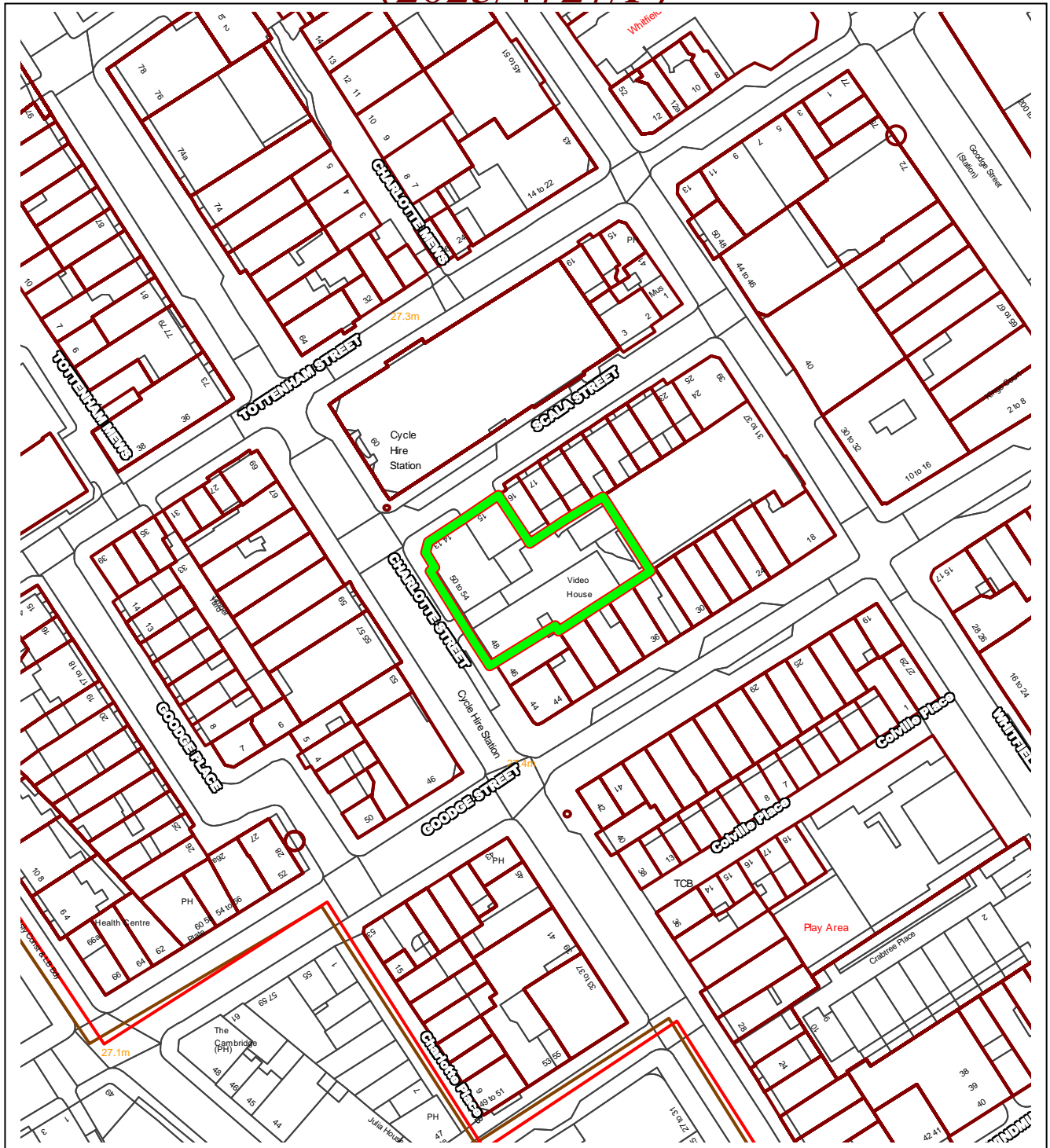


48 Charlotte Street, London, W1T 2NS (2023/4727/P)



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48 CHARLOTTE STREET

SITE PHOTOS AND PLANS



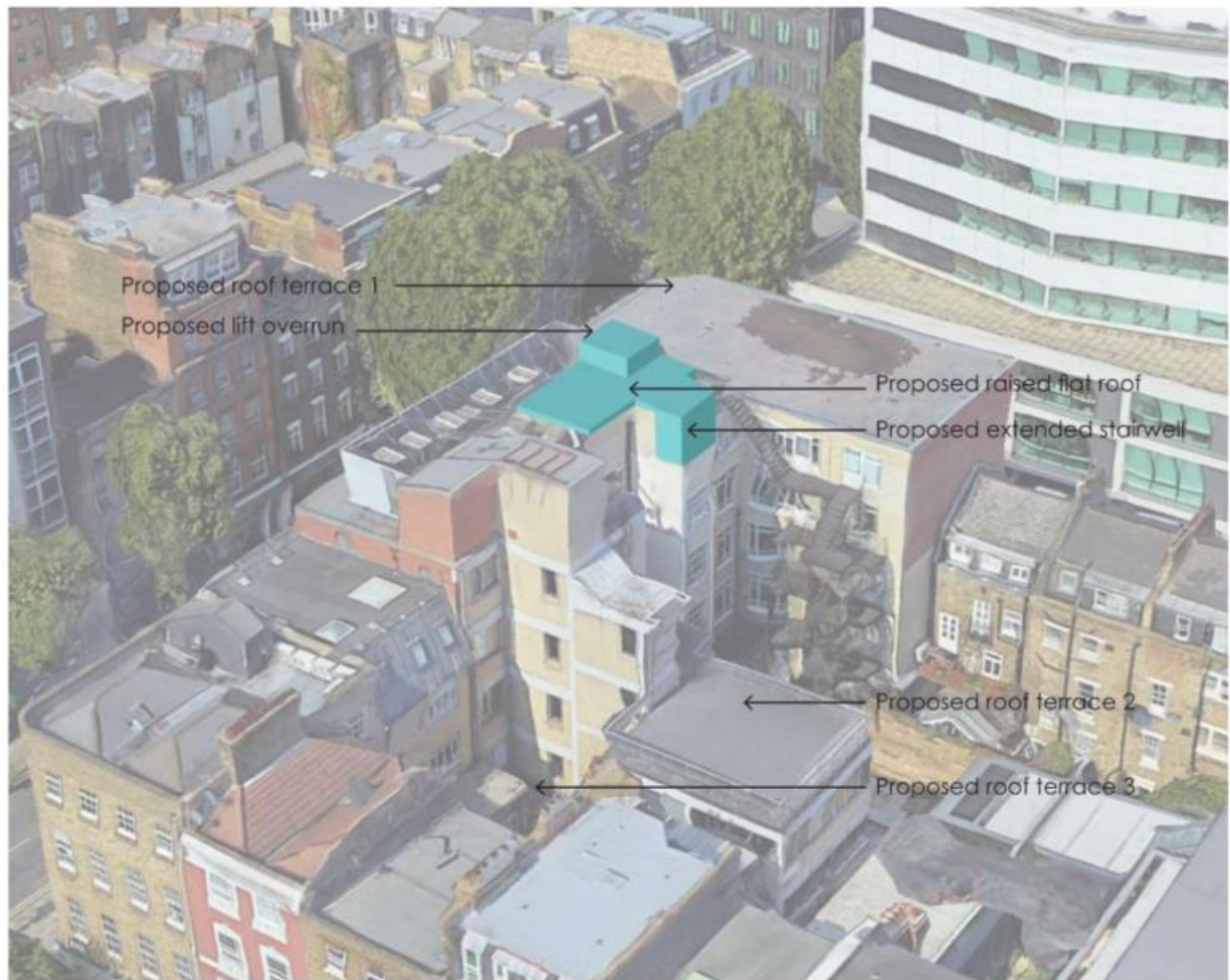
Image 1 (above): Aerial view of the building looking northeast



