

31 Southampton Row

Design & Access Statement - **Section 3 of 9**

May 2024

halebrown

4.0

4.1



Current Ground Floor Plan



Current LGrd Floor Plan

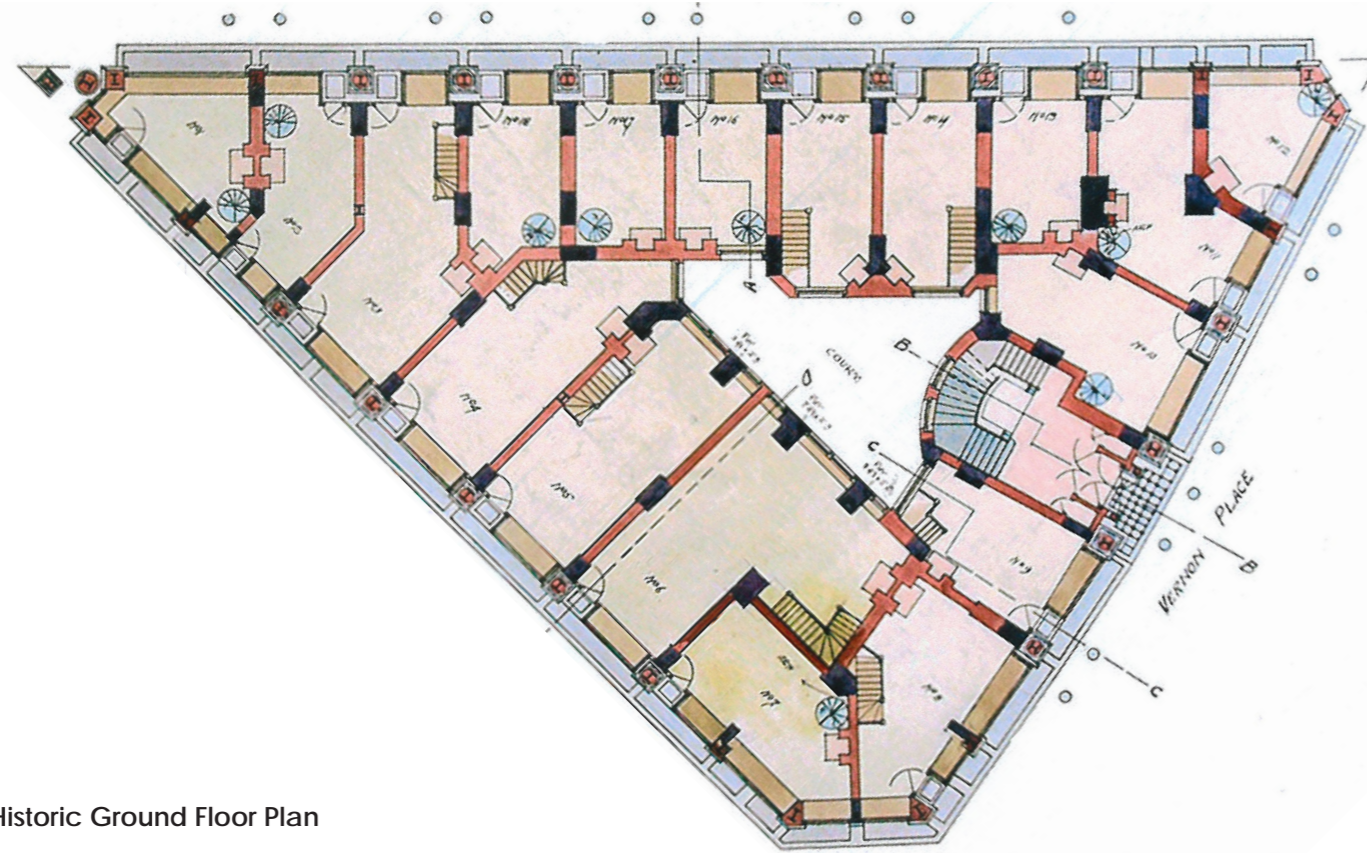
Improving the retail offering Existing Retail Unit Layouts

- Currently ground floor and basement are divided into 8no. retail units.
- All of the retail units other than Unit 5 are vacant making it clear that the current retail arrangement does not satisfy modern retail requirements.
- The existing stairs in these units are narrow making access to the lower ground floor difficult.
- Some of the units which have been combined in the past still incorporate a number of large masonry walls making the units difficult to space-plan.
- Unit 5 is currently leased and its configuration compromises access to the Grand Staircase.
- In line with market research the design team has been advised that smaller units have proved very challenging to let in the past.

