

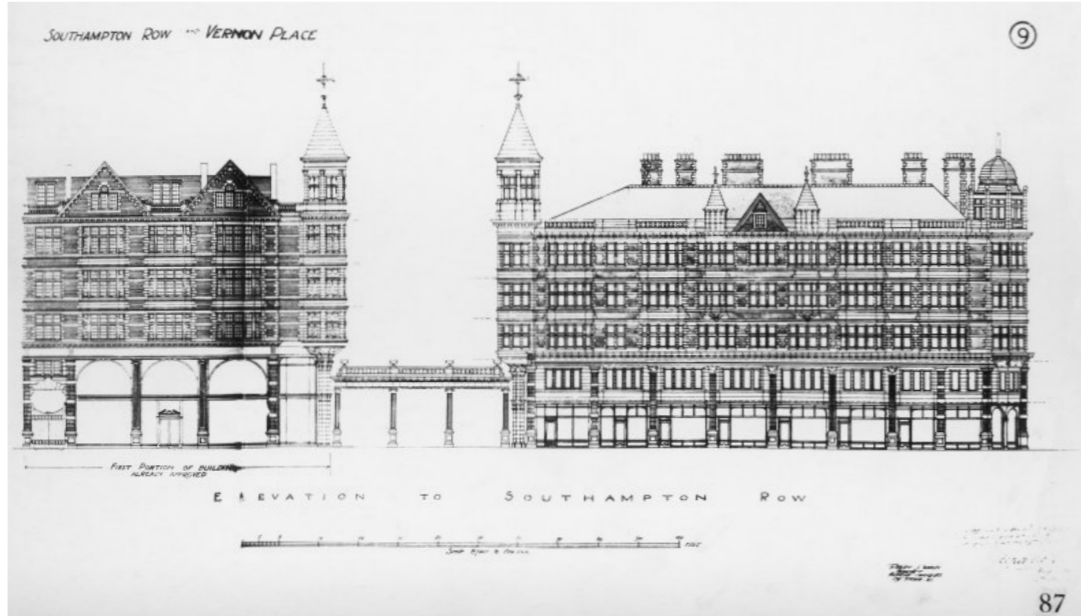
31 Southampton Row

Design & Access Statement - **Section 5 of 9**

May 2024

halebrown

Southampton Row



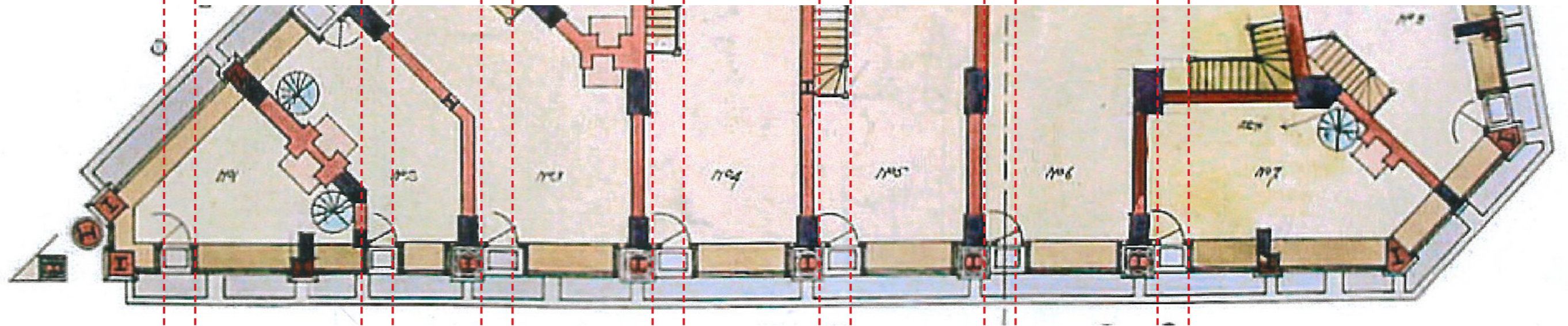
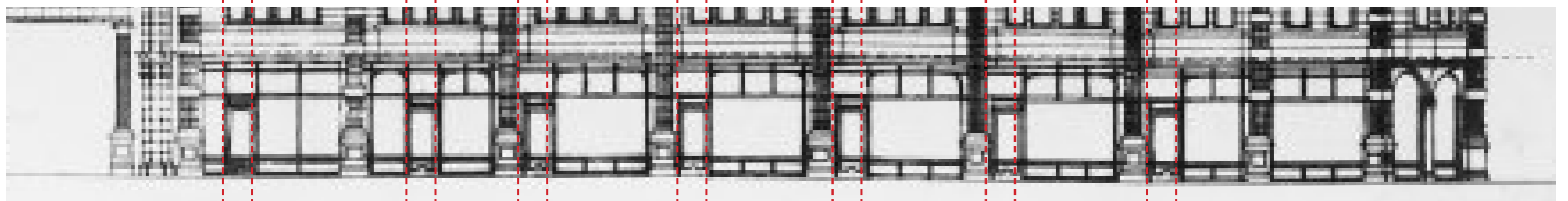
Historic Southampton Row Elevation

