

UCL Darwin Building Gower Street - 2024/0761/P



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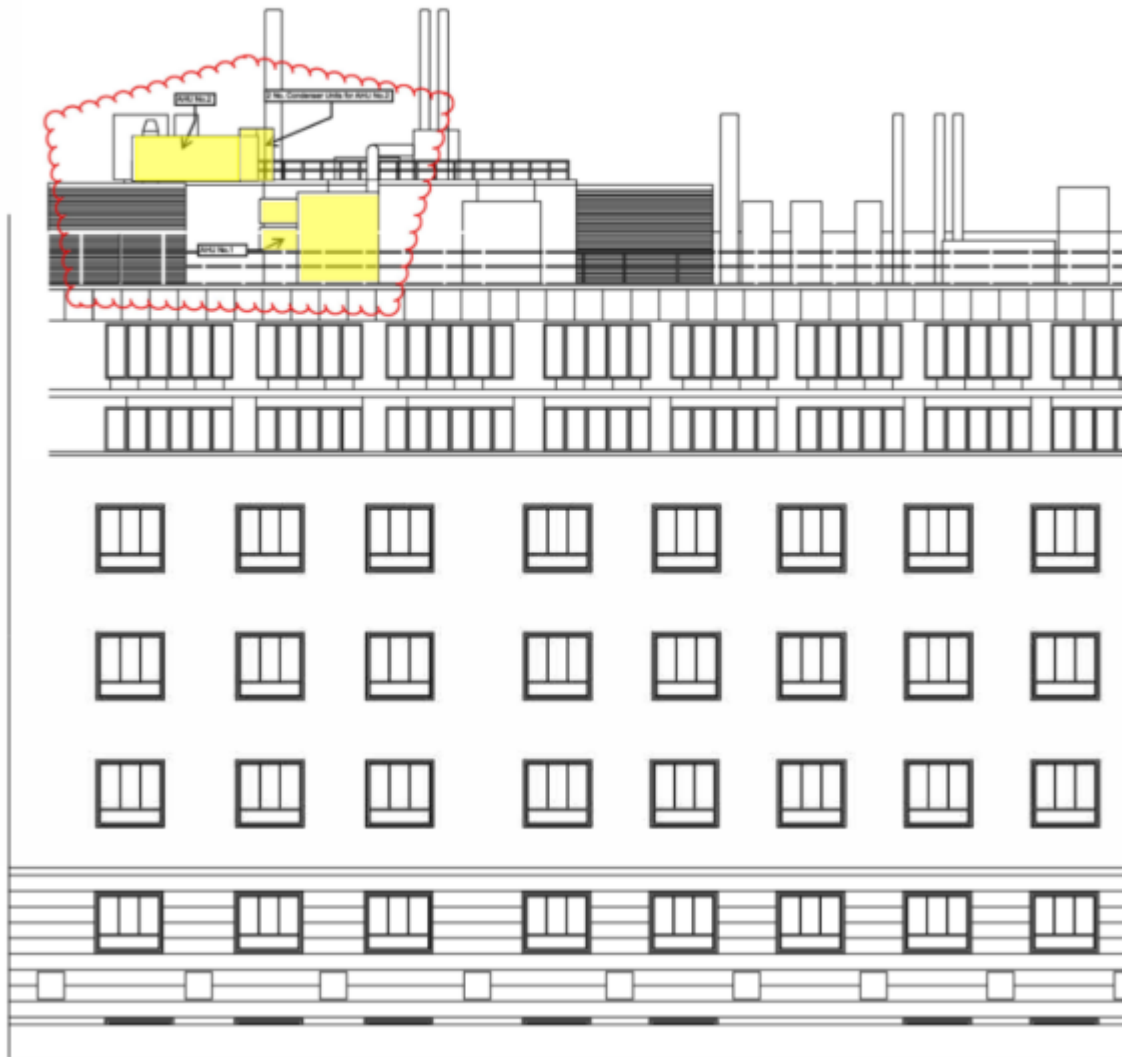
Site Photos - 2024/0761/P



