

DM331 Flat A 11 Chesterford Gardens NW3

May 2024

Design & Access Statement

Variation of Condition application

The property

The flat occupies the ground floor of a large three storey Edwardian house which is sub-divided into three flats, one per floor.

The original front door of the house in the centre of the front elevation was presumably blocked off at the time of the sub-division and the front hallway incorporated into the ground floor apartment. In consequence, the front area changed and currently has the vehicle entrance to the basement garage, the bin store and a small inaccessible front garden (figure 1 & 5).

The entrance doors to all three apartments are currently located internally, directly off the stairwell, accessed via the original side door on the flank wall (figures 2 & 3).



Figure 1



Figure 2



Figure 3

The existing ground floor flat Gross Internal Area (GIA) is 140 square metres, comprising a living room, kitchen, 3 bedrooms and 3 bathrooms. The third bedroom, one of the bathrooms and laundry cupboard are contained in a small rear offshoot with a GIA of 15 square metres (figure 4).

Access to a rear hard paved area and private garden beyond is through the Living Room and Bedroom 3 (figure 5). The hard paved area consists of a series of brick terrace walls of various heights and steps, the terraces are part planted and part paved. There are existing mature trees, hedges, shrubs and steps in the rear garden, but not near to the house (figures 6 & 7).

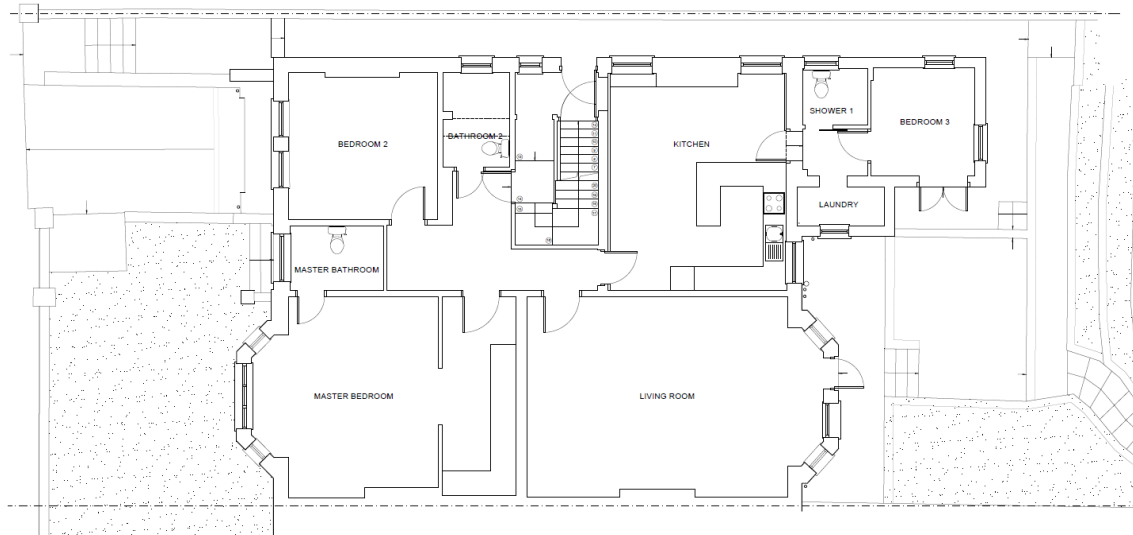


Figure 4



Figure 5



Figure 6



Figure 7

Planning History

The subject property is located within the Redington / Froggnal Conservation Area (sub Area 6) (figure 8). Chesterford Gardens is described in the CA statement as:

“....defined by its compactness of development and the extent and density of roadside trees. It comprises comparatively tightly spaced detached and semi detached three or four storey red brick houses. Bay windows and dormer windows are prominent features in the street scene and decoration is restrained.”

Planning consent was granted in 2005 for a rear extension to the ground floor flat (ref: 2005/0365/P). The consent was not enacted.

Planning consent was granted in 2021 for reinstatement of the original house front door and a new rear extension (ref:2021/0801/P). The purpose of this Variation of Condition application is make alterations to that current consent.