Image 2 (above): Aerial view of the rear of the building looking northwest



Image 3 (above): View of building fronting Charlotte Street and Scala Street



Aerial view showing proposed rooftop extensions in blue

Image 4 (above): Image showing works at roof level and locations of the proposed roof terraces



Image 5 (above): View of existing roof at 3rd floor level at the rear of the building with the proposed terrace outlined in red.

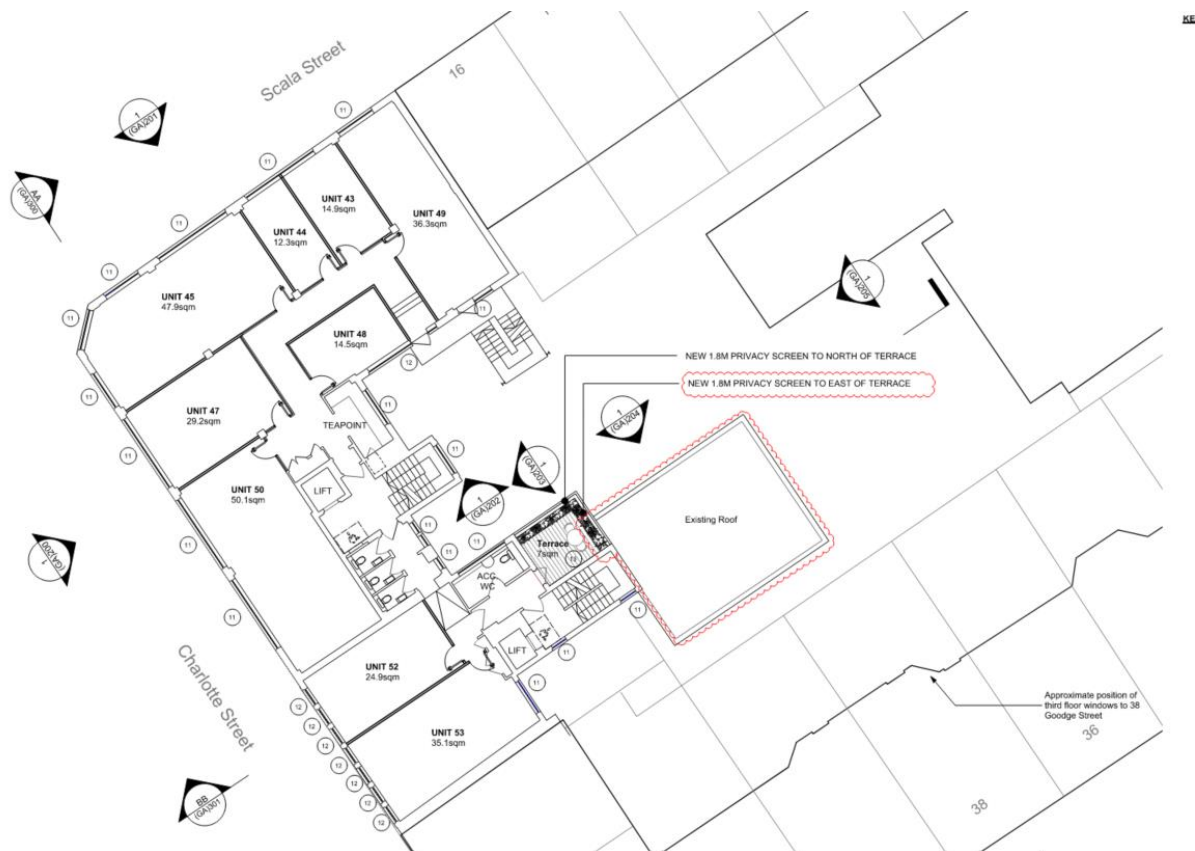


Image 6 (above): Proposed 3rd floor plan showing the location of the proposed roof terrace

