

# PLANNING

## KEY

- Indicates Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non structural elements that need to be removed / demolished

- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates new walls and any other new construction elements

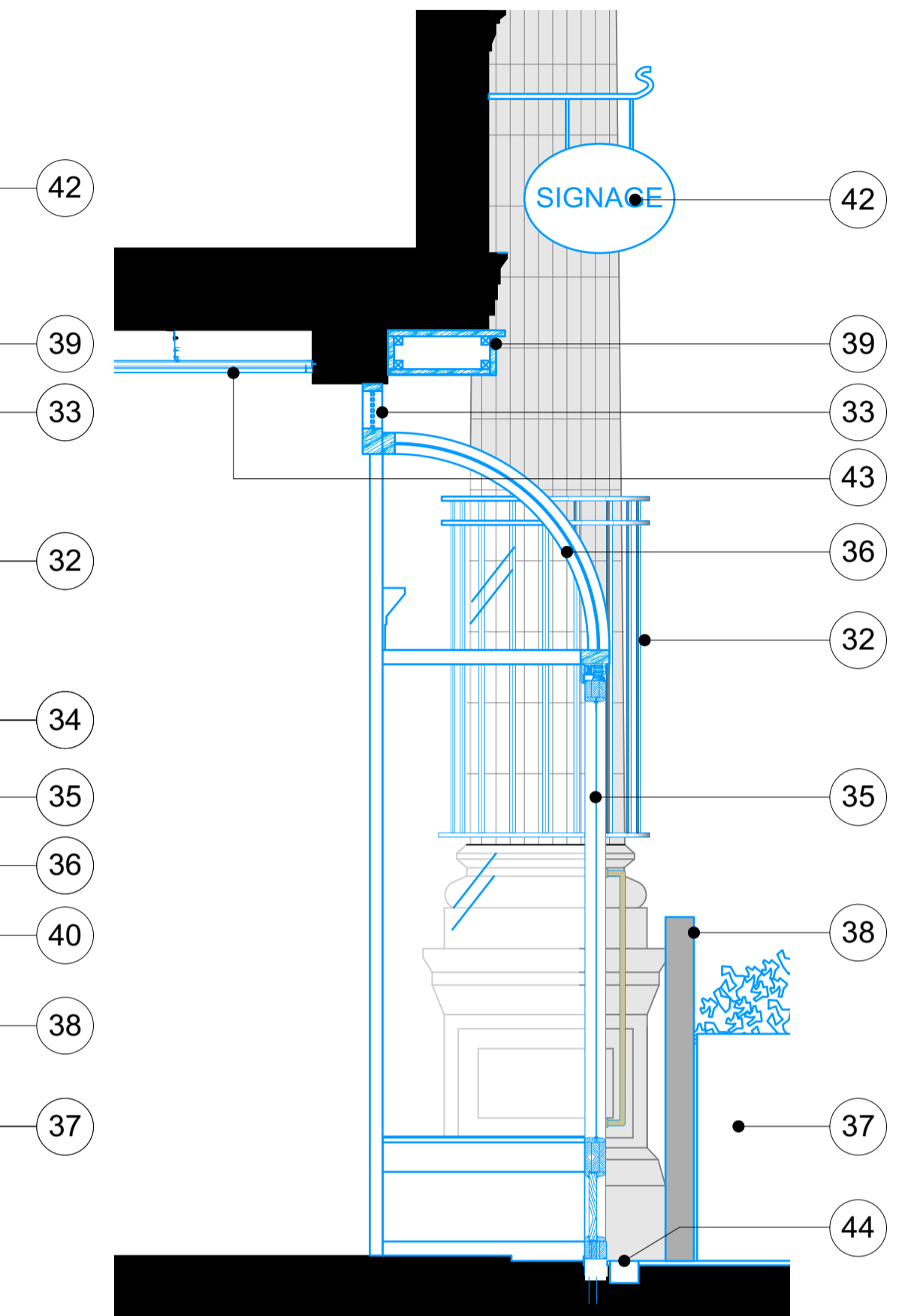
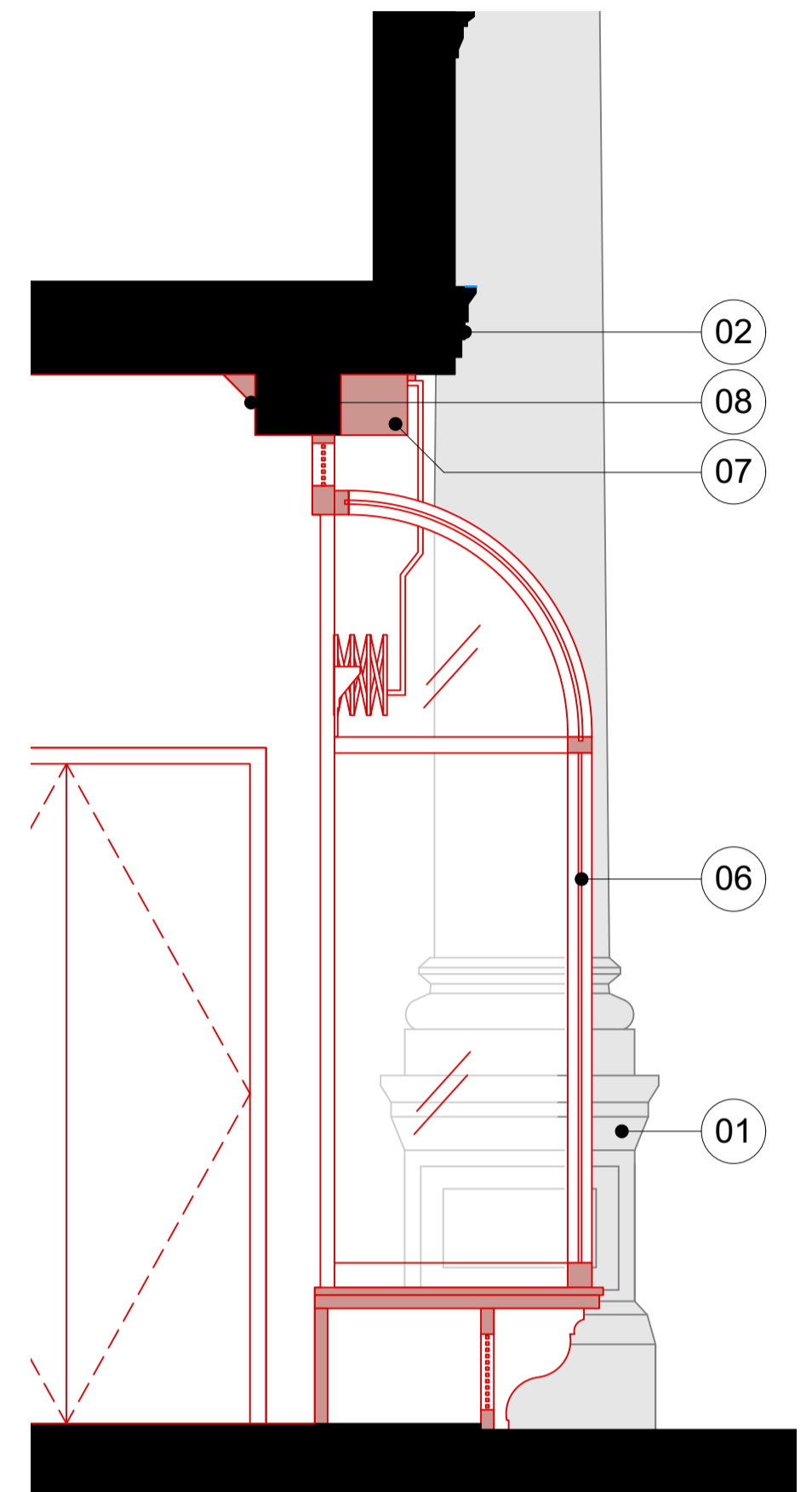
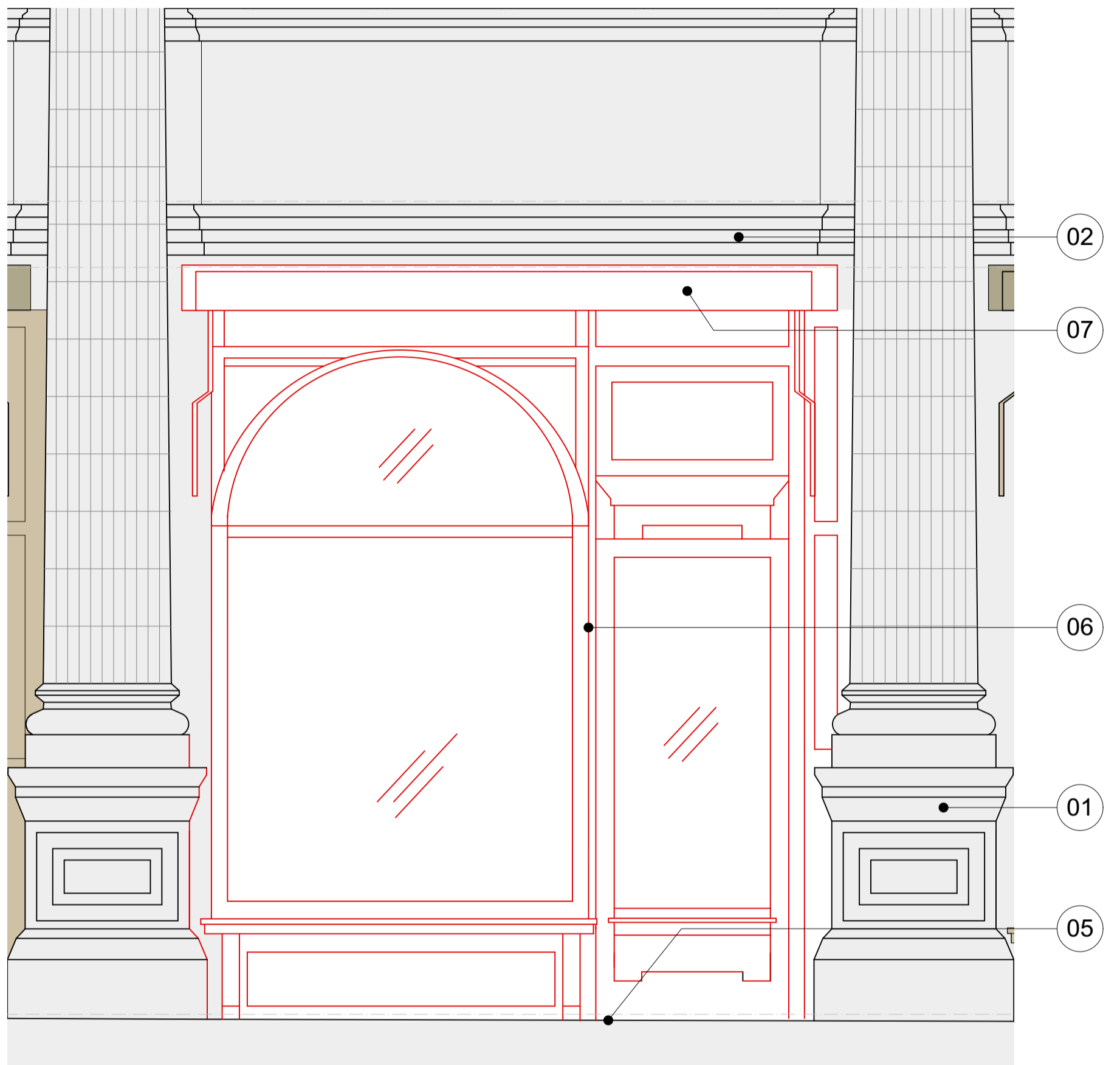
**Schedule of Works Key:**