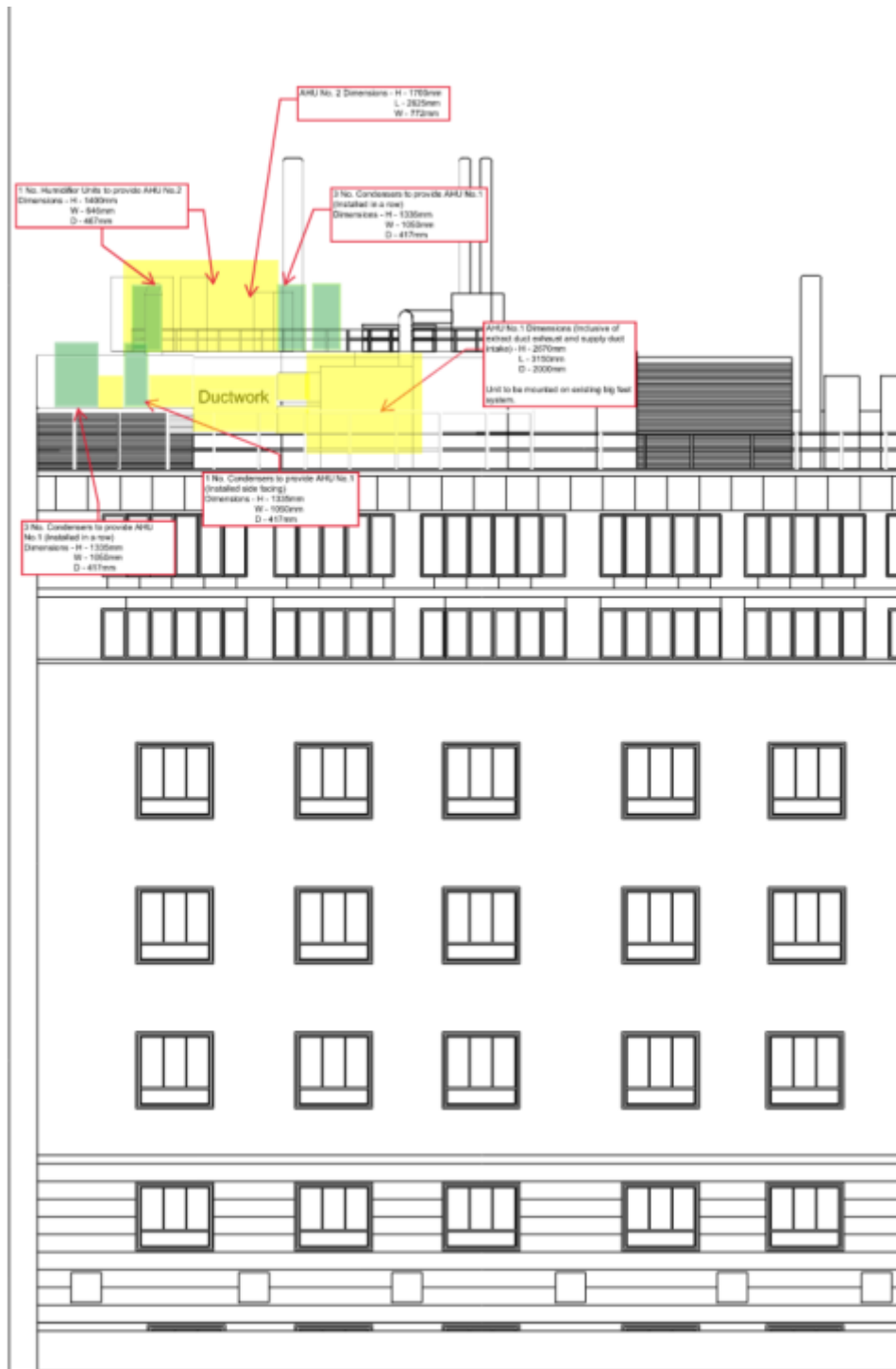
1. Street View image of the building from Gower Street