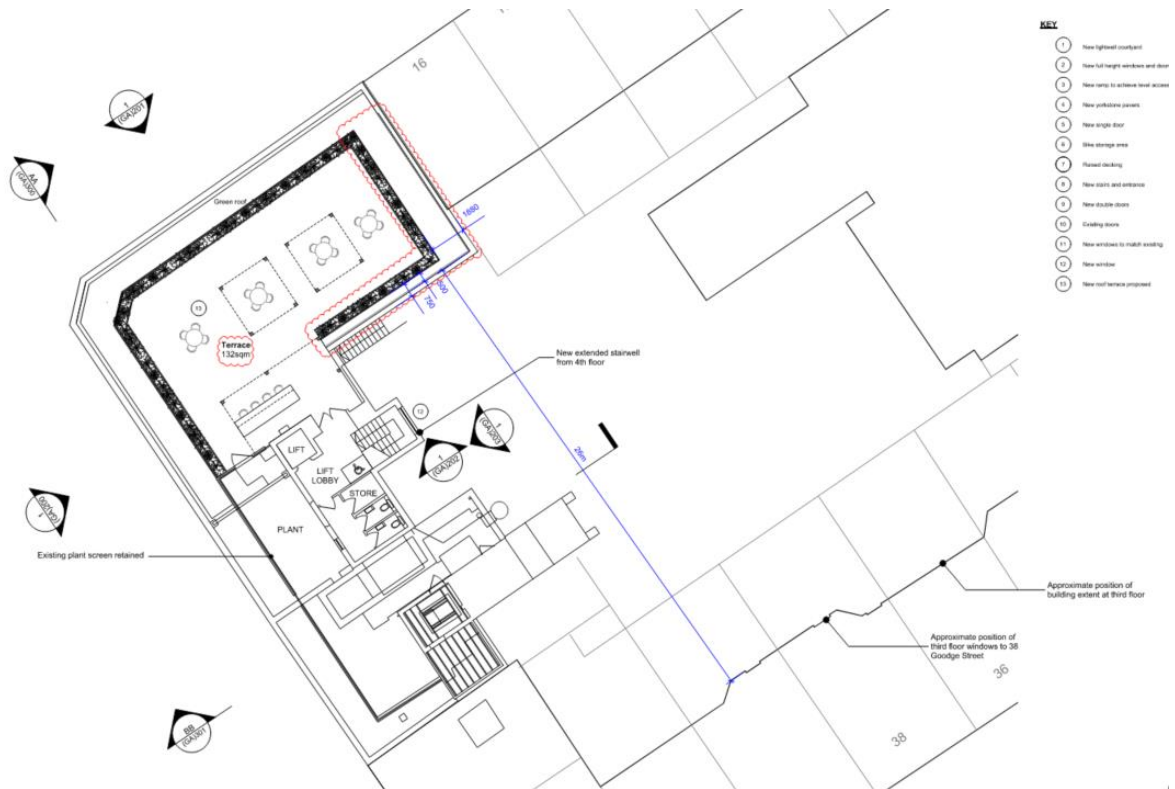


Image 7 (above): Proposed 5th floor plan showing the location of the proposed roof terrace.



Image 8 (above): Visual of the proposed 5th floor roof terrace including louvred pergolas

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	29/12/2023
		N/A / attached		Consultation Expiry Date:	17/12/2023
Officer			Application Number(s)		
Elaine Quigley			2023/4727/P		
Application Address			Drawing Numbers		
48 Charlotte Street London W1T 2NS			See draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
External alterations including: creation of roof terraces at first floor, third floor and main roof level; extension of stairwell and lift overrun; replacement windows; alterations to doors and windows at basement and ground floor levels; relocation of air handling unit; and associated external alterations including installation of 3 pergolas on the main roof at 5 th floor level.					
Recommendation(s):		Grant conditional planning permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	06	No. of objections	06
			No. Electronic	00		
Summary of consultation responses:	Site notices were displayed from 15/11/2023 to 09/12/2023 and a press notice was advertised in the local press from 23/11/2023 to 17/12/2023.					
	<p>ORIGINAL PLANS</p> <p>4 letters of objection have been received from a planning consultancy (HLF Planning) who are acting on behalf of local residents at 16 Scala Street, a local resident at 38c Goodge Street, individual letter from residents at 16 Scala Street and a resident who did not provide a postal address. They raise the following concerns:</p> <p>LAND USE</p> <ul style="list-style-type: none"><u>Principle of refurbishment</u> The principle of the refurbishment works is supported however introduction of terraces and light blocking cover to the external fire escape stair is not due to the harmful amenity issues (listed below). <p>AMENITY</p> <ul style="list-style-type: none"><u>Noise</u> Currently noise issues experienced from commercial uses along Goodge Street and noise from voices at the rear of the properties is kept to a minimum. Noise and sound from people currently accessing roof and external stairs reverberates around the 'chamber' behind Scala Street and Goodge Street. The sound is very amplified. This would be the same from the proposed terrace 1. <p><i>Officer's response: Please refer to paragraphs 6.9 to 6.14 in the Amenity section.</i></p> <ul style="list-style-type: none"><u>Hours of use</u> The use of the all the terraces for up to 140 people at any one time up to 9pm would cause significant noise and disruption to local residents. <p><i>Officer's response: Following revisions to the scheme the size of the 3rd floor roof terrace has been reduced that would reduce the number of people accessing it. Hours of use would be restricted from 8am to 7pm. Please refer to paragraphs 6.9 and 6.10 in the Amenity section</i></p> <ul style="list-style-type: none"><u>Overlooking/ loss of privacy</u> Due to location of roof terraces particularly the 3rd floor roof terrace (less than 13m from habitable rooms) users of the terrace would look directly into these rooms at Scala Street as there is no mitigation in the form of privacy screen. Any privacy screen would give the appearance of an extra storey at this level. The 2m screen on the Goodge Street side would not reduce sound and would result in blocking of light. <p><i>Officer's response: Please refer to paragraphs 6.4 to 6.7 in the Amenity section</i></p>					

- With current use of the fire escape stairs for maintenance works it's use is very noticeable to local residents with direct views into the neighbouring flats. It should be completely enclosed to ensure no direct overlooking of properties.

Officer's response: Please refer to paragraphs 6.8 in the Amenity section.

- Sunlight, daylight and overshadowing
Installation of a new canopy over the fire escape stairs would reduce light into the rear amenity space of properties along Scala Street

Officer's response: Please refer to paragraphs 6.2 and 6.3 in the Amenity section

- Lighting
There are no details of illumination levels particularly of the 3rd floor terrace. Illumination at night would be significantly harmful to the living conditions of the properties that face it.

Officer's response: Details of the lighting including lux levels would be secured by condition. Please refer to paragraph 6.16 of the Amenity section.