FLOOR	Existing			
	Gross External Area		Retail	
	GEA (sqm)	GEA (sqft)	NIA (sqm)	NIA (sqft)
Basement	764	8,224	454	4,887
Level 00	611	6,577	348	3,746

Current Ground NIA to be reviewed against existing bay window configuration and potential incorporation within calculation

4.2



Historic Ground Floor Plan

Improving the retail offering Existing Retail Stairs & Walls

- A review of the original ground floor layout shows that most of the retail units were originally constructed with spiral staircases.
- A review of the current ground floor layout shows there are no spiral staircases within the current retail units.
- It is also clear that a number of significant alterations have been made to the internal configuration of the units with large sections of the original separation walls having been removed.
- As illustrated in the subsequent section, the frontages have also been significantly altered over the years.



Current Ground Floor Plan

4.3



Overlay of current ground floor staircases on the Historic Ground Floor Plan

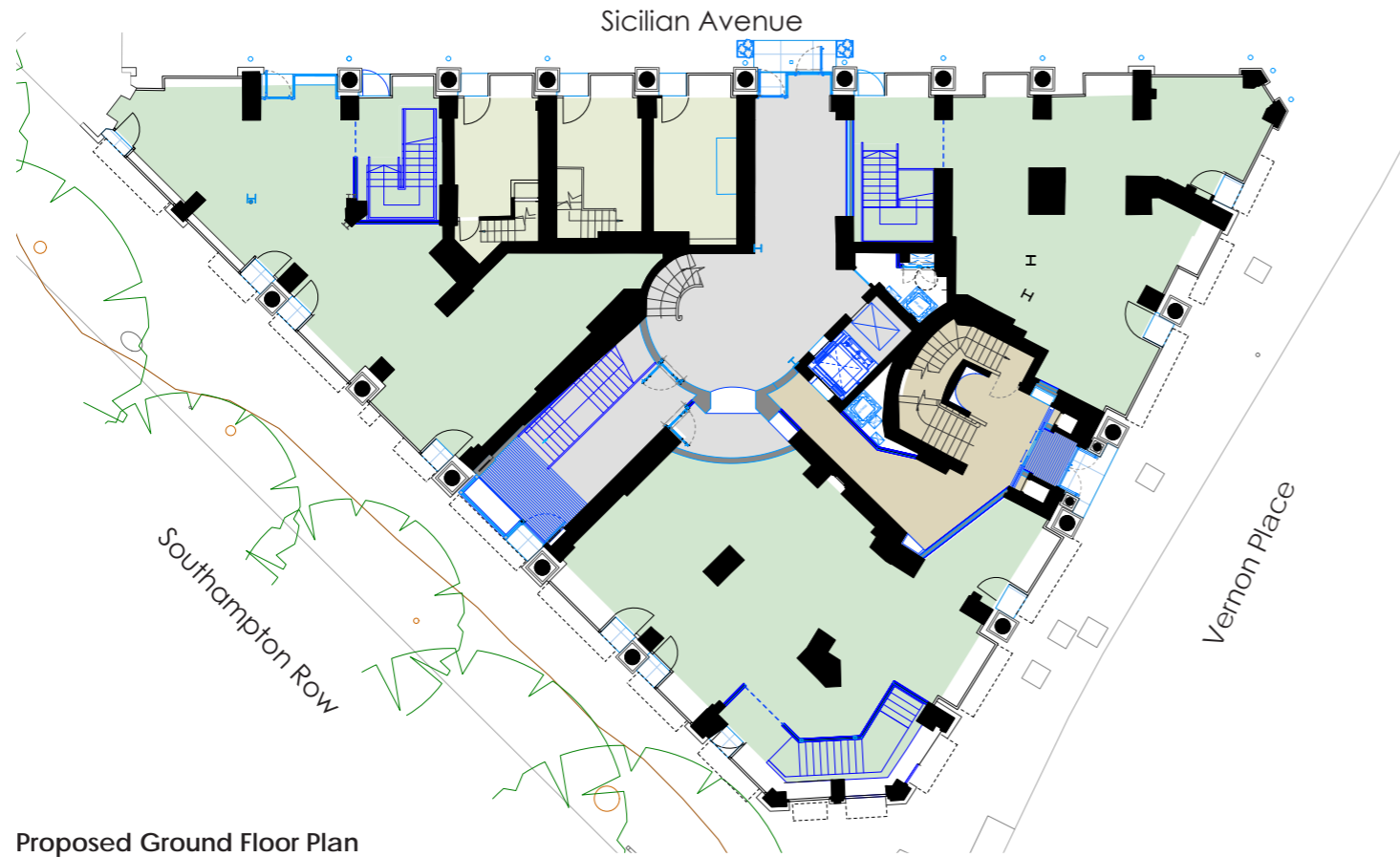
Improving the retail offering Existing Retail Stairs

