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22 May 2024

Edward Hodgson
Planning and Regeneration
2nd Floor
5 Pancras Square
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Judd Street
London
WC1H 9JE

Dear Edward,

University College London Institute of Education, 20 Bedford Way, WC1H 0AL
Full Planning and Listed Building Consent for the installation of new plant equipment (Planning Portal
reference: PP-12739164)

On behalf of our client, University College London ('UCL' or the 'Applicant'), we hereby submit to the London Borough of Camden (the 'Council') an application for Planning and Listed Building Consent for the replacement of plant equipment at roof level, new services and minor structural interventions on Levels 2, 4-7, 9 and 12 at the UCL Institute of Education ('IoE'). The description of development is:

"Replacement of plant equipment at Level 9 roof, installation of ladders and step-over on the roof at Level 12 roof, installation of a FlexStep and associated structural reinforcement at Level 4 and 5, minor alterations for service installations and structural interventions on Levels 2, 4, 5, 6 and 7, at the Institute of Education; and other associated works"

The Site

The building is Grade II* listed (listing reference 1246932) and is located within the Bloomsbury Conservation Area (Sub-area 3: 'University of London/British Museum'). The IoE was designed by Architect Sir Denys Lasdun and Partners and completed in 1977. It is divided into three addresses, 17 Bedford Way (occupied by the Institute for Advanced Legal Studies), 20 Bedford Way (occupied by UCL's Institute of Education) and 26 Bedford Way (occupied by UCL Psychology and Language Sciences). It is located in the wider UCL Bloomsbury Campus on Bedford Way in the London Borough of Camden.

It is bounded to the north by Gordon Square, to the east by Bedford Way and the Royal National Hotel, to the south by Russell Square and to the west by Woburn Square and the School of Oriental and African Studies (SOAS), another Lasdun designed building. Nearby, are a number of listed buildings, including Numbers 21-24 Russell Square (Grade II) the southwest, numbers 10-16 Woburn Square (Grade II) to the west, and numbers 55-59 Gordon Square (Grade II) to the northwest.

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The proposed external works are contained to Level 9 roof terrace and Level 12, Core A roof. The internal works apply to Levels 2, 4, 5, 6 and 7.

Context to the Application and Planning History

The IoE comprises a large building of circa 27,000 sqm of F1(a) (higher education) and associated ancillary floorspace and is Grade II* listed. This building has been subject to numerous planning and listed building consent applications in recent years as part of a phased masterplan to update its facilities. Pursuant to the roll out of the masterplan, the works to the building, as well as major internal refurbishment and reconfiguration, also include upgrades to services to ensure the building provides adequate spaces for learning and teaching.

The proposed works are requisite to the Phase 2 works, approved under application refs. 2019/6386/P, 2019/6410/L, 2020/1520/P and 2020/1567/L. As works have progressed, requirements for new teaching layouts, fire compartmentalisation, accessibility provisions and services has resulted in the need for additional penetrations, wall and door changes, structural reinforcement and replacement of existing plant equipment. The proposed works are set out in detail in the Proposed Development section of this cover letter.

The site has an extensive planning history and details of previous applications at the IoE are set out in Appendix A.

Proposed Development

The proposals are set out below:

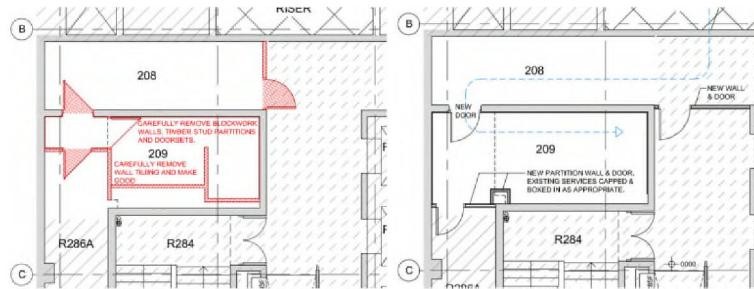
Level 2

The proposed works at Level 2 include a number of penetrations to enable the installation of services which will be fed through the new penetrations. These will be:

- 545mm x 300mm penetration into a concrete wall in Rm R282A.
- 600mm x 300mm penetration through a blockwork wall. This will be above an existing doorset.
- 750mm x 400mm penetration through a blockwork wall in plant room 6/6A.
- 150mm square penetration through the floor slab of Wing A.