Reconfiguring the frontages Original Southampton Row Elevation

- A comparison of the historic ground floor plan and historic elevation along Southampton Row indicates that the two were coordinated, in terms of the location of original retail unit entrance doors.
- Originally the bays were indicated with projecting glazed square windows, with single glazed entrance doors set back on the left hand side.

Historic Southampton Row Ground Floor Elevation

Red dotted lines indicate position of retail doors

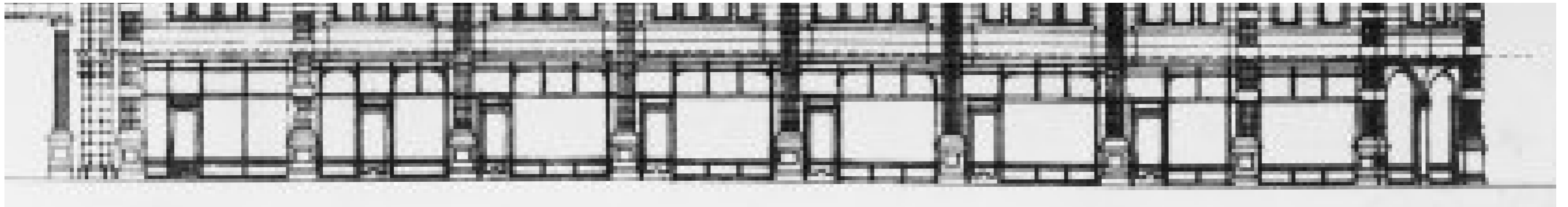


Historic Southampton Row Ground Floor Detail Plan

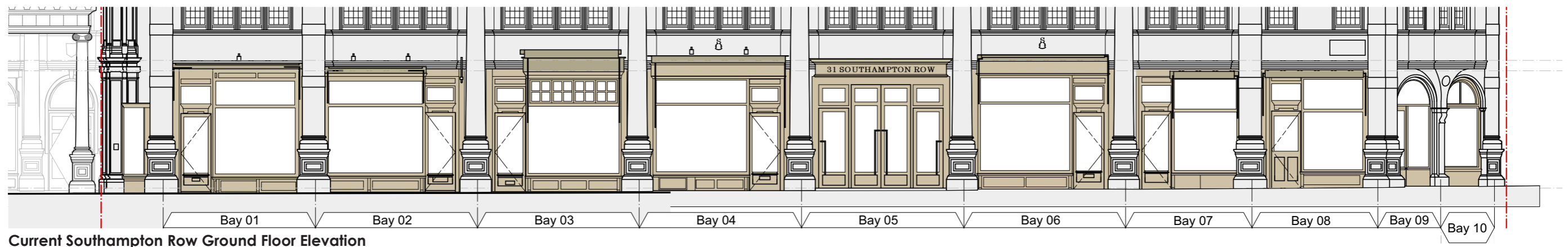
Reconfiguring the frontages

Current Southampton Row Elevation

- A comparison of the Historic ground floor elevation and current elevation demonstrates the significant differences between the two.
- The current shopfronts also display numerous differences between themselves, which might be the result of years of alterations.
- Alternatively the differences in designs might be that it was always intended the shopfronts could be customised by the individual retailers as part of their requirements.
- This approach would be similar to other local buildings such as Norfolk House where shopfronts were left blank in the original applications to allow for customisation.