To be read in conjunction with schedule Listed Building Consent Schedule of Works, Section 03 Sheet 401

01	03.401.01 - Existing stone columns to be retained and repaired as required, and to be cleaned
02	03.401.02 - Existing cornice to be retained and repaired as required, and to be cleaned
03	03.401.03 - Existing external floor mounted lighting to be replaced
04	03.401.04 - Existing floor finishes and internal bay upstand to be removed
05	03.401.05 - Existing paving to be removed
06	03.401.06 - Existing timber and glass shopfront to be carefully removed and stored for reuse

07	03.401.07 - Existing awning and awning bars to be removed and stored for reuse
08	03.401.08 - Existing cornice removed to allow for new fire compartment ceiling
31	03.401.31 - New floor mounted building lighting
32	03.401.32 - New illuminated feature brass lattice detail to existing columns
33	03.401.33 - New high level ventilation grills
34	03.401.34 - New external timber framed glazed side door, door used for additional means of escape
35	03.401.35 - New external timber framed glazed door within new shopfront, door used as principle entrance
36	03.401.36 - New timber and glass shopfront to match existing and restored shopfronts

37	03.401.37 - New free standing planters incorporating building signage
38	03.401.38 - New external free standing access control intercom bollard
39	03.401.39 - New canopy box with feature detailing building signage and illuminated soffit
40	03.401.40 - New brass plaque with building signage installed to front of columns
41	03.401.41 - New external linear slot drain and contrast paving
42	03.401.42 - New projecting signage, to match existing
43	03.401.43 - New suspended compartment fire ceiling
44	03.401.44 - New threshold slot drain