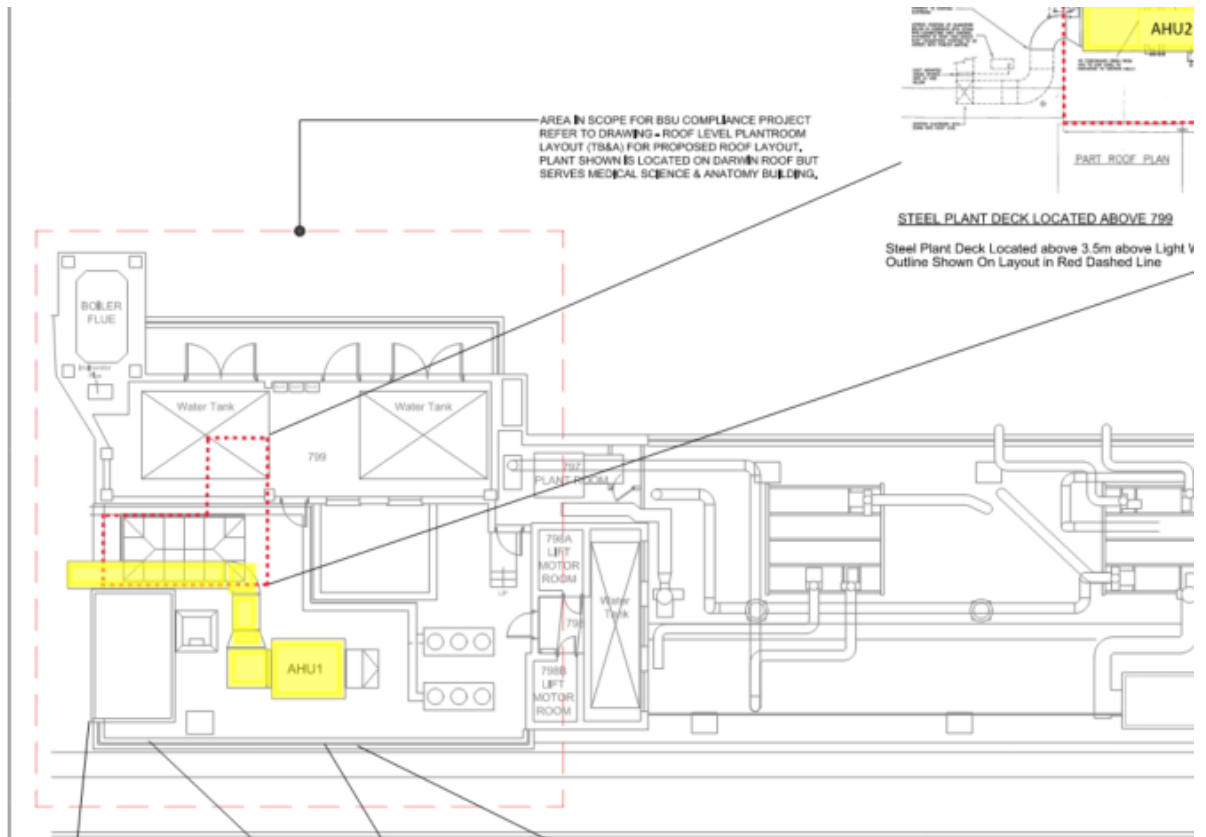
2. Aerial image showing the roof and existing plant units



