noise level emitted from plant/equipment at the development hereby approved shall be lower than the typical existing background noise level by at least 10dBA, by 15dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with all machinery operating together at maximum capacity and thereafter be permanently retained.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 5 Prior to use, machinery, plant or equipment at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by vibration in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 6 Prior to commencement of development , full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
- i. a detailed scheme of maintenance
  - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used [for large areas of green roof add in : and showing a variation of substrate depth with peaks and troughs]
  - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 7 The upper roof level, housing the ASHPs, solar panel array and biodiverse roof, hereby permitted shall not be used as a roof terrace or amenity space at any times. Access is restricted to necessary maintenance works only.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 8 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all windows (including jambs, head and cill);

b) Plan, elevation and section drawings, of the new balustrading a scale of 1:10;

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

**DRAFT**

**DECISION**