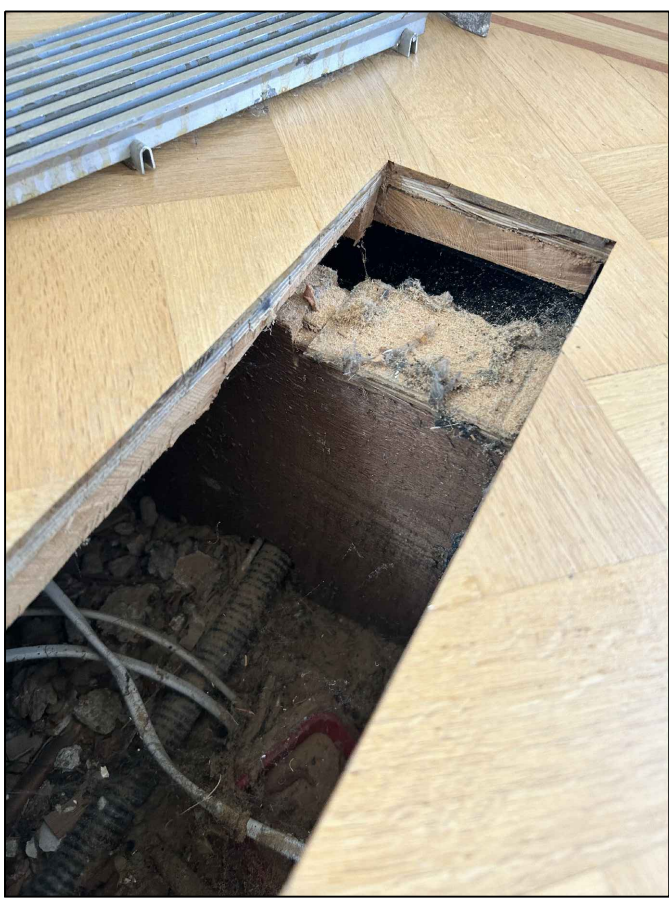


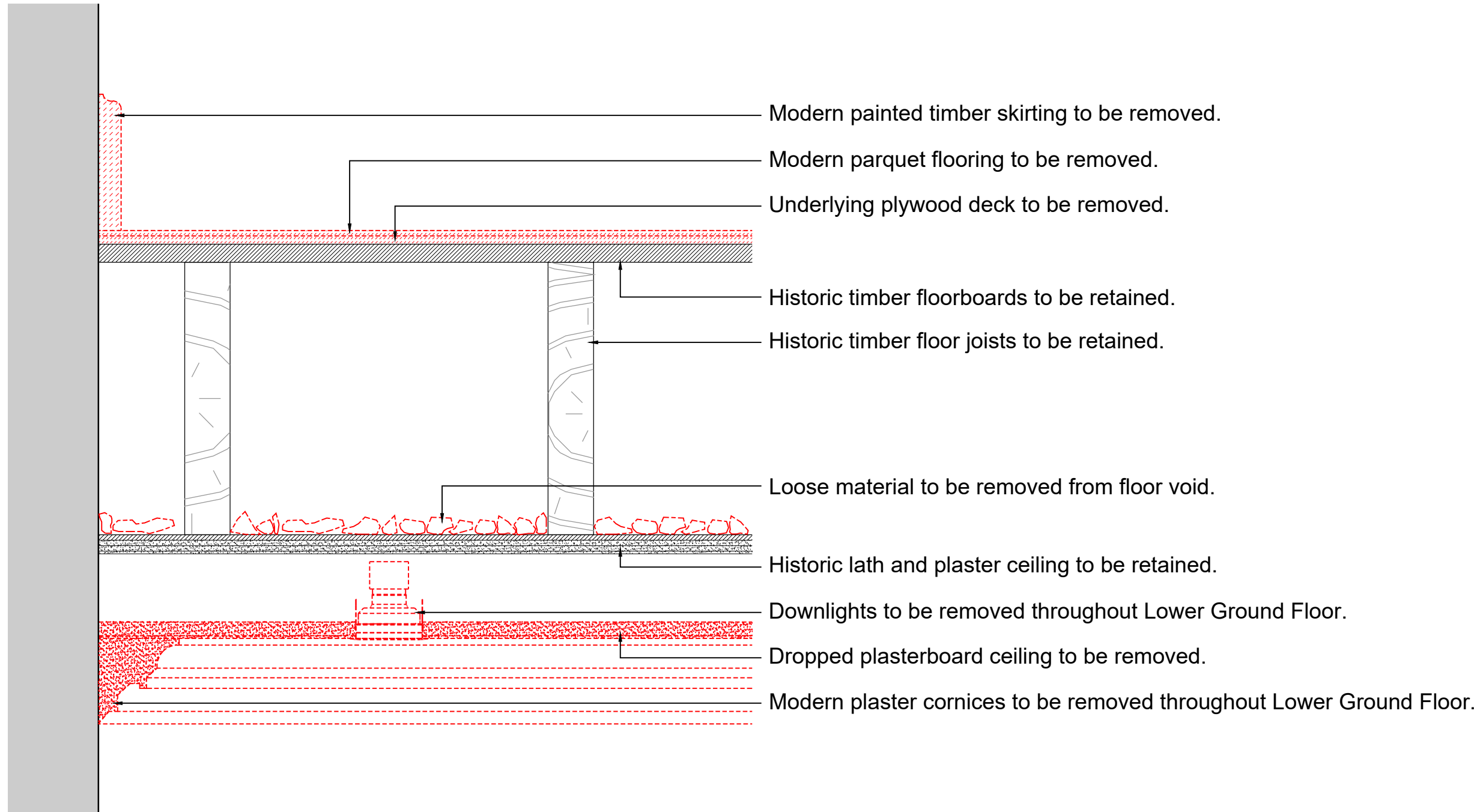
Ground Floor Plan 1:200

Red circle indicates location of opening up.