3. Existing Gower St elevation

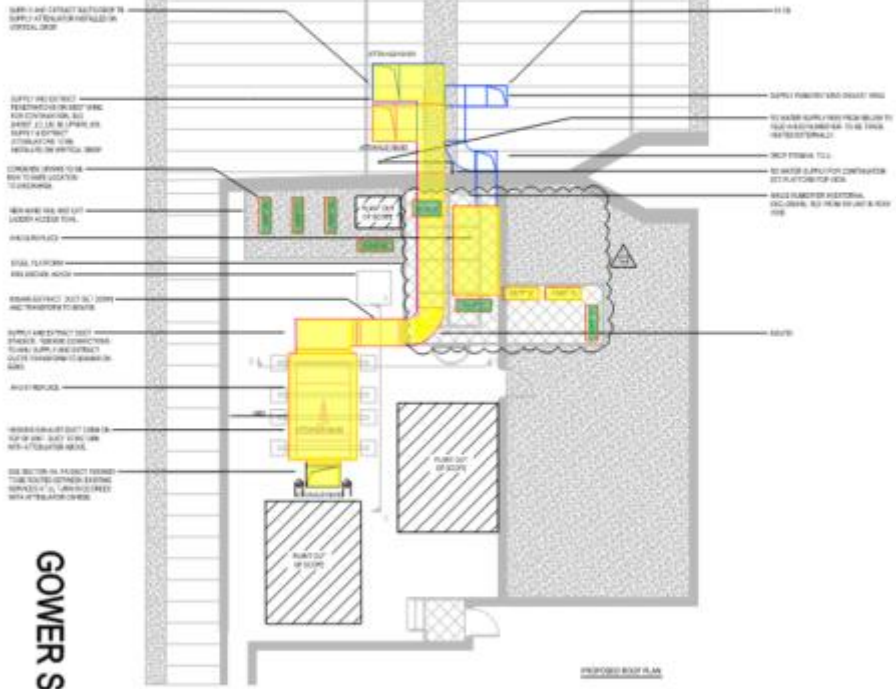


4. Proposed Gower St elevation



5. Existing roof plan

GOWER STREET



GOWER STREET

LEGEND

- NEW PLANT BEING PROPOSED
- PROPOSED REPLACEMENT PLANT



6. Proposed roof plan

Delegated Report		Analysis sheet	Expiry Date:	22/04/2024
(Members Briefing)		N/A	Consultation Expiry Date:	08/04/2024
Officer			Application Number	
Edward Hodgson			2024/0761/P	
Application Address			Drawing Numbers	
UCL Darwin Building Gower Street London WC1E 6BT			<i>See draft decision notice</i>	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal				
Installation of 2no. replacement air handling units, 2no. replacement condenser units, 6no. new condenser units, 1no. new humidifier, new ductwork and associated works at roof level				
Recommendation:	Grant conditional planning permission			
Application Type:	Full Planning Permission			

Conditions or Reasons for Refusal:	<i>Refer to Draft Decision Notice</i>			
Informatives:				
Consultations				
Summary of consultation:	<p>Site notices was displayed near to the site on the 15/03/2024 (consultation end date 08/04/2024).</p> <p>The development was also advertised in the local press on the 14/03/2024 (consultation end date 07/04/2024).</p>			
Adjoining Occupiers:	No. of responses	01	No. of objections	01
Summary of consultation responses:	<p>One letter of objection was received by the Gordon Mansions Residents Association, which can be summarised as below:</p> <ul style="list-style-type: none"> • Noise from the plant machinery, including 7 new additional units, especially units that face west or south. • The Noise Impact Assessment used readings from street level and Gordon Street Mansions should be taken into consideration. <p><u><i>Officer's Response</i></u></p> <ul style="list-style-type: none"> • <i>Amenity, including noise and vibration, is discussed in section 3 of the report.</i> 			
Bloomsbury CAAC:	The BCAAC were invited for consultation however no comments or objections were received.			

Site Description

The application site is a seven-storey building located on the eastern side of Gower Street. It has an educational use (Class F1), and the surrounding area is predominantly in educational use.

The application site is not listed but is located within the Bloomsbury Conservation Area.

Relevant History

Application Site:

2022/1578/P - Installation and replacement of plant and associated equipment at roof level, and installation of two chilled water pipes and several wall-mounted grilles at rear elevation, and other associated works. **Granted - 19/05/2022**

2008/3078/P - Installation of 6 chillers at roof level. **Granted - 19/08/2008**

2005/4254/P - Replacement of one window with louvres at rear elevation and installation of new condenser unit to roof. **Granted – 31/03/2006**

Relevant policies

National Planning Policy Framework (2023)

The London Plan (2021)

Camden Local Plan (2017)

- **A1** Managing the impact of development
- **A4** Noise and vibration
- **D1** Design
- **D2** Heritage
- **CC2** Adapting to climate change

Camden Planning Guidance

- CPG Amenity (2021)
- CPG Design (2021)
- CPG Energy Efficiency and Adaptation (2021)

Conservation Statements:

- Bloomsbury Conservation Area Appraisal and management strategy (2011)

Assessment

1. Proposal

1.1. Planning permission is sought for the installation of 2no replacement air handling units, 2no replacement condenser units, 6no new condenser units, 1no new humidifier and associated works including ductwork. The plant units would be located on the roof in the northwest corner. There is a large amount of existing plant and associated ductwork already at roof level, and some existing plant would be removed (namely, the 2no redundant air handling units and 2no condenser units). The new plant and equipment would serve temperature-controlled laboratory space on the fourth floor of the UCL Anatomy Building.