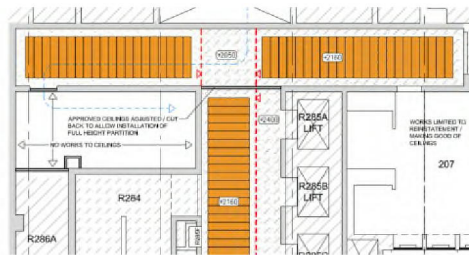
The area around the new openings listed above will be made good.

Alongside this, to enable the installation of services in Rm 209 and Rm R286, it is proposed to remove the existing blockwork walls, timber stud partitions and doorsets (see Figure 1a). A new partition wall and boxing will then be constructed to re-enclose the existing riser and the services. This will also ensure fire compartmentation. In addition, new doors will be installed.



Further to the above, to support the internal remodelling and refurbishment of the existing Facilities Management welfare space, it is proposed to remove the existing wall and door to Rm 208 and install a new wall and door to the lobby. Figures 1a and 1b show the location of these works.

It is proposed to install a new metal suspended ceiling in the Level 2 corridor, as shown on the left in Figure 2. This will match the approved metal suspended ceilings located adjacent (on the right and bottom of Figure 2). The two approved ceilings will also be cut back to incorporate the installation of the new full height partition wall.



The proposed works to Level 2 are shown in drawing refs. 3147-P7-2202, 3147-P7-2205 and 3147-P7-2206.

Level 4

Along the skirting level of the inside face of the full height glazing that overlooks the Level 4 concourse, a temporary power and data skirting trunking has been installed. This temporary measure is a white plastic trunking which runs horizontally along the skirting from a vertical drop to the return section of the wall adjacent. It is proposed to retain the current temporary measure in this location on a permanent basis. Photos of the trunking are shown in Figure 3 below. The location of the trunking is shown in blue on plan 3147-P7-2406 and in Figure 4 below.



Figure 3 – Photos of the existing trunking that is proposed to be retained

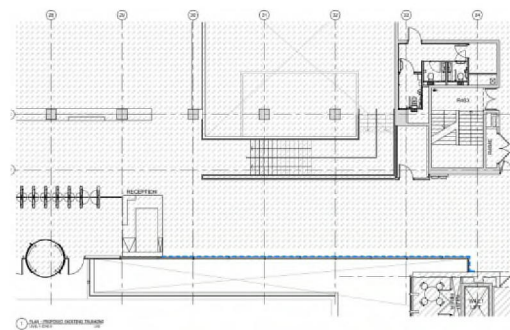


Figure 4 – Plan showing location of trunking (Extract from drawing ref. 3147-P7-2406)

Level 4 and 5 Core C

The works to Level 4 and 5 are concentrated in Core C and relate to the installation of a FlexStep to the Level 5 Observation Suite and the structural interventions at Level 4 required to support it. The proposed FlexStep was referenced in an earlier application (ref. 2023/0291/L), however the details had not been approved due to the design not being fully developed. The FlexStep will help to improve accessibility for wheelchair users.

It is proposed to install a new structural steel post in the R493 corridor to support the FlexStep above. This will be located on the wall and away from door openings to limit the visual impact (see Figure 5). The steel post will be boxed in by a plasterboard on a timber frame which will be painted to match the adjacent walls. New corner protection will be fixed onto the edge of the boxing to provide a visual contrast in line with Part M requirements. Associated works include the removal and reinstallation of skirting board and the raised floor local to the steel post, a fire alarm and an escape sign.

Alongside the installation of a steel post into the corridor, structural steel beams will be installed in the ceiling between Level 4 and 5 (shown in Figure 5). To enable this, the existing ceiling, ceiling tiles and associated services, will be removed and reinstalled at a lower level. The upper level of the existing partition wall will be amended to coordinate with the changes.

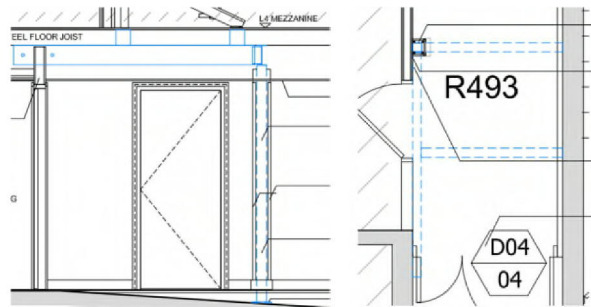


Figure 5a and 5b – Installation of new steel beams and post, shown in blue (Extracts from drawing ref. 3147-P7-2405)

As part of the works to provide structural support to the FlexStep, a new horizontal shaftwall will be installed to provide fire compartmentalisation between the levels. The existing ceiling in the Level 4 lobby will be cut back and made good, then refixed into the side of the new fire rated ceiling and upstand. The proposed works to Level 4 are shown in drawing ref. 3147-P7-2405.