OTHER MATTERS

- Structural issues
Whilst not a planning consideration there is a visible crack in the brick work on the shared party wall with no. 16 Scala Street. The applicant would be encouraged to investigate this prior to the commencement of any work.

Officer's response: This would be covered under Party Wall Agreement legislation.

- Lighting
Lighting within the offices of the building should be restricted to 9pm as any lighting left on after this time could result in serious concerns with light pollution.

Officer's response: The hours of occupation of the existing building and lighting associated with the use of the office floors are not controlled to a specified time. Lighting should be on an automatic timer so that it switches off when the office space is not in use however this could not be enforced.

AMENDED PLANS

2 letters of objection have been received from local residents at 38c Goodge Street, 16 Scala Street (1 letter signed on behalf of 3 occupiers) that raised the same concerns as the original plans. An additional comment was included which has been detailed below.

OTHER EXAMPLES OF ROOF TERRACES

Similar application refused

Previous application to use the rooftop of property along Scala Street would be refused for the same reasons we are asking for this one.

	<p><u>Officer's response:</u> Planning permission was refused (ref PSX0205322) on 07/01/2003 for a mansard roof extension and provision of a roof terrace at 20 Scala Street. The principle of the roof extension was considered unacceptable due to the adverse impact on the architectural integrity of the terrace in which it is located. This proposal was not refused on the basis of the roof terrace.</p>
<p>Local groups comments:</p> <p>Charlotte Street Association</p>	<p>An objection has been received from the Charlotte Street Association (CSA) following revisions to the scheme raising the following concerns:</p> <p>AMENITY</p> <ul style="list-style-type: none"> <p><u>Noise</u></p> <p>Number of terraces and possible noise generation for residents both in Scala Street and Goodge Street as noise resonates around the back of the buildings. Revisions to cut back the 5th floor to reduce the size of the terrace would not reduce or eliminate the issue of noise when any of the terraces are used.</p> <p><u>Officer's response:</u> Please refer to paragraphs 6.9 to 6.14 in the Amenity section.</p> <p>Concerned about noise from new ground floor lightwell courtyard, rooflight to ground floor rear extension, use of ground floor spaces, 3rd floor external landing and external stairs and possible noise from voices if used by groups to gather</p> <p><u>Officer's response:</u> Please refer to paragraphs 6.9 to 6.14 in the Amenity section.</p> <p><u>Controls of external terraces</u></p> <p>Rooms are labelled as units. If the building is let on a co-working basis concerned about the overall control and management in the use of the external terraces to ensure they do not disturb nearby residents.</p> <p><u>Officer's response:</u> Please refer to paragraph 6.10 in the Amenity section.</p> <p><u>Smoking / disturbance</u></p> <p>Appears that ground floor unit 11 has entrance directly onto Scala Street next to no. 16 Scala Street. Concerned that staff may stand outside and smoke / chat on mobile phones and disturb the residents</p> <p><u>Officer's response:</u> Please refer to paragraph 6.17 in the Amenity section.</p> <p><u>Hours of use of the terraces</u></p> <p>CSA suggest hours of use of the terraces as 6pm on Monday to Friday and not at all during the weekends or public holidays as it is important that residents are not disturbed during these days</p> <p><u>Officer's response:</u> Please refer to paragraph 6.9 in the Amenity section.</p>

Site Description

The site is located on the east side of Charlotte Street bounded by Scala Street to the north and Goodge Street to the south. It is surrounded by a mix of four/five storey buildings that comprise commercial units on the ground floor with a mix of office and residential units above. The closest residential properties are located at 16 to 18 (inclusive) Scala Street and the upper floors of 36 to 40 (evens) Goodge Street. The site is located within the Charlotte Street Conservation Area.

The site comprises 2 five storey office buildings with basement level. No. 48 is a modern 1970's office building that has a three storey and two storey rear extension. It was refurbished in 2006. No. 50-54 was constructed in the 1950's and has a more industrial character. At ground floor level the building at no. 48 extends to the rear of the building at 31-37 Whitfield Street. Nos. 48 and no. 50-54 are linked at first floor level following works undertaken in the 1990's and both buildings are within the same ownership. Neither building is listed. They are not identified as positive contributors in the Charlotte Street Conservation Area Statement (CAS) but are not identified as detractors and the buildings are therefore considered neutral.

Relevant History

Application site

Planning permission was **granted** (ref 2017/7117/P) on 08/03/2018 for change of use of ground floor room (Room G07) from B1(office) to dual B1/D1 (office/non-residential institution) use as a doctor's surgery

Certificate of lawfulness (proposed) (ref 2022/4122/P) was **granted** on 19/12/2022 for use of part of office premises for purposes associated with a private hire vehicle operator with no access to visiting members of the public and no vehicular visits.

Neighbouring sites

31-37 Whitfield Street

Planning permission was **granted** on 06/03/2020 (ref 2019/6274/P) for external alterations to existing office building including reconfiguration of front and rear entrances, additional plant at roof level and creation of terrace areas to the rear at second floor level and to the front at fourth floor level. The rear roof terrace doesn't appear to have been installed on site however from the approved plans the roof terrace would measure approx. 51 sq. m and would be enclosed by an evergreen planted 2m high screen. A planning condition (Condition 6) was attached to the permission to restrict the use of the roof terrace between 09:00 to 19:00 Monday to Friday and is not to be used at all on weekends and bank holidays.

60 Charlotte Street

Planning permission was **granted** on 05/10/2021 (ref 2021/2389/P) for external alterations associated with creation of roof terrace area at main roof level and installation of screening around existing plant .

