

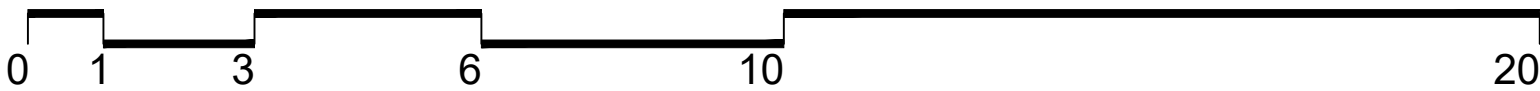
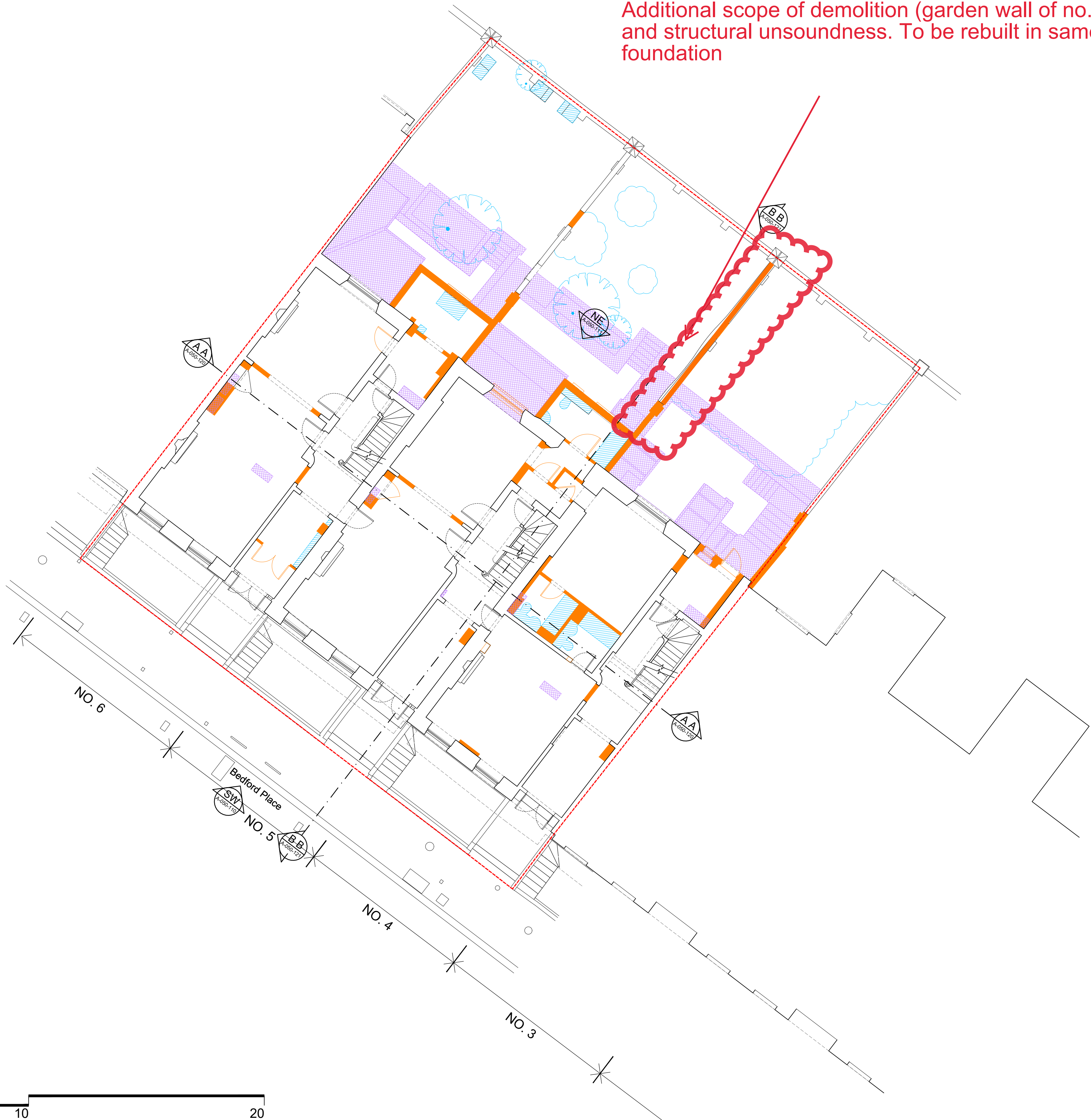
PROPOSAL IS ONLY FOR NEW WALL BUBBLED RED  
ALL OTHER CHANGES ARE CONSENTED AND BEING  
IMPLEMENTED UNDER 2023/1315/P AND 2023/1398/L

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Only the original drawing should be relied upon. Contractors, sub-contractors and suppliers must verify all dimensions on site before commencing any work or making any shop drawings.  
All shop drawings to be submitted to the architect / interior designer for comment prior to fabrication.  
This drawing is to be read in conjunction with the architect's / interior designer's specification, bills of quantities / schedules, structural, mechanical & electrical drawings and all discrepancies are to be reported to the architect / interior designer.  
Do not scale from this drawing. Dimensions are in millimetres unless otherwise stated.  
All fire related elements and items are set out within the Fire Engineers Fire Strategy Report. Fire rating of elements / components require fire certification from certified test bodies to be provided to both the Fire Engineer & Building Control for review and sign off, prior to procurement and installation.  
Studio Moren Ltd will coordinate with all other consultants in relation to statutory items / elements under that consultants control. These items may be shown on Studio Moren Ltd drawings for coordination purposes, however they remain under that consultants design and control.

NOTES

- Site Boundary
- Proposed structure / fabric element removal
- Proposed penetrations / excavation to structure / fabric / earthwork removal
- Proposed features such as plant and fixed furniture removal

Additional scope of demolition (garden wall of no.5) due to bulging and structural unsoundness. To be rebuilt in same brick on new, solid foundation



P0 ISSUED FOR PLANNING	10.03.23	DT	MW
rev	amendments	date	by
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project	4-6 Bedford Place	London, WC1B 5JD	
client	SAV Group		
drawing title	Demolition		
drawing status	Ground Floor		
scale	1:100 @ A1	10.03.23	DT
1:200 @ A3			
job no.	1890	drawing no.	A-050-000
		revision	P0