Levels 5, 6 and 7

Additional steel reinforcement is proposed on Levels 5, 6 and 7 in Core A of the building (see Figure 6a and 6b). As part of approved works, beams on these levels needed to be trimmed to allow for penetrations to be formed resulting in the need for additional structural reinforcement. The additional steel reinforcement will be located between the WCs and adjacent office. The steel will be boxed within the offices, with new plasterboard bulkhead to conceal it. This will be painted white to match the adjacent soffits. The boxing will be tight to the underside of the concrete beams, above the height of the existing doors.

On Level 7, this will require penetrations to be made through blockwork walls (See Figure 7). This will be in discrete locations between the WCs and office. The proposed works to Levels 5, 6 and 7 are shown in drawing refs. 3147-P7-2505, 3147-P7-2605 and 3147-P7-2705.

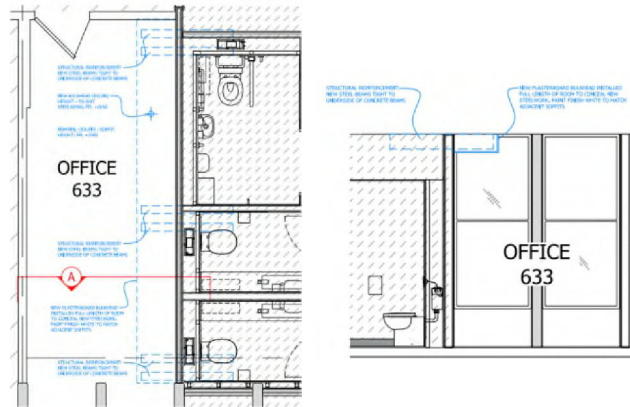


Figure 6a and 6b – Additional steel reinforcement (repeated at Levels 5, 6 and 7) (Extracts from drawing ref. 3147-P7-2605)

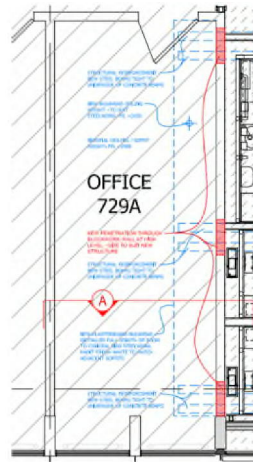


Figure 7 – Penetrations required at Level 7 shown in red (Extract from drawing ref. 3147-P7-2705)

Level 6 Nib A

It is proposed to cut a channel ('chase') into the existing floor screed in meeting room A6.03 on Level 6. This is located in Nib A and is required to accommodate new services associated with AV equipment. In addition, it is proposed to install a new teapoint in breakout room A6.01. The proposed works to Level 6 Nib A are shown in drawing ref. 3147-P7-2615 and Figure 8 below.

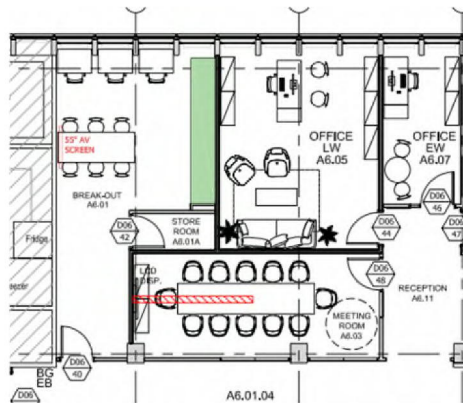


Figure 8 – Proposed works to Level 6 Nib A (chase out screed shown in red, teapoint shown in green) (Extract from drawing ref. 3147-P7-2615)

Level 9 Condenser Replacement

It is proposed to replace an existing condenser unit on Level 9 terrace (see Figure 9). This is located alongside a number of existing plant and is a back of house area. The proposed condenser is shown on drawing ref. 3147-P7-2905 and a technical data sheet providing the specification of the unit has also been submitted alongside this application.