Figure 8

The proposal

The main changes are as follows:

1. The front of the house will be reconfigured to its original design with the reinstatement of the main entrance door providing direct access to the ground floor flat, subject to the approval of the freeholders.
2. The existing vehicle entrance to the basement garage will be maintained, though with a more stylistically appropriate door. **The drive will be widened at the expense of the side passaged access steps. The retaining wall will be set back in the same appearance, with the existing metal railing removed and reinstated.**
3. The existing bin store will be moved slightly towards no.13 to allow for the reinstatement of the front path, gate and entrance steps, to reconnect the house directly to Chesterford Gardens, subject to the approval of the freeholders.
4. A landing half way up the steps will afford access to the existing raised front garden (figure 9).
5. The interior of the flat is to be refurbished. Part of the existing dressing room will become an suite bathroom and Bedroom 3 plus a shower room will be moved to the location of the existing kitchen (figure 10).



Figure 9

6. The existing rear offshoot will be demolished and replaced by a new larger volume containing the kitchen. The location of this extension ensures that the amenity of neighbouring residents is protected, maintaining existing distances to neighbouring dwellings. In addition, the closest dwellings to the north along Chesterford Gardens are set at a higher level and therefore would not be materially impacted. **This extension has**

[illegible]

7. The existing offshoot has a sloped roof which clashes with a sash window to the first floor apartment. The new design has a flat roof, which eases this junction, and whilst raising the height at the eaves, lowers the extension's overall height. A roof window will be added, providing diffused daylight into the Kitchen below (figure 11).
8. The extension walls will be red brick, with large expanses of slender metal framed windows to provide a light weight and understated contemporary contrast to the heavy masonry character of the host building (figures 9 & 12).

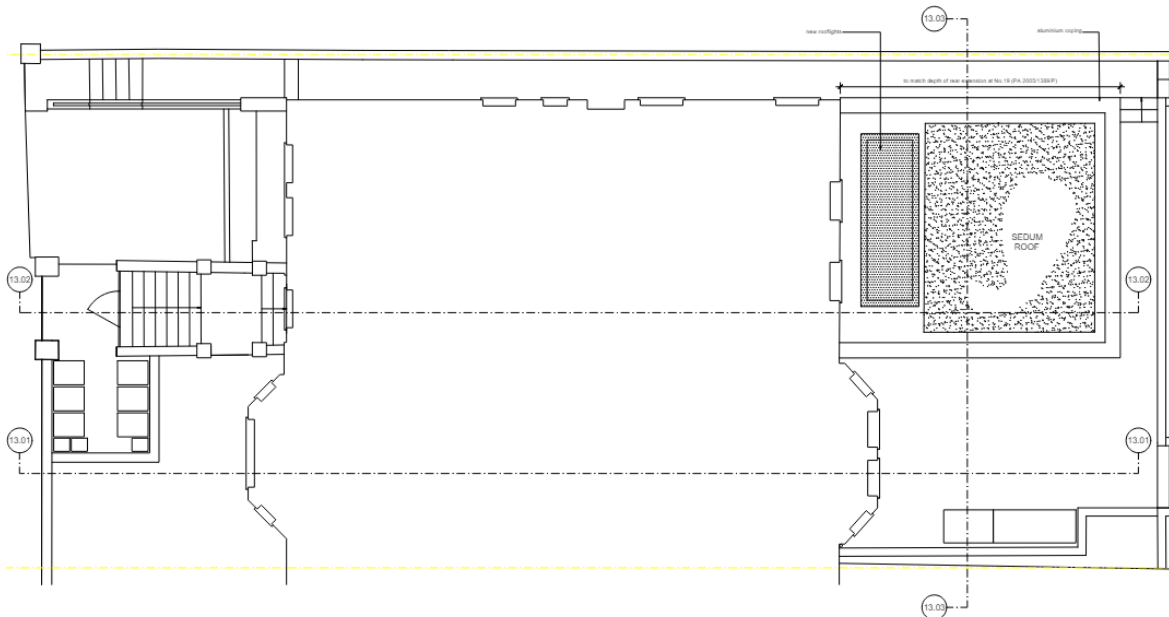


Figure 11



Figure 12

9. The existing door opening in the bay window from the living room will be widened, which combined with generous glazed doors in the flank wall of the kitchen will improve access and views of the hard paved rear terrace area, improving the links from the flat to the generous garden (figures 9 & 13).
10. The new extension and re-landscaped lowered terrace will require some small adjustments to be made to the rear garden paths and steps, carried out with materials salvaged from the existing.