Historic Southampton Row Ground Floor Elevation



Current Southampton Row Ground Floor Elevation

Reconfiguring the frontages Current Southampton Row Elevation



Southampton Row Photomontage

- Whether intentional or years of adoptions the differences in the shopfronts along Southampton Row creates a disjointed parade.
- The main differences are the designs of the awning canopy boxes and the high level glazing, with some projecting over the doorways and other sitting much higher than neighbouring boxes.
- High level ventilation grilles to have been omitted over time, which will be problematic for incoming tenants and their required servicing strategies.
- Due to the buildings orientation and the mature nature of the adjacent trees it is not believed there is a requirement for awnings along this facade.



Awning box extended to project over the doorway. High level vents retained



Awning box does not project over the doorway. No high level vents.



Awning box sits higher than others. Openable high level windows.



Modern shopfront with extended awning box



Current shared entrance with recessed doors and projecting canopy



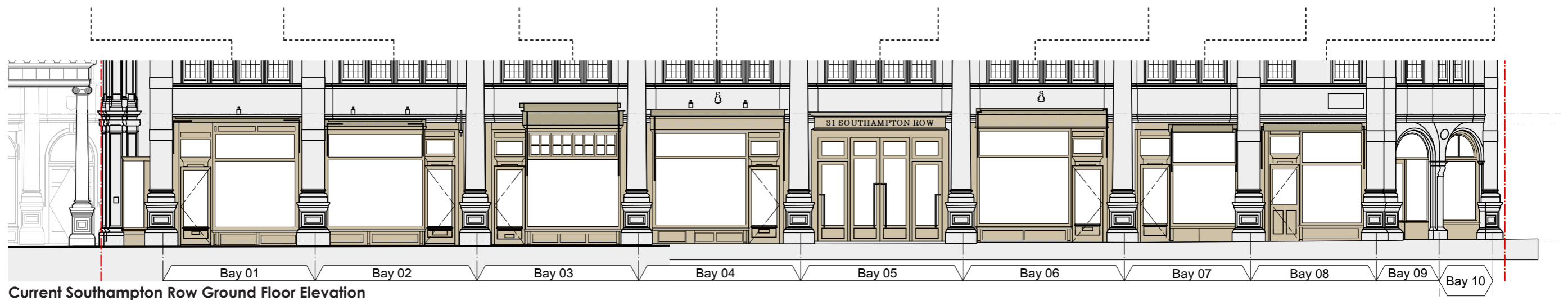
Modern shopfront with extended awning box



Lower awning box offers limited signage opportunity.



Awning box projects over the doorway incorporating modern door.



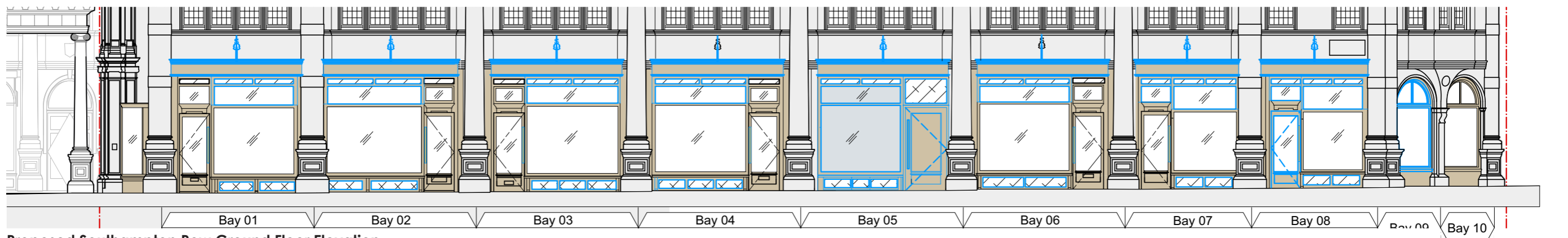
Current Southampton Row Ground Floor Elevation