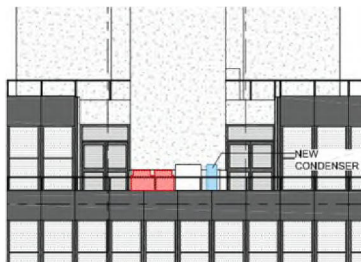


Figure 9 – Level 9 Replacement Plant (Extract from drawing ref. 3147-P7-2905)

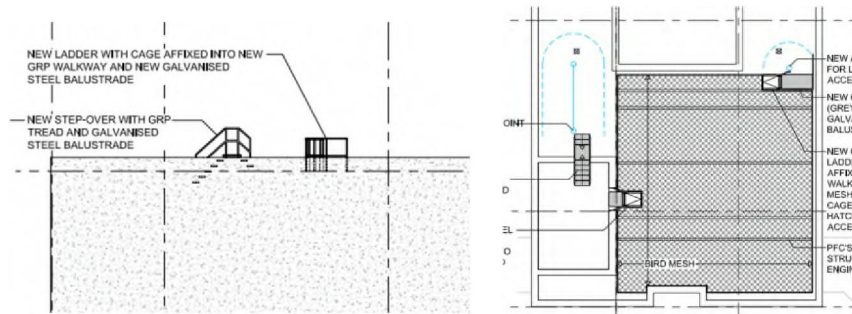
Level 12 Roof, Core A

To provide safe access to the roof at Core A, the following works are proposed:

- New grey Glass Reinforced Plastic ('GRP') walkway surrounded by a galvanised steel balustrade.
- Two new galvanised steel ladders, with associated safety cages, connecting the Level 12 plant room to the roof at the GRP walkway.
- New access step-over with a galvanised steel balustrade, connecting lower roof pit to the main upper level of the roof.

- Two new anchor points to support the linesafe access system. These are small fixings, that provide an anchor point for a line to be attached to a lanyard and harness for maintenance workers on the roof. They are not visible from ground level.

The proposed works to the Core A roof are shown in drawing refs. 3147-P7-2X05 and 3147-P7-2X20 and Figure 10a and 10b below.



Figures 10a and 10b – Proposed works to Core A roof (Extract from drawing refs. 3147-P7-2X20 and 3147-P7-2X05)

The galvanised steel balustrade of the ladder will be likely be visible from street level, however the extent of this will be minor. The balustrade of the step-over is unlikely to be visible as it is located away from the edge of the roof.

Access

The only changes to the access of the building will be the installation of the FlexStep at the Level 5 observation suite, and the installation of ladders and step-overs on the Core A roof. The FlexStep is designed to function as an ordinary step but can convert to a wheelchair lift when needed and is appropriate for restricted spaces.

The ladder, step-over and associated works to the Core A roof will ensure safe access to the roof for maintenance workers. The other proposed works do not change the current access to the building.

Pre-Application Advice

There have been ongoing discussions with Conservation Officers at LB Camden with regard to the works. In particular, the works to Level 4 and Levels 5, 6 and 7 were discussed in more detail.

The proposed structural interventions required to support the FlexStep were discussed with the Conservation Officer, Rose Todd, at a site visit on 8 June 2023. At the time, the exact requirements were not confirmed, and it was advised that a methodology for exploratory works to confirm the required structural interventions should be agreed. Subsequently, the proposed exploratory works methodology was agreed via email dated 21 July 2023. Following this, the proposed works were set out in an email dated 7 December 2023. The Conservation Officer was supportive of the works and raised no issues.

It was agreed with the Conservation Officer via email on 23 October 2023 that the works to Levels 5, 6 and 7 were uncontentious.

Planning Policy Considerations

This section of the letter sets out the key planning considerations for the proposal. These are: design and heritage; noise, sustainability, fire safety and accessibility.

Relevant Planning Policy Documents

- National Planning Policy Framework (NPPF) (2023)
- The London Plan (2021)
- Camden Local Plan (2017)
- Bloomsbury Conservation Area Appraisal and Management Strategy (2011)
- Camden Planning Guidance: Design (2019)

The London Borough of Camden has recently started a Regulation 18 consultation on a new Draft Local Plan. Given the early stage in the production of the new Local Plan, the consultation carries limited weight in the decision-making process in line with Paragraph 48 of the NPPF.

Design and Heritage

The relevant design and conservation policies are as follows:

NPPF Section 16 Conserving and enhancing the historic environment sets out the key planning tests for the protection of heritage. The NPPF emphasises the need for assessing the significance of heritage assets and their setting to fully understand the historic environment and inform suitable design proposals for change to significant buildings. In making decisions, Local Planning Authorities should consider the “*desirability of sustaining and enhancing the significance of heritage assets*” and a development’s “*positive contribution to local character and distinctiveness*”.

Paragraph 208 of the NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.