1.2. The principle planning considerations for the proposal are:

- Design and Heritage
- Amenity
- Sustainability

2. Design and Heritage

2.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

2.2. The Bloomsbury Conservation Area Statement advises that alterations and extensions to existing buildings including the addition of prominent roof level plant can have a detrimental impact to the character and appearance of the area.

2.3. The plant equipment would be located at roof level where there is already a considerable amount of plant equipment. The plant units would be set back from the roof edge, and given the height and scale of the building, they would be very limited in views from the public realm. Redundant units would also be removed which is welcomed. Although there would be an increase in height compared to the existing units, this would be a marginal increase and would not be more visible in views from within the conservation area. Therefore, the increase in units, given their siting, design and scale, would not detract significantly from the overall appearance of the host building or the wider Bloomsbury Conservation Area.

2.4. It is considered that the proposed plant units would not cause a detrimental impact upon the character and appearance of the host property and would preserve the special character of the Bloomsbury conservation area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013. They would be in accordance with policies D1 and D2 of the Camden Local Plan 2017.

3. Amenity

3.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacts upon by virtue of noise or vibrations.

3.2. The units would be located at roof level of the building. A Noise Impact Assessment has been undertaken, which has established the existing background noise levels in the vicinity around Gower Street. The report states that with the recommended mitigation, the noise from the units will be within acceptable levels at the nearest sensitive receptors and would comply with the Council's noise requirements. It can also be concluded that noise at receptors further away from Gower Street would also not be adversely affected. Conditions are attached to the decision notice to ensure that the recommended mitigation measures are implanted and to ensure that noise from the units does not exceed the Council's requirements. The Noise Impact Assessment has been reviewed by the Council's Environmental Health Team who have deemed it to be acceptable subject to conditions.

3.3. It is considered that the proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning policies A1 and A4 of the Camden Local Plan 2017.

4. Sustainability

4.1. The existing plant serving the fourth-floor labs are no longer fit for purpose and the labs no longer comply with health and safety standards. The units would provide the same function as the existing units, although they would be more modern units which are more energy efficient and environmentally friendly than the existing. The active cooling is essentially being replaced and upgraded instead of being increased. Therefore, the active cooling is considered acceptable in this instance. The proposals are thus in general accordance with policy CC2 of the Camden Local Plan 2017.

5. Recommendation

5.1. Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 29th April 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2024/0761/P
Contact: Edward Hodgson
Tel: 020 7974 8186
Email: Edward.Hodgson@camden.gov.uk
Date: 23 April 2024

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Gerald Eve
6 Mortimer Street
London
W1T 3JJ

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
UCL Darwin Building
Gower Street
London
WC1E 6BT

DECISION

Proposal: Installation of 2no. replacement air handling units, 2no. replacement condenser units, 6no. new condenser units, 1no. new humidifier, new ductwork and associated works at roof level

Drawing Nos: Site Location Plan DMA-AB-100 PA, LH0527_LO_LM_M_UPN016_006 CO2, 016-DRW-ELE-002 PA, 016-DRW-ELE-001 PA, 016-DRW-LAY-002 PA, Cover Letter (Gerald Eve 16/02/2024), Design and Access Statement (Gerald Eve Dec 2023), Information on Plant Units (DMA), Noise Impact Assessment Report Rev 02 (Hoare Lea 25/01/2024)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan DMA-AB-100 PA, LH0527_LO_LM_M_UPN016_006 CO2, 016-DRW-ELE-002 PA, 016-DRW-ELE-001 PA, 016-DRW-LAY-002 PA, Cover Letter (Gerald Eve 16/02/2024), Design and Access Statement (Gerald Eve Dec 2023), Information on Plant Units (DMA), Noise Impact Assessment Report Rev 02 (Hoare Lea 25/01/2024)

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 The external noise level emitted from plant/equipment at the development hereby approved shall be lower than the typical existing background noise level by at least 10dBA, by 15dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with all machinery operating together at maximum capacity and thereafter be permanently retained.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017

- 4 Prior to use, machinery, plant or equipment at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by vibration in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

DECISION