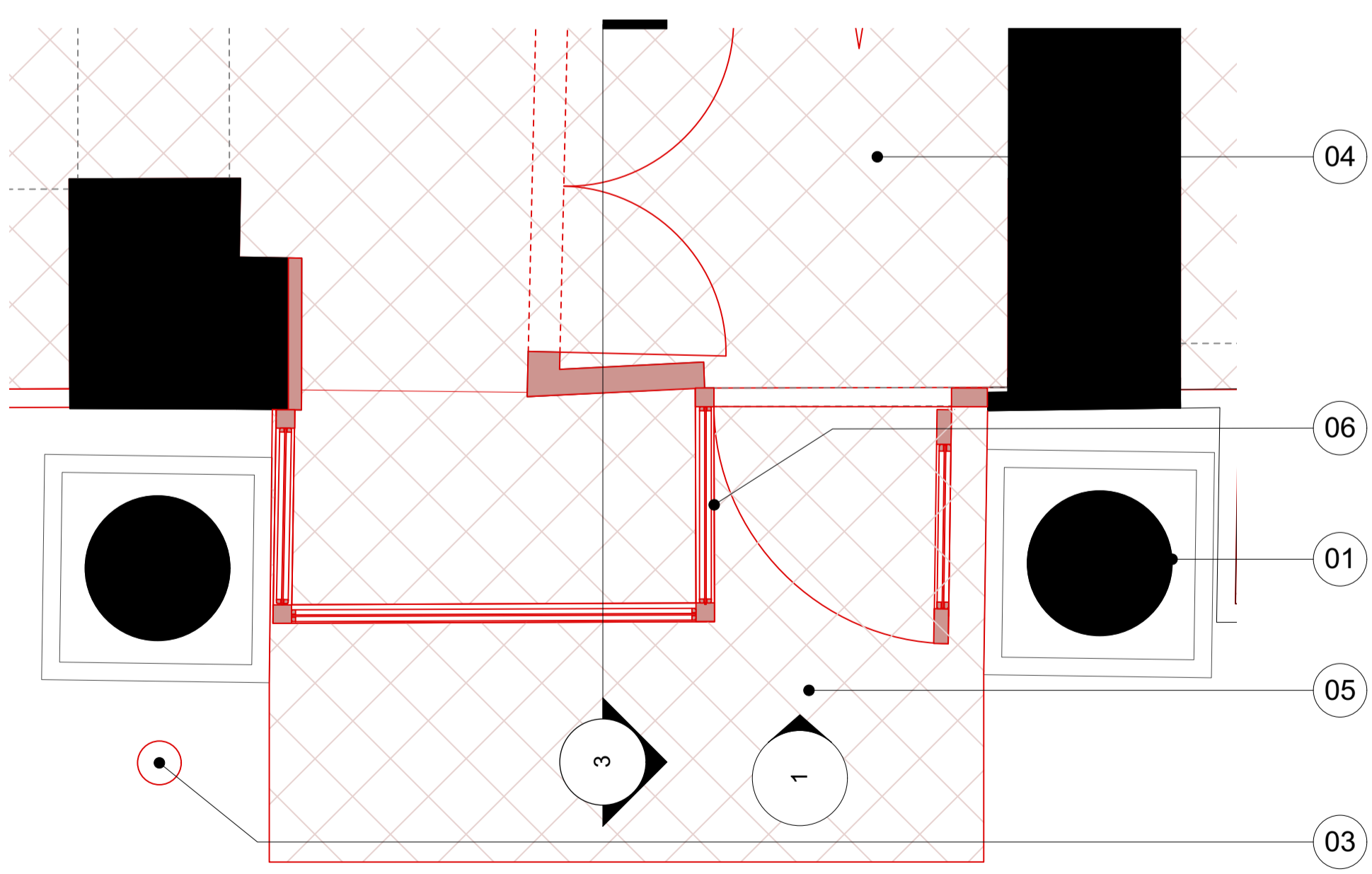


1 Sicilian Avenue Entrance Demolition Elevation  
Scale: 1:20

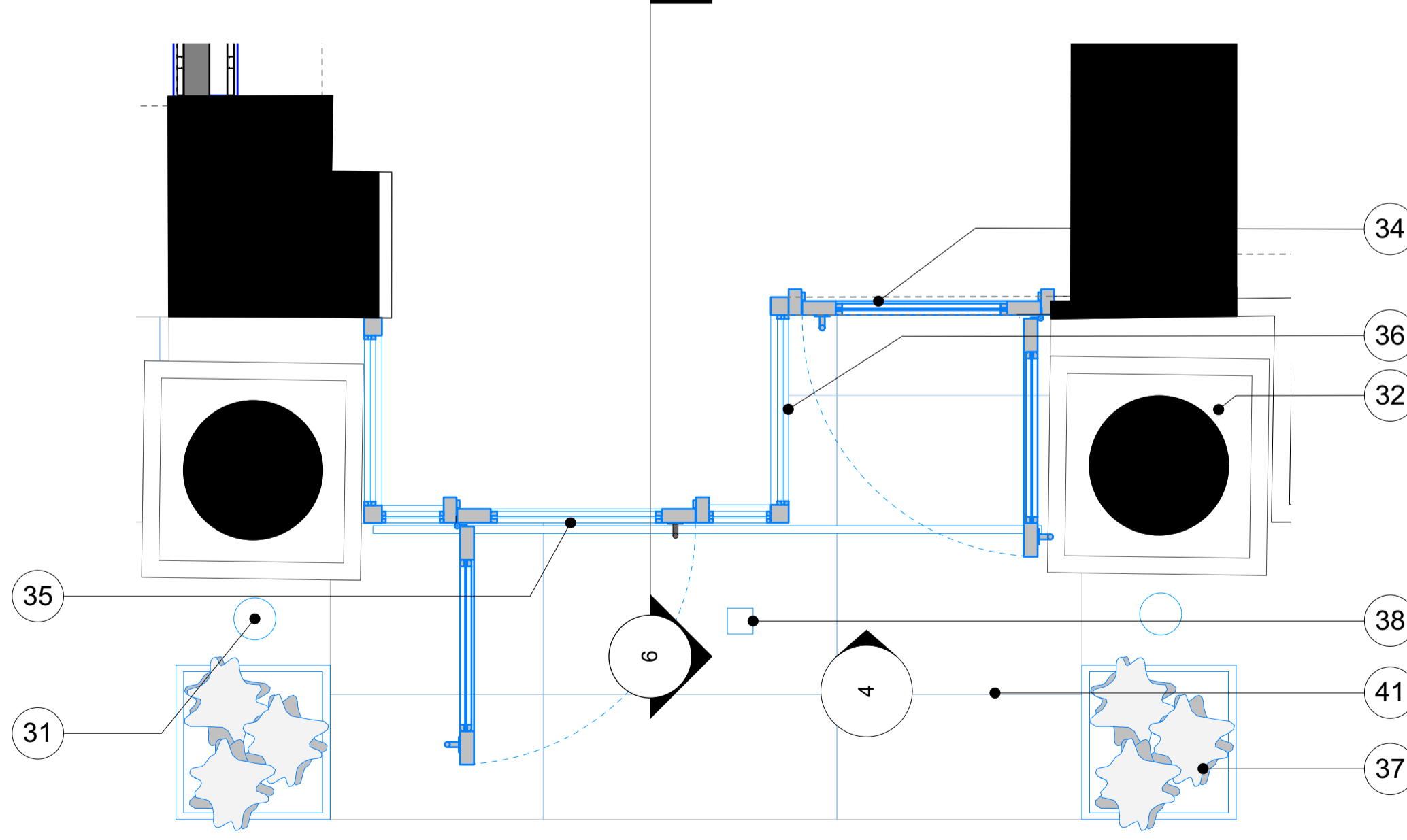
3 Sicilian Avenue Entrance Demolition Section  
Scale: 1:20

4 Sicilian Avenue Entrance Proposed Elevation  
Scale: 1:20

6 Sicilian Avenue Entrance Proposed Section  
Scale: 1:20



2 Sicilian Avenue Entrance Demolition Plan  
Scale: 1:20



5 Sicilian Avenue Entrance Proposed Plan  
Scale: 1:20

All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
 Sizes and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.  
 This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.  
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.  
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL1	03/05/2024	Issued for Planning

Date	May 2021	Project	31 Southampton Row	Job Ref.	386
Scale	1:20	Drawn	AP	Check	AY
Status	PLANNING	Client Ref	HP	Drwg. no.	386(ED)401
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