London Plan Policy HC1 Heritage conservation and growth: states that development proposals impacting heritage assets should be sensitive so as to preserve and enhance their significance, mitigating any potentially harmful effects.

Camden Local Plan Policy D1 Design: seeks to ensure that development proposals meet the highest standards of design, sustainability, respect local context and character, and resist development that would cause harm to any listed building or Conservation Area. Building services equipment should be in a visually inconspicuous position.

Camden Local Plan Policy D2 Heritage: maintains the need to protect and preserve Camden’s heritage assets through developments of high-quality design that respects the local context and character. It recognises the need to consider the relative weight of public benefits when assessing development proposals which results in substantial harm to listed buildings. It states that the Council will resist any alterations or extensions which would cause harm to the special architectural and historic interest of a listed building.



Camden Design SPD (2021): states that building services equipment should be incorporated into the host building aesthetically and not harm listed buildings and conservation areas.

Bloomsbury Conservation Area Appraisal and Management Strategy (2011): states that efforts should be made to find discrete solutions to locate plant equipment appropriate to the character of the area, having regard to protect local amenity and preserve the appearance of the Conservation Area.

Draft Camden Local Plan (2024) Policy S3 Bloomsbury Campus Area: supports the provision of attractive and stimulating learning spaces and prioritises enhancing and respecting heritage assets in the area. Alongside this, sustainable growth to mitigate climate change and reduce carbon dioxide emissions is encouraged.

Draft Camden Local Plan (2024) Policy D1 Achieving Design Excellence: requires development to integrate building services equipment, minimising visual clutter.

Draft Camden Local Plan (2024) Policy D5 Heritage: states that the Council will resist any cumulative, incremental, changes to a designated heritage asset and where there is a concern the changes may impact on the significance of the building. The supporting text states that disabled access should be considered in listed buildings, and this will be balanced with the interests of conservation of preservation to achieve an accessible solution. All available options should be considered. The policy also supports proposals to adapt and improve listed buildings to climate change providing they do not cause significant harm to the historical interest of the building

Applicant Response

The UCL Institute of Education is Grade II* listed and located within the Bloomsbury Conservation Area. As such, UCL has carefully considered the design of the proposals to ensure they have limited impact on the significance of the Grade II* listed building and Conservation Area.

Exterior Works

The works to Level 9 and the Core A roof are located externally at an existing back of house service area which is of neutral significance. The plant equipment at level 9 will replace an existing condenser unit and will be located adjacent to other existing plant. The proposed replacement condenser unit will be of a similar appearance and scale to the existing units. Therefore, the plant equipment will have negligible impact on the significance of the listed building or views within the Conservation Area.

The balustrades will have limited visibility from ground level and from views within the Conservation Area. However, the balustrades form part of the necessary maintenance strategy for the listed building, which contributes to its function as an education building, for which it was originally intended to be used.

Interior Works

The proposed internal works to Levels 2, 4, 5, 6 and 7 have been designed to limit intrusion. Where new steelwork is required, this will be boxed in and the painted to match the existing walls to ensure there is negligible impact on the significance. Penetrations required for the installation of services and steelwork will be in discrete locations above doorsets and fixed to the wall. These are considered to be minor and will have negligible impact on the significance of the wider building.



The proposed trunking is located at the base of the glazing, with limited impact on the wider room. The white colour trunking matches the colour of the walls and provides a protective and visual cover to the modern cables and data points. Overall, the minor nature of the proposed internal works is considered to have negligible impact on the significance of the building.

The proposals form a vital part of the wider masterplan for the refurbishment of the building and have arisen due to discoveries on site as approved refurbishment works progress. The proposals will ensure this building and its services are suitable for its ongoing purpose as a university building and will be in line with modern expectations of suitable working spaces.

Overall, the public benefits of the proposed works in ensuring the long-term use of the building for the university, ensuring the safety of users, and equal access are considered to outweigh the negligible impact of the proposals and comply with the policies outlined above.

Noise

The relevant noise policies are considered below.

London Plan Policy D14 Noise: states that developments need to consider noise-sensitive uses in the surrounding area where new development is proposed and address the specific local context in an acoustic assessment when detailing mitigating efforts.

Camden Local Plan Policy A1 Managing the Impact of Development: resists development that will be harmful to the amenity of occupiers and nearby properties. When assessing proposals against this policy, the Council will consider a range of factors, including overshadowing and outlook, as well as noise and vibration levels. In relation to these factors, the policy explains that the Council will also consider the inclusion of appropriate attenuation measures.