- Overlaying the position of the current staircase (Blue) onto the historic plan indicates that all the original building staircases other than the Grand stairs have been removed or replaced.
- Only two retail stairs are currently positioned in the location of the original staircases.
- One of these staircases has been constructed in concrete, has restricted head height due to the ground floor slab being extended over the stair and is very narrow.

Dotted GREEN outline shows position of historic stairs

BLUE stairs indicate position of current stairs

4.4



Proposed Ground Floor Plan



Proposed Basement Plan

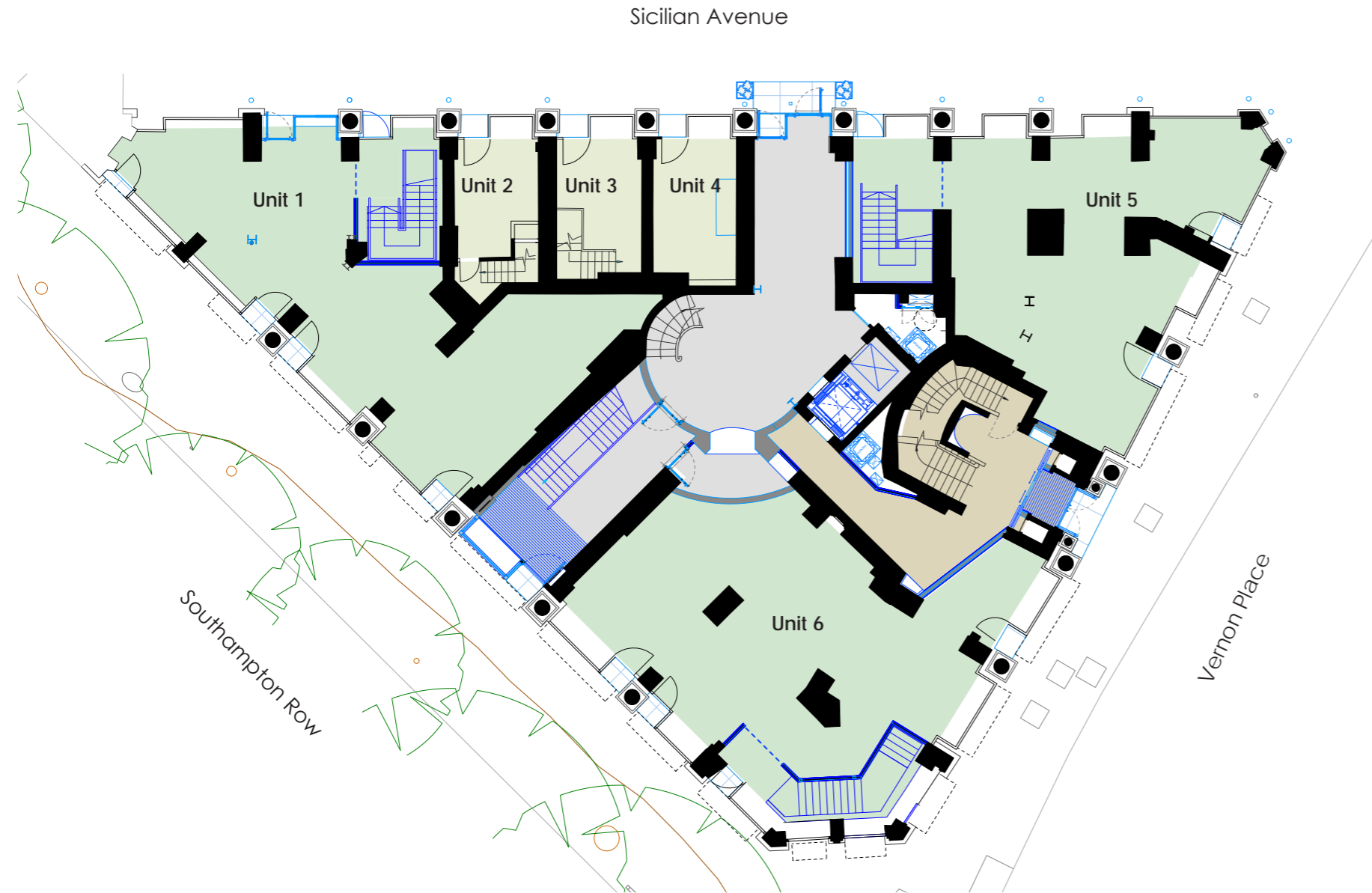
Improving the retail offering Proposed Retail Unit Layouts