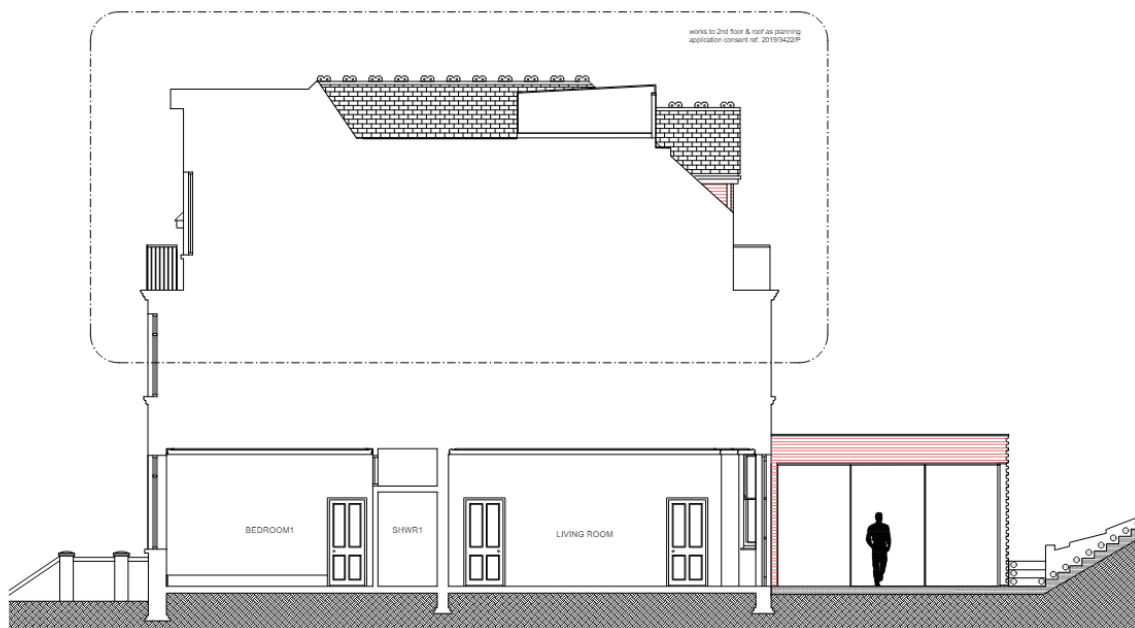


Figure 13

Summary

The design has been carefully devised so as to improve the interior layout of the existing apartment and its relationship to the front and rear gardens.

Continuing the process started with the refurbishment of the second floor façades and roof (ref. 2019/3422/P), these proposals seek to reverse inappropriate changes made to the front of the building, restoring it to its original appearance, whilst introducing some discreet contemporary changes at the rear.

This Variation of Condition application seeks to amend the current consent (ref:2021/0801/P) in two locations:

1. Increasing the depth of the rear extension by approx. 1100mm (making it the same depth as no.19).
2. Widening the front drive slightly by decreasing the width of the side passage access steps. This will not result in the loss of any soft landscaping. The side steps were widened at the time of the conversion of the original house into flats in the 1970s, when the original front door and steps were blocked off and the side passage became the main entrance to all three flats. This change actually reinstates a previous arrangement, with the side steps returned to their original width and now providing access only to the apartments on upper floors.



Figure 14

Access statement

The proposed works of reinstating the front door and entrance steps will not alter the accessibility of the house which will remain not wheelchair accessible.

The proposal includes no additional on site parking provision. There is an existing Controlled Parking Zone in Chesterford Gardens.