Camden Local Plan Policy A4 Noise and vibration: sets out Camden's aim to ensure that noise and vibration is controlled and managed, and states that planning permission will not be granted for development likely to generate unacceptable noise and vibration impacts. Recognition is given to the need to guard against harm to local amenity, health, and quality of life. This requires an applicant to mitigate any potential impacts upon sensitive uses in the surrounding area and may necessitate preparation of an acoustic report to accompany the application. The installation of plant equipment will require demonstration of proof that it is clearly needed.

Draft Camden Local Plan (2024) Policy A4 Noise and Vibration: requires the submission of a noise assessment, ensure that where noise mitigation is required, this is incorporated into the proposed development at the design stage, support retrofitting measures to existing noise generating sources to minimise impact of noise and vibration on occupiers.

Applicant Response

A Noise Impact Assessment has been prepared by Buro Happold and assesses whether the replacement condenser unit on Level 9 impacts the noise levels of the area. This concludes that the level of noise is in accordance with the thresholds set by the Council (which state that new plant noise emissions should be 10db below the background noise levels). Alongside this, it concludes that the new plant has lower noise levels than the existing unit that it is replacing and it will therefore not increase background noise levels.



Therefore, the condenser unit will reduce the overall noise level. As such, the proposals will not cause harm to the neighbouring amenity, as set out in Camden policy requirements.

Please refer to the Noise Impact Assessment submitted in support of this application for further information.

Sustainability

The relevant sustainability and energy policies are considered below:

Camden Local Plan Policy CC1 Climate Change Mitigation: requires development to minimise the effects of climate change and encourages all developments to meet the highest feasible environmental standards that are financially viable during construction and occupation.

Camden Local Plan Policy CC2 Adapting to Climate Change: requires development to be resilient to climate change. All development should adopt appropriate climate change adaptation measures.

Camden Local Plan Paragraph 8.42 states that active cooling (air conditioning) will only be permitted where dynamic thermal modelling demonstrates there is a clear need for it after all of the preferred measures are incorporated in line with the cooling hierarchy.

The Energy and Efficiency and Adaption CPG (2021) provides information on key energy and resource issues within the borough and supports Local Plan Policies CC1 (Climate Change Mitigation) and CC2 (Adapting to Climate Change).

Applicant Response

UCL has explored passive cooling and has deemed it unsuitable due to the Comms room orientation with a single external wall. It is not possible to provide natural cross ventilation or stack ventilation system to dissipate heat gains within the space.

If a single sided natural ventilation system was to be proposed on the single wall, large air flow would be required to dissipate heat gains. Therefore, high and low level louvres would be required and they would also need to be large in size. Within the space available, there would not be enough space to separate the high and low louvres and as such this option is not feasible.

At times of high external temperatures, a natural ventilation system would not be able to keep the room within the desired temperature range which discounts this option. Free cooling systems have also been discounted as unviable due to lack of space for free cooling plant externally and costs constraints considering the relatively small cooling capacity required for the Comms room.

In light of this, the condenser unit is deemed to be the most appropriate method to keep the Comms room cool. The Comms room forms essential infrastructure for the education space within the building.

The sustainability consultants, Buro Happold, have confirmed that for the remaining works that form this application there will be a negligible cumulative impact on sustainability, as the remaining application items do not impact the energy/carbon intensity use of the building and will be in line with the Phase 1/2 specifications for finishes.

Accessibility

London Plan Policy D5 Inclusive Design: sets out that development proposals should achieve the highest standards of accessible and inclusive design, with no disabling barriers and enabling independent access.

Camden Local Plan Policy C6 Access for all: seeks to promote fair access for all where disabling barriers are removed. All buildings should meet the highest practicable standards of accessible and inclusive design.

Draft Camden Local Plan Policy D1 Achieving Design Excellence: states that all development must meet the highest practicable standards of accessible and inclusive design.

Draft Camden Local Plan Policy A2 Safety: requires developments to be designed to create an inclusive environment.

Applicant Response

The proposed FlexStep will enable equality of access for students and staff in the Level 5 observation suite. It has been assessed that this method would be the most appropriate to allow access to this room, and the structural interventions are required to install the FlexStep. The proposals are therefore supported by the above planning policies which require the highest practicable standards of accessibility in buildings.

Fire Safety

London Plan Policy D12 Fire Safety: states that development proposals must achieve the highest standards of fire safety and be constructed in an appropriate way to minimise the risk of fire spread.