Relevant policies

National Planning Policy Framework (NPPF) (2023)

The London Plan 2021

Camden Local Plan 2017

A1 Managing the impact of development

A4 Noise and vibration

C6 Access for all

CC1 Climate change mitigation

CC2 Adapting to climate change

D1 Design

D2 Heritage

E1 Economic development

T1 Prioritising walking, cycling and public transport

Camden Supplementary Planning Guidance

CPG Access for all (2019)

CPG Amenity (2021)

CPG Design (2021)

CPG Employment sites and business premises (2021)

CPG Energy efficiency and adaptation (2021)

CPG Transport (2021)

Charlotte Street Conservation Area Appraisal and Management Plan (2008)

Draft Camden Local Plan

The Council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications which has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1.0 PROPOSAL

1.1 Permission is sought for the following works:

- Creation of 3 new roof terraces at first floor level on the roof of the single storey rear extension of no. 50-54, at part of the third floor level on the roof of the 2 storey rear elevation at the rear of no. 48 and use of the roof of the main building at 5th floor level of no. 50-54,
- Installation of 3 louvred pergolas on the roof of the 5th floor
- Extension of the stairwell and lift overrun by 4.1m,
- Increase in the height of the parapet of the rear elevation of the building by 0.5m,
- Covering of the existing external fire escape staircase at the rear of the building of no. 50-54,
- Replacement of all windows,
- New main entrance on the corner of Charlotte Street and Scala Street
- Alterations to doors and windows at basement and ground floor levels including bricking up of windows on the western front elevation at street level and enlargement of the openings at lower ground floor level to install full height windows and doors, installation of new bronze door frames and new doors,
- Relocation of air handling unit from ground floor level to the roof of the ground floor rear extension,
- Alterations to the windows and doors on the front façade of the building fronting Charlotte Street
- Creation of 17 cycle parking spaces at ground floor level within the rear courtyard area
- Improvements at street level including removal of pavement concrete finishes and installation of new yorkstone paving and steps along Charlotte Street and Scale Street

1.2 An operation management plan (OMP) has been submitted in support of the application. This advises that the terrace would be used for breakout space and entertaining space during the warmer months only. It is anticipated that no more than 30 people would use the terrace at one time, and it is not likely that it would be used at weekends. The plan confirms that the terrace would be used by office tenants within the building to provide break out space for work purposes only. They would not be available for private hire or accessible to any other users. Smoking would be prohibited on the roof terraces. Compliance would be monitored by the building management team.

1.3 The applicant has proposed the following noise controls for the terrace:

- no music would be played on the terraces
- the terraces would be used from 08:00 but would not be used past 19:00 hours (Monday to Friday)
- an operational management plan has been prepared which includes a noise complaint policy and noise procedure that would be put in place by the applicant to record the date, time, name and cause of action following any neighbour complaints.

Amendments

1.4 During the course of the application amendments have been received to revise the scheme to seek to address concerns on the design and amenity. Details are included below:

- Removal of ground floor rendering
- Retention of ground floor windows and framing design as existing
- Removal of railings and planters on Scala Street and the northern part of Charlotte Street and retention of the current railings
- Revised critical style windows on the rear elevation to match the existing
- Set back of the 5th floor terrace by 1.88m from the eastern boundary and 0.5m from the southern side boundary reducing the size of the terrace from 144 sq. m to 132 sq. m
- Installation of a 1.8m high privacy screen at the northern and southern boundaries of the 3rd floor terrace
- Reduction in the size of the 3rd floor terrace to 7 sq. m
- Installation of 3 pergolas on the main flat roof measuring approximately 20 sq. m (larger pergola), and 8.8 sq. m (2 smaller pergolas)
- Updated operational management plan (OMP)

2.0 ASSESSMENT

2.1 The main material planning considerations in the determination of this application are considered to be:

- Land use
- Design and heritage
- Access
- Amenity
- Transport
- Sustainability

3.0 LAND USE

3.1 Policies E1 aim to ensure that the Council supports development that retains existing employment sites and provides a range of different sizes of employment space within the borough.

3.2 The building has been unoccupied for at least 7 months. It's authorised use is for office use (Class E). Planning permission was granted in 2017 for the use of one of the rooms within the building as a doctors surgery measuring 14 sq. m. This permission was never implemented and lapsed in 2020 therefore the whole building continues to operate within the Class E use class. The refurbished offices would be managed by Bourne Office Space Group and would operate as serviced offices with multiple tenants. The offices have a modular arrangement so that individual offices can be let to different tenants. The refurbishment of the building is welcomed and would create new modern office space in the borough which meets the requirements of policy E1.

4.0 DESIGN AND HERITAGE

4.1 Local Plan policy D1 seeks to achieve high quality design in all developments. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area. Through Local Plan policy D2, the Council will seek to preserve and, where appropriate, enhance Camden's conservation areas.

4.2 There are currently 5 different entrances into the site: - 2 entrance doors into no. 48, an entrance into Whitfield Studios that lies to the rear of the site and falls outside of its demise, an entrance to no. 54 from Charlotte Street and an entrance on the corner of no. 54 Charlotte Street and Scala Street. The proposal would include works to rationalise the number of entrances to 3 with the main entrance into the new reception area on the corner of Charlotte Street and Scala Street. The new main entrance and reception would introduce better transparency and would allow improved security within the building. The bronze door frame would include a single pane of glass and a visual panel above.

The materials would match the other ground floor window and door treatments and would be considered acceptable. The changes would be modest in terms of the overall character of the building and would be considered acceptable.

4.3 External changes to the Charlotte Street elevation at basement and ground floor level would include the removal of the basement level full height windows and infilling the section below the existing ground floor windows with brickwork to match the existing. The basement window opening would be enlarged to install the new full height windows and doors. These works would reinstate uniformity along the ground floor of the western façade of this part of the building and would be considered an enhancement.

4.4 It is proposed to replace all the windows on all elevations with new crittal style window frames. All the windows (apart from the basement windows on the west elevation fronting Charlotte Street) would match the size and proportions of the existing window openings and would be considered acceptable.

4.5 As part of the services strategy the existing air handling unit (AHU) at the rear at ground floor level together with the ductwork that extends along the lower ground floor would be removed and the AHU would be relocated to the roof of the single storey rear extension. A timber screen enclosure would be installed as part of these works. This part of the building is mainly screened from any public vantage points and would not have an adverse impact on the character or appearance of the building or the streetscene.

4.6 The proposed alterations to the building at roof level include the extension of the existing lift shaft and internal staircase by 4.1m to create access from the 4th floor to the 5th floor of the building. The rear parapet of the no. 54 would be increased in height by 0.5m to create a continuous roof line along this part of the building. The increased height at the rear would not harm the character or appearance of the building and would remain below the roof of no. 48. The extension would be constructed from brick to match the existing treatment on the rear of the building which would be considered acceptable. A new window would be installed within the extension. This would match the size and appearance of the windows below and would be considered acceptable. The lift overrun would be extend 1.15m above the existing lift lobby area. Due to its central location within the roof views of the new lift overrun would not be readily visible from the street and would not be considered to harm the character or appearance of the building, the streetscene of the surrounding conservation area.