Reconfiguring the frontages Current & Proposed Southampton Row Elevation

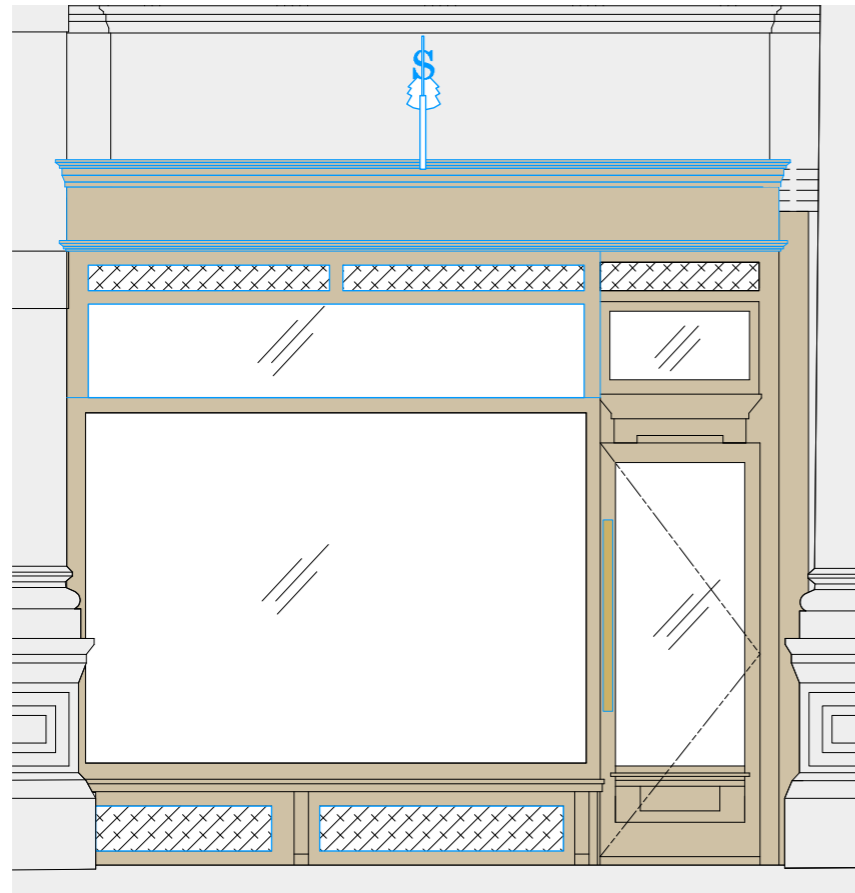
- The proposals to Southampton Row look to provide a more consistent design aesthetic to the shopfront parade.
- The different awnings and boxes will be replaced with canopy boxes which all extend over the entrance doors, providing shelter to the entrance doors and equal signage opportunity.
- New high and low level ventilation grills will provide incoming retailers with greater flexibility for their servicing strategies.



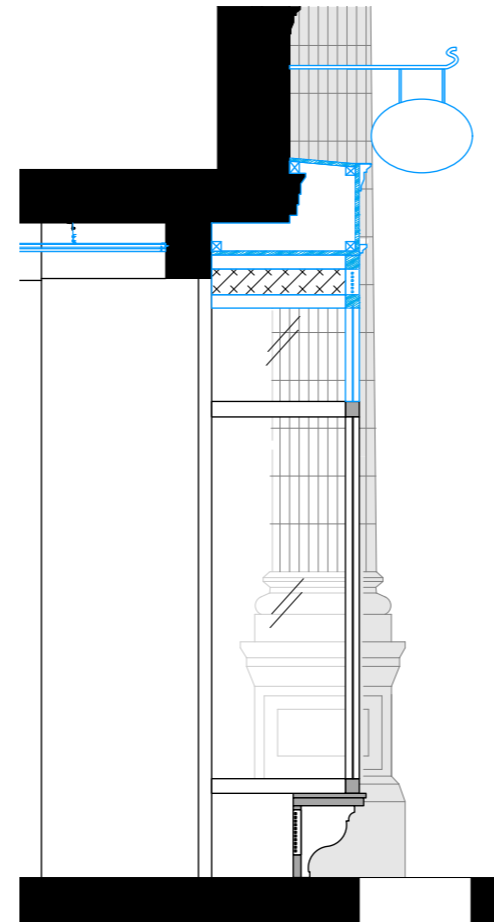
Current Southampton Row Ground Floor Elevation