Applicant Response

The proposed works to doors and walls are required to ensure the building is fire rated, providing fire compartmentalisation, which reduces the risk of fires spreading. This will enable the building to remain safe for all in the event of a fire and is in line with London Plan Policy D12.

Application Submission

In addition to this covering letter and policy assessment, this application comprises and is supported by the following documents:

Document Type	Document Reference	Prepared by
Application Forms and Certificates	N/A	Deloitte
Design and Access Statement	3147-P7-DAS	Architon LLP
Equipment Technical Submittal	TS-10 Rev A	Envirotech Services Ltd
Heritage Structural Assessment	N/A	TAK Structures

Noise Impact Assessment	0052516-BHE-RP-YA-0001-P02	Buro Happold
Schedule of Works	3147-P7-SCH001-P5	Architon LLP
Site Location Plan	3147-P7-2001 P1	Architon LLP
Site Plan	3147-P7-2002 P3	Architon LLP
Level 2 Core Plan – As Existing and Demolitions	3147-P7-2202-P4	Architon LLP
Level 2 Core Plan – Works Proposed	3147-P7-2205-P3	Architon LLP
Level 2 Reflected Ceiling Plan – Works Proposed	3147-P7-2206-P2	Architon LLP
Level 4 Core C – As Proposed Plan and Section	3147-P7-2405-P1	Architon LLP
Level 4 Zone B – As Proposed Plan – Proposed Skirting Trunking	3147-P7-2406-P1	Architon LLP
Level 5 – Plan and Internal Elevation	3147-P7-2505-P2	Architon LLP
Level 6 – Plan and Internal Elevation	3147-P7-2605-P2	Architon LLP
Level 6 – Nib A Plan – As Approved and As Proposed	3147-P7-2615-P2	Architon LLP
Level 7 – Plan and Internal Elevation	3147-P7-2705-P2	Architon LLP
Level 9 External Terrace – Plan and Elevations As Existing	3147-P7-2902-P1	Architon LLP
Level 9 External Terrace – Plan and Elevations As Proposed	3147-P7-2905-P1	Architon LLP
Core A Roof Plan – Proposed Access and Edge Protection	3147-P7-2X05-P2	Architon LLP
Core A Roof Elevations – As Existing	3147-P7-2X10-P1	Architon LLP
Core A Roof Elevations – As Proposed	3147-P7-2X20-P2	Architon LLP

The application fee of £648.00 has been paid online via Planning Portal at the time of the submission.

Deloitte.

We trust that you have all the information you need to validate the application. Should you have any queries or require any further information, then please do not hesitate to contact my colleagues Eleanor Bird [REDACTED] or Emma Williams ([REDACTED]).

Yours sincerely

Deloitte LLP

Deloitte LLP

Appendix A – Table of Planning Application History

Application Reference	Description	Status
2023/1013/P 2023/1111/L	Installation of new plant equipment comprising bulk fuel tank and control, condenser unit, and three new bollards to the rear service yard level and associated works.	Approved 04.05.2023
2023/0291/L	Refurbishment and reconfiguration of Level 5 of Zone C of the Institute of Education, 20 Bedford Way comprising: the removal and replacement of existing partitions to create new workspaces; works to ceilings; installation of new lighting; installation of secondary glazing, new flooring and doors; and other associated works.	Approved 07.03.2023
2022/3263/L	Proposed internal works to third floor, involving the removal and the installation of replacement lighting and associated controls, fixtures and fittings.	Approved 02.08.2022
2022/1846/L	Refurbishment and reconfiguration of Level 9 of Zone C of the Institute of Education, 20 Bedford Way comprising: the removal and replacement of existing partitions to create new workspaces; works to ceilings; the installation of secondary glazing; new flooring and doors; thermal upgrades to the roof and portions of the external wall at Level 9; and other associated works.	Approved 10.05.2022
2022/1037/L	Refurbishment and reconfiguration of Level 5 of Zone C of the Institute of Education, 20 Bedford Way comprising: the removal and replacement of existing partitions to create new workspaces; works to ceilings; the installation of secondary glazing; new flooring and doors; and other associated works.	Approved 24.03.2022
2021/6242/L 2021/6235/P	Refurbishment and reconfiguration of selected areas comprising: a new extended entrance at Bedford Way, a reconfigured entrance at Thornhaugh Mews; insertion of a new platform lift at Level 3 and a platform lift serving Level 3 and 4; refurbishment of the foyers at Levels 1, 3 and 4 including the installation of fixed furniture and security gates; replacement of doors to the IALS building at Levels 4-9; and other associated works.	Approved 22.12.2021
2021/5115/L 2021/5006/P	Installation of one condenser unit at Level 3 and two condenser units at Level 2 on the Service Road of the Institute of Education and associated works.	Approved 30.11.2021
2018/3322/L	Refurbishment involving internal and external changes to Levels 2, 4 and 5 of Wing A of the GII* listed Institute of Education building, including: a new student bar, new teaching and study spaces, staff offices and associated facilities, the installation of secondary glazing and a new servicing strategy, new louvres to external facade; new doors to access external terraces at Levels 4 and 5; the replacement of a roof light at Level 4; and the insulation of the terrace at Level 4 and 5.	Approved 14.11.2021
2020/1787/L	Refurbishment of the lifts within the Cores B and C including the upgrade of landing indicators, evacuations intercoms, landing stations, fire control switches, landing doors, service stations, header/overgate panels and other associated works.	Approved 05.08.2021