4.7 The proposed roof terraces and pergolas would be sufficiently set back from the main elevations of the building and would not be considered to affect the streetscene from any public vantage point.

4.8 Special attention has also been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, and of preserving the listed building and its features of special architectural or historic interest, under s72 of the Planning (Listed Buildings and Conservation Areas Act) 1990.

5.0 ACCESS

5.1 Local Plan Policy C6 seeks to promote fair access and remove the barriers that prevent everyone from accessing facilities and opportunities.

5.2 The existing entrance on the corner of Goodge Street and Scala Street includes a step up into the building. As part of the works to create a main entrance into the building it is proposed to create a ramp to the new office entrance on the private forecourt to create level access to the new reception area. The entrance door to the offices would be set back within the building to enable the ramp to be constructed. The entrance gradient ramp would be 1:20 and would create level access from the street into the building which would meet the requirements of policy C6.

6.0 AMENITY

6.1 Local Plan Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact for development is fully considered and by only granting permission for development that would not harm the amenity of the neighbouring residents. This includes factors such as privacy, outlook, and

implications to natural light, artificial light spill, odour and fumes as well as impacts caused by the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacted by virtue of noise or vibrations.

Daylight and sunlight

6.2 Concerns have been raised by local residents about loss of daylight as a result of the installation of a canopy over the 4th and 5th floor level stairs and landing of the existing external fire escape stair case. The existing stair case is set back by 2.4m from west elevation of no. 16 Scala Street and extends along the south side elevation of the north west part of the building (originally no. 54). The new canopy would remain open at the sides and would not be considered to result in any loss of light to neighbouring properties or surrounding rear gardens.

6.3 The works at roof level including the raising of the parapet at the rear by 0.5m and the rear extension to accommodate the new internal stair and lift overrun would not have a harmful impact on the daylight to the neighbouring buildings and would be considered acceptable.

Overlooking

6.4 The nearest residential properties would be located in the upper floors of properties fronting Goodge Street to the south that lies approximately 7.1m from the site and properties fronting Scale Street which lies immediately adjacent to the site to the east.

6.5 The proposed 1st floor terrace would be located at the rear of no. 48. It would front onto a lightwell and would be enclosed by the existing building to the north and the flank elevation of no. 46 to the south. It would measure 6.5 sq. m and would be accessed from a set of new double doors on the rear elevation. Due to its location on the rear at 1st floor level and the fact that it is mainly screened by the application building itself and the neighbouring building at no. 46, the terrace at this level would not be considered to have a detrimental impact on amenity of neighbouring residents in terms of loss of privacy or overlooking.