- The proposal looks to reconfigure the retail units to create 6 no. units at ground floor and basement.
- Where possible new enlarged openings will be created through dividing walls to make the internal configuration of the retail units more flexible.
- The historic layout and position of the dividing walls will though be defined via downstand beams.
- The three larger units will be positioned on the corners to create anchor units that have dual frontages.
- Two of these larger units will also have new kitchen extract routes up to the roof created.
- The three smaller units will be located within the middle of Sicilian Avenue to maintain the small shopfront parade aesthetic.
- It is understood that creating larger units on the more visible corners will be more attractive to new retailers and help increase the footfall through Sicilian Avenue.

FLOOR	Option 1			
	Gross External Area		Retail	
	GEA (sqm)	GEA (sqft)	NIA (sqm)	NIA (sqft)
Basement	764	8,224	350	3,767
Level 00	611	6,577	320	3,444

Proposed Ground NIA to be reviewed against current bay window configuration and potential incorporation within calculation

Improving the retail offering Proposed Retail Unit Stairs and Ceilings



Proposed Ground Floor Retail Plan

- Within the three larger anchor retail units it is proposed to install new compliant staircase down to the basement, which will enable the basements to be accessible to the general public.
- These new staircases will also act as protected means of escape from the basement, as they will be lobbied at ground floor through the introduction of fire rated glazing and fire curtains.
- Within the smaller retail units two of the existing narrow staircases will be retained.
- This includes the concrete stairs in retail unit 2 where the restricted head height in basement will be improved by cutting back the floor slab.
- Due to the proposed layout in the basement retail unit 4 will become a ground floor unit only.
- In line with current building regulations compartment floors should be created between floors of different usages.
- As part of the upgrades it is therefore proposed that a new fire rated suspended ceiling approximately 150mm deep is installed to the underside of the soffits within the ground floor retail units.
- To ensure that the fire separation is achieved and that ventilation grilles within the facades can still be utilised, the ceiling needs to be installed within the zone of the remaining corncing.
- The existing cornices within the retail units which in significant areas have been badly damaged will therefore need to be removed before the fire ceiling is installed.