2020/1567/L	Refurbishment and reconfiguration of selected areas of the Institute of Education comprising: refurbishment works to the Level 1 plantroom; reconfiguration and refurbishment of Levels 5-9 in the nib and wing connected to Core A, and the Lawton Room at Level 6 adjoining Wing A; repairs and installation of insulation to the external terraces connected to these areas; installation of secondary glazing to these areas; creation of a new plant room at Level 8 Wing A and installation of new louvres to serve this plant room; refurbishment and repairs to the lobby roof on level 4 and the roof at Level 10; installation of new external gate at Level 5 of Wing A; and associated works.	Approved 15.06.2020
2020/1520/P	Refurbishment and reconfiguration of selected areas of the Institute of Education comprising: repairs and installation of insulation to the external terraces; creation of a new plant room at Level 8 Wing A and installation of new louvres to serve this plant room; refurbishment and repairs to the lobby roof on level 4 and the roof at Level 10; installation of new external gate at Level 5 of Wing A; and associated works.	Approved 15.06.2020
2019/6410/L	Minor alterations and refurbishment works to Cores A, B and C including the provision of new sanitary facilities, replacement of servicing, addition of new risers and new access panels to the existing risers within the Cores and installation of secondary glazing and obscure film to selected glazing panels within these areas; alterations to the existing plant enclosure on the roof and the installation of a new chiller unit within this enclosure; and, replacing the existing mezzanine levels in the double height observation and archive rooms at level 4 and 5 with a new floorplate and associated works.	Approved 02.03.2020
2019/6386/P	Minor alterations and refurbishment works to selected areas, including Cores A, B and C and alterations to the existing plant enclosure on the roof and the installation of a new chiller unit within this enclosure.	Approved 02.03.2020
2019/5146/L	The installation of two pedestal floor boxes and brackets for wall-mounted TV displays, video conferencing hardware, and a sound bar in Committee Room 3 (Room 420) of 20 Bedford Way.	Approved 11.12.2019
2019/3900/L	Internal and external alterations associated with the conversion of existing garage area to office space including removal of mesh cladding and installation of curtain wall, glazing, louvre panels and double door and internal layout changes	Approved 23.10.2019
2019/3624/P	External alterations including removal of existing mesh cladding and installation of curtain wall, glazing, louvre panels and double door set associated with the conversion of existing garage area to create an internal site office to university (Use Class D1).	Approved 23.10.2019
2019/1721/P 2019/1793/L	Removal of no.3 existing and installation of no.7 new lamp posts around rear forecourt of University building (Use Class D1).	Approved 06.09.2019



2019/054/L	The reconfiguration and refurbishment of the Level 1 washrooms.	Approved 02.05.2019
2018/2874/P	Refurbishment of Levels 2, 4 and 5 of Wing A to provide a replacement students bar to lv.4 (Use Class A4) as well as new teaching and study spaces, staff offices and associated facilities (Use Class D1). External alterations incl. to additions/ relocation of external doors to terraces; replacement terrace rooflight; raising level of terraces to allow for added insulation; and to raise height of existing terrace balustrades. Replacement HVAC system involving the removal of existing plant to lv.4 terrace and relocation to new plant room with associated installation of external louvres.	Approved 14.11.2018
2017/2543/L	A new lift serving levels 2-4 within the west wing, and internal alterations and refurbishment works at levels 2-4 of the west wing, and at level 3 between Cores B and C, including the reconfiguration of internal layout, revised servicing arrangements and new secondary glazing.	Approved 30.10.2017