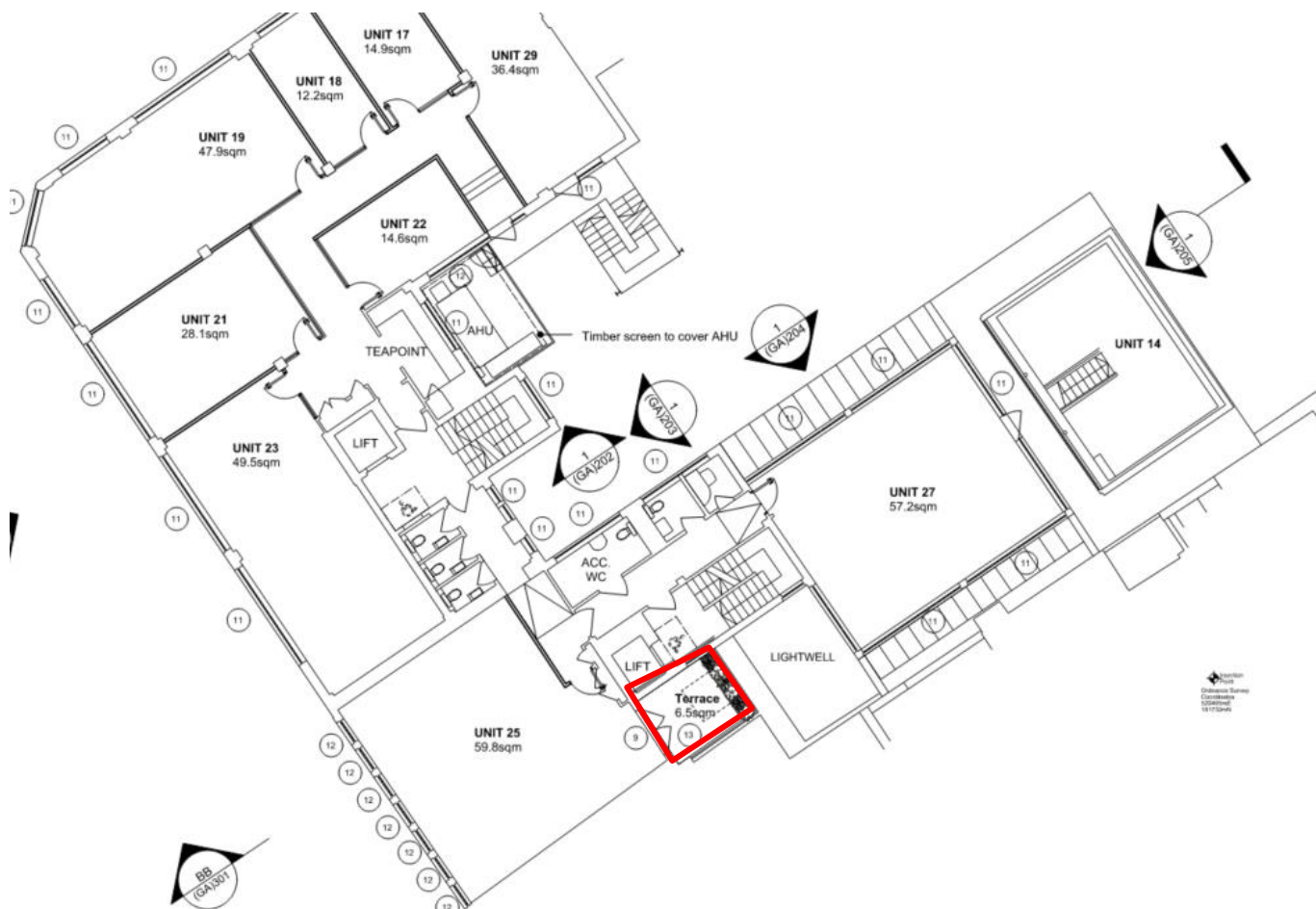


Image 1 (above): Proposed 1st floor plan with the new terrace outlined in red

6.6 The proposed 3rd floor terrace would be located to the rear of no. 48 (see image 2 below). During

the course of the application the size and extent of the terrace has been significantly reduced from 35 sq. m to 7 sq. m. It originally extended over part of the roof of the 3 storey extension at the rear of the main building and was within 7m of the rear elevation of properties fronting Goodge Street and approx. 13m of the rear elevation of no. 16 Scala Street. Following concerns from local residents and the CSA the applicant has revised this part of the proposal to reduce the size and extent of the roof terrace. It would now be confined to the area of the roof to the north of the existing stair enclosure and would measure 7 sq. m. Privacy screens measuring 1.8m would be installed on the north and east of the terrace to ensure there would be no direct overlooking to windows of neighbouring properties. The privacy screens would be timber with frosted polycarbonate panels. A condition would be attached to ensure that the polycarbonate panels would be obscured and that the privacy screens would be installed prior to the use of the 3rd floor roof terrace. A condition would also be attached to ensure that the flat roof of the 3 storey rear extension would only be accessed for maintenance purposes.

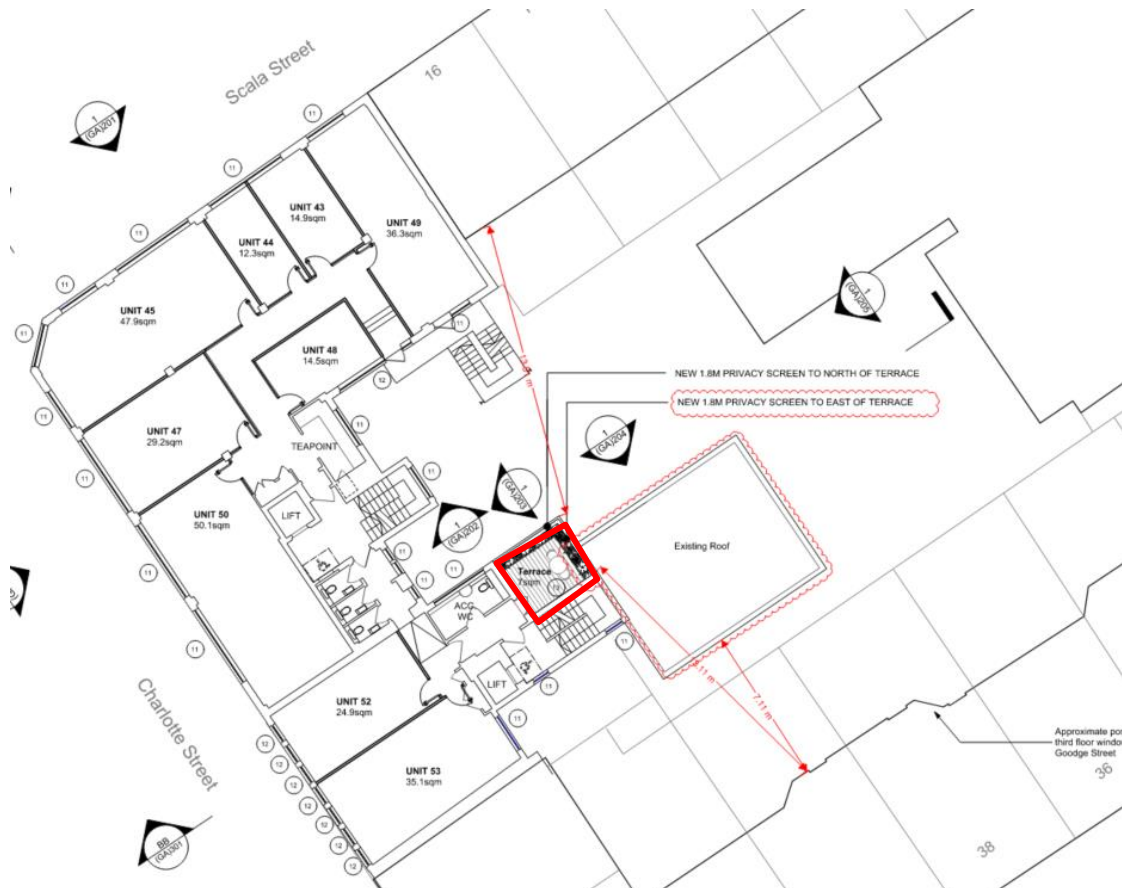
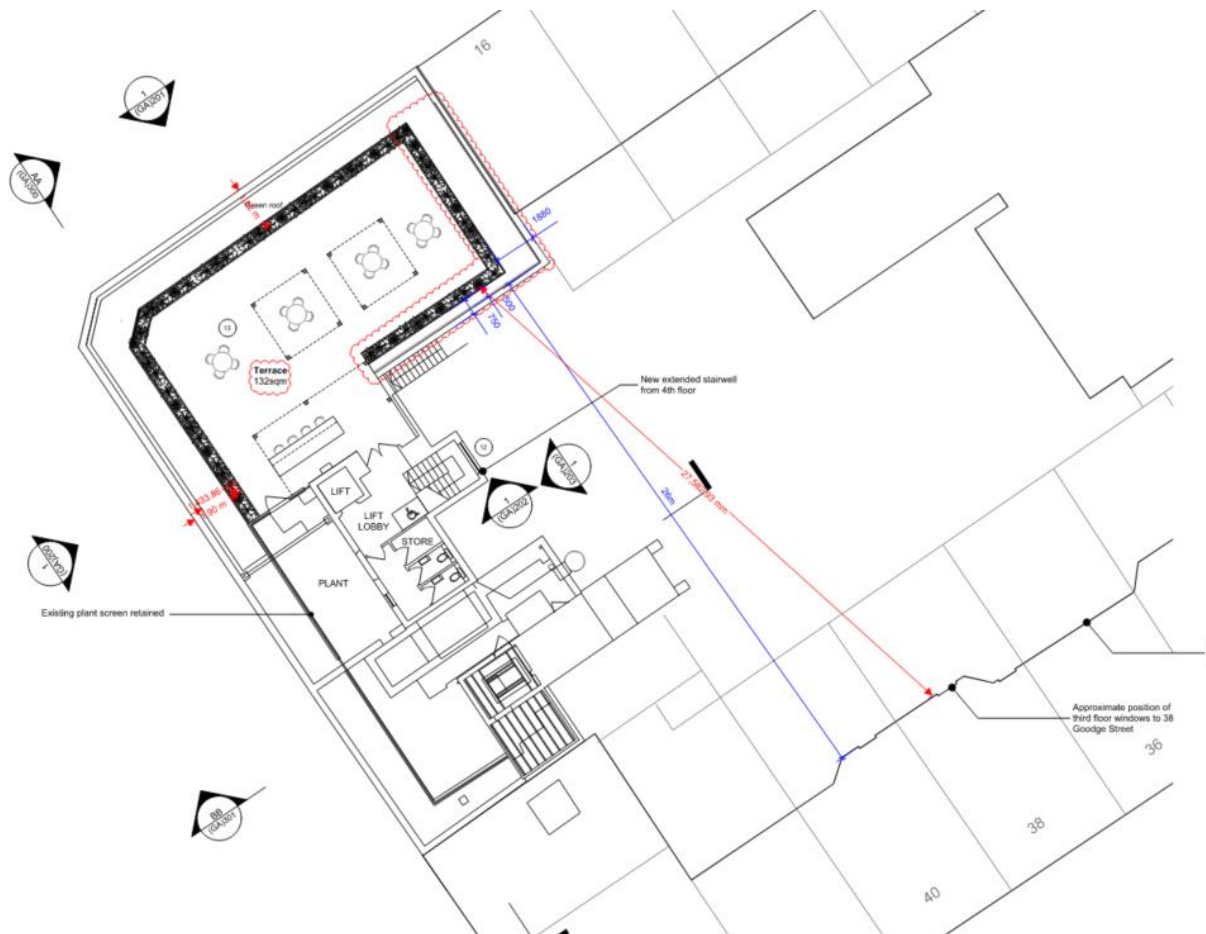