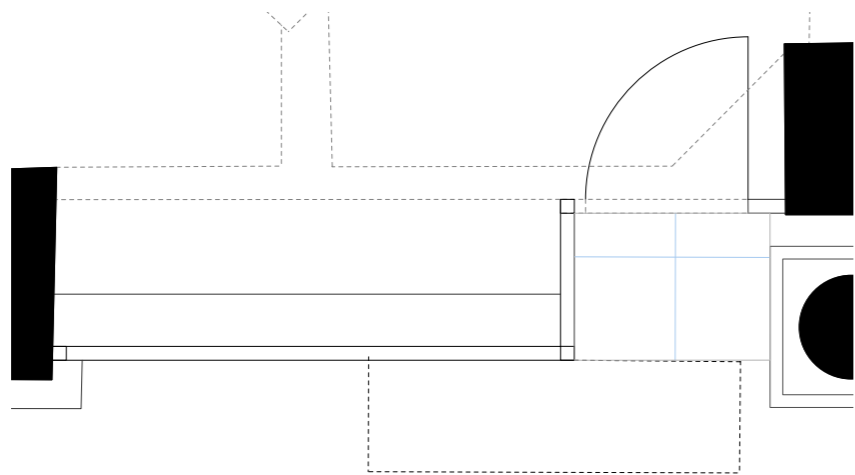
Proposed Southampton Row Ground Floor Elevation