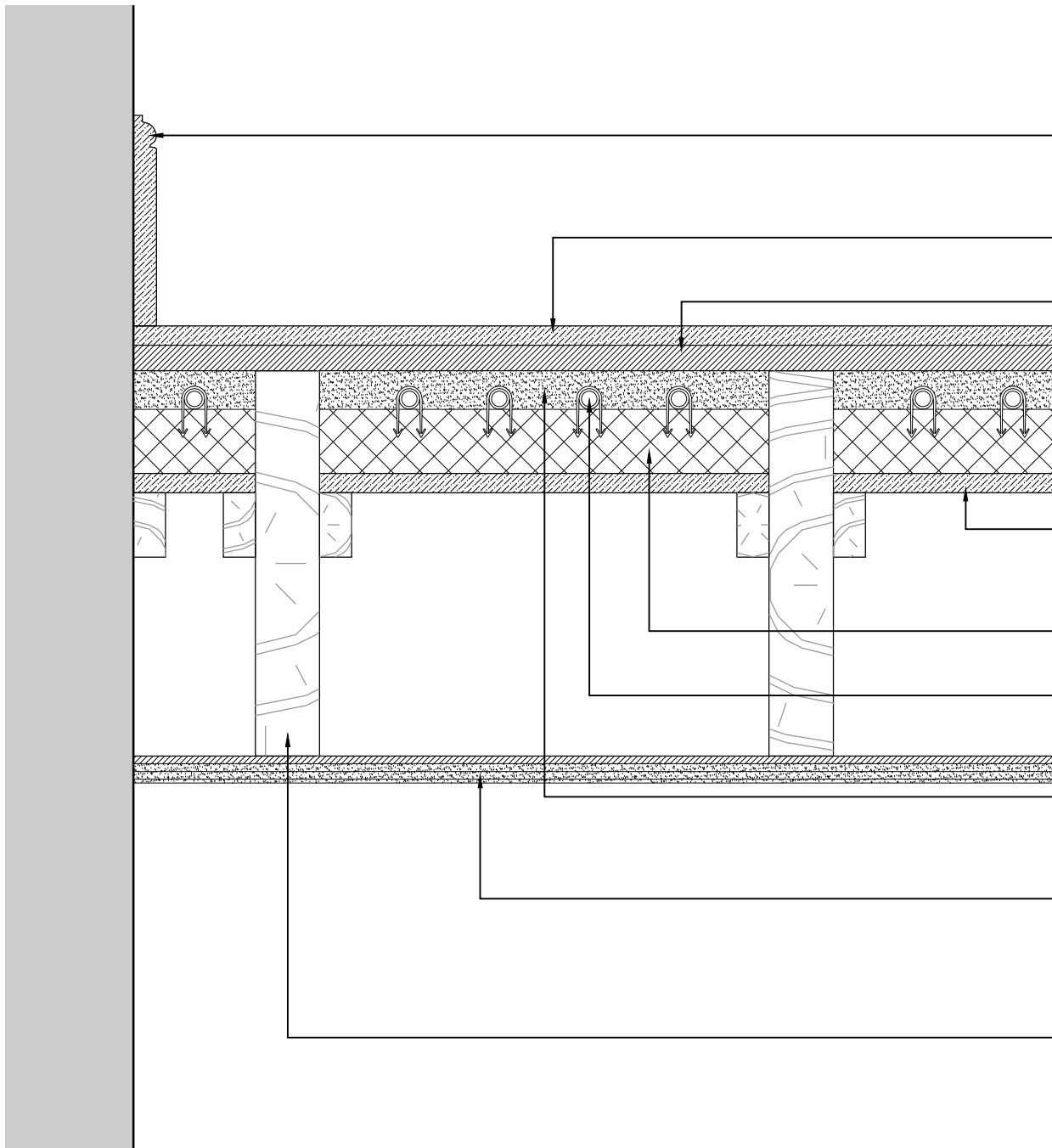


Opening Up Photos

Assumed historic floorboards found below modern floor finish, comprising of plywood and parquet timber finish. Underlying floorboards are square cut and are fixed with cut nails indicating they are pre-1920 and could possibly be the original floorboards dating from the mid 19th century.



Existing Floor Detail 1:5



Proposed Floor Detail 1:5

- New painted timber skirting to be fitted following installation of new floor finish. For skirting details refer to SM-J drawing 1328\_501 *Proposed Skirting Details*.
- New engineered oak floorboards to be laid over existing historic floorboards.
- Existing historic floorboards to be carefully lifted to provide access to floor zone. Boards to be reviewed once lifted and treated for wood worm if necessary, rotten boards to be cut back to remove decayed material. Boards to be relaid following installation of insulation and under floor heating, to be fixed with new cut nails.
- 15mm hardwood plywood deck supported on 25x50mm treated timber battens fixed into either side of existing floor joists.
- PIR foil faced insulation to be fitted between existing timber floor joists, supported of ply.
- New underfloor heating system to be fitted throughout ground floor. Pipes to be fitted over new PIR insulation and encapsulated within biscuit screed.
- Biscuit screed to be installed between existing floor joists following installation of under floor heating system.
- Condition of historic lath and plaster ceiling to be assessed following removal of existing dropped plasterboard ceiling. Lath and plaster to be repaired as necessary once exposed.
- Existing floor joists to be retained throughout. Condition of joists to be assessed following temporary removal of historic floorboards. Decayed joists to be partnered with new timber if necessary and treated for wood worm if required.

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P1 - Issued to Camden Council for Planning. 24.05.2024  
A - Issued to CBG for information. 08.04.2024

Revision	Date
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Drawing Title  
**Proposed Ground Floor  
Typical Floor Detail**

0mm 0.1m 0.2m 0.3m 0.4m 0.5m  
Scale: 1:5

Scale @ A1 <b>1:5</b>	Drawn By <b>SLK</b>	Date <b>April 2024</b>
Job Number <b>1328</b>	Drawing Number <b>511</b>	Revision <b>P1</b>