Proposed typical shopfront Elevation



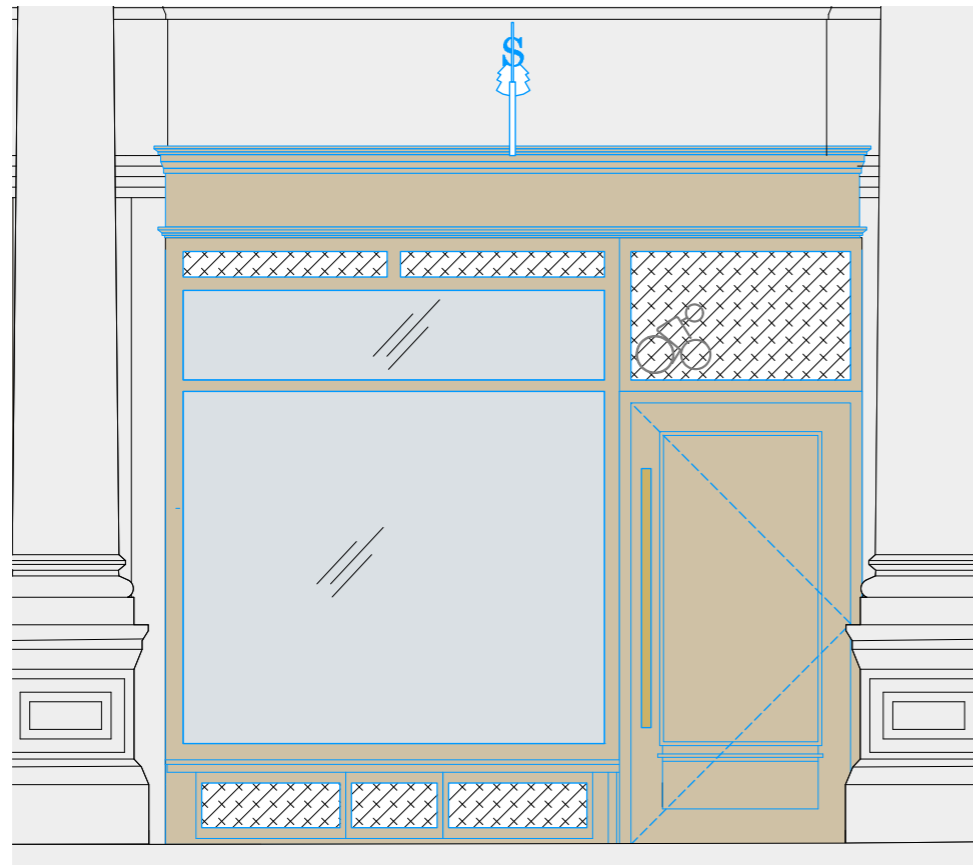
Proposed typical shopfront Section



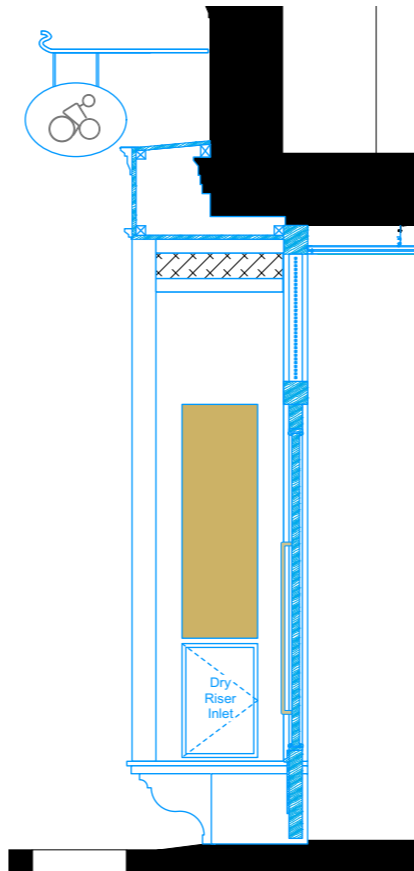
Proposed typical shopfront Plan

Reconfiguring the frontages Southampton Row Proposed Shopfront Detail

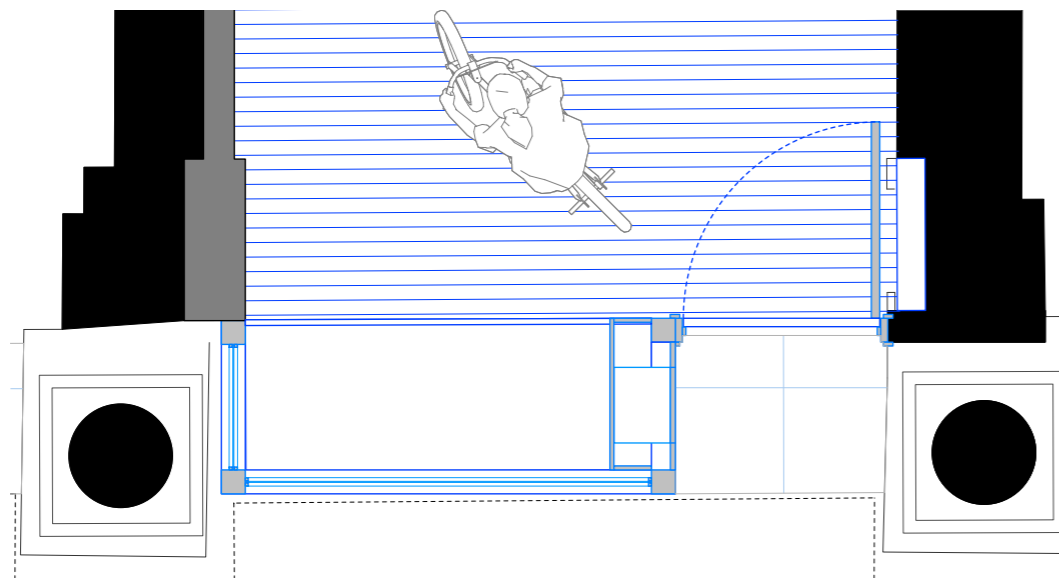
- Replacement of the awnings with consistent height canopy boxes will provide a formality to the Southampton Row parade that is currently lacking.
- Uniformity for signage opportunities on the face of the canopy boxes and from projecting signs will provide greater presences for the retailers along the busy road.
- Doorways into the units will become more pronounced by encompassing them underneath canopies.
- The extended canopies also allow downlighters to be positioned above doorways, improving security by removing unlit recesses at night.
- New high level grilles and rationalised low level grilles allow for future retail servicing flexibility, within the ornate facade.
- The remaining retained shopfronts will be refurbished and redecorated to elevate the ground floor, giving the retail units a new lease of life.



Proposed cycle store entrance elevation



Proposed cycle store entrance section



Proposed cycle store entrance plan

Reconfiguring the frontages Southampton Row Bike/Office Entrance

- With the relocation of the office and residential entrances, the current opening will be reconfigured as a dedicated cycle and deliver entrance.
- To provide the necessary robustness an enlarged timber panelled door is proposed over a glazed door.
- To maintain privacy and provide a uniform frontage the glazing within this by will be frosted.
- The rest of the shopfront will look to replicate the other units as closely as possible.



Existing Shared Residential and Office Entrance

Reconfiguring the frontages Proposed Southampton Row Entrance



Sketch CGI of proposed Southampton Row Entrance

- In order to create the new cycle store entrance, it is proposed to introduce a robust door with projecting bay that is sympathetic to the original facade bay design.
- Awning boxes have been removed as the Southampton row elevation gets very little direct sunlight through the heavy tree canopy. These have been replaced with new canopy boxes that make the elevation more consistent and more similar to the original.