Image 2 (above): Proposed 3rd floor plan with the new terrace outlined in red

6.7 The proposed 5th floor terrace would be located on the north west roof of the building (see image 3 below). It would measure 132 sq. m and would be accessed from the newly extended lift and stair core. It would have a capacity to accommodate 100 people. The terrace would be set away from the sides of parapet that surround the roof: 1.9m from the west elevation fronting Charlotte Street, 1.8m from the north elevation fronting Scala Street, 1.8m from the east elevation adjacent to no. 16 Scala Street and 0.75m from the south elevation. Due to the set back of the roof terrace from the east elevation with no. 16 Scala Street there would be no overlooking into the windows or rear gardens of these properties. There is a separation distance of 27m between the 5th floor roof terrace and the rear windows of properties fronting Goodge Street. This extends beyond the 18m separation distance where no mitigation measures would be required to prevent any overlooking. The neighbouring occupiers on the west side of Charlotte Street would be located approximately 16m from the 5th floor terrace. As it would be set back nearly 2m from the front elevation of the building the relationship between the roof terrace and these properties would be considered satisfactory.

6.8 The proposed works to the external fire escape staircase to install a canopy are required in order to comply with fire regulations. The enclosing of the existing escape stair does not form part of the proposed works.



Noise and disturbance from roof terraces

6.9 The applicant was originally seeking to use the external terraces between the hours of 08:00 and 21:00 hours (Monday to Friday). Concerns have been raised by the CSA and local residents about the use of all the terraces until this time in the evening due to possible excessive cumulative noise and disturbance from staff using the outside space during the latter part of the evening. Taking this into consideration, the hours of use of the terraces would be controlled by restricting their use outside the hours of 08:00 hours to 19:00 hours to prevent disturbance to neighbouring residents. Use of the terrace would be restricted to Monday to Friday (no Saturdays, Sundays or Bank Holidays). This is generally consistent with the hours of use of external terraces that have been granted at neighbouring buildings including 37 Whitfield Street to the rear of the application site (19:00 hours) and no. 60 Charlotte Street (20:00 hours) that lies to the north. A condition would be attached to secure this.

6.10 The operational management plan has been submitted in support of the application. This would include measures to ensure that the noise from the terraces are controlled and that there is a complaint procedure in place should residents be concerned or experience any excessive noise during use by staff. In addition, the Council would require the terrace areas to be vacated and the doors to be closed by 19:00 hours and remain closed until 08:00 hours Monday to Friday. The updated management plan reflects these hours of use and a condition would be attached to ensure that the use of the terraces would be in compliance with the details of the operational management plan. This would be an enforceable document.

6.11 To ensure that any potential noise from the terraces during their use would be minimised any planning permission would be subject to the condition to ensure that no music is played on the roof terraces.

6.12 The proposed plans show that sections of roof outside of the roof terrace would include a green roof. In order to ensure that these sections of the roof would not be used as an external seating area a condition would be attached to secure this.

6.13 Overall it is considered that the size of the roof terraces and the controlled hours of use from 08:00 hours to 19:00 hours would help to minimise any noise or disturbance and would help to ensure that the proposed roof terraces would not have a detrimental impact on neighbouring amenity. In addition, any potential impacts would be successfully mitigated by the operational management plan which includes a complaints procedure should neighbours be disturbed during the course of their use.

6.14 Concerns have been raised by local residents about possible noise from the office space within the existing 2 storey rear extension where a new rooflight would be installed in the roof. The rooflight would measure 4.68 sq. m which would be modestly larger than the size of the window openings in the rear elevation of the building. It is not clear if this rooflight would be openable however given its size it is not considered that there would be significant increased noise generated by the users of the part of the building if the rooflight were to be openable.

Noise and disturbance from plant

6.15 The proposed relocated plant at 1st floor level within the courtyard area would not be considered harmful in terms of noise. The submitted Noise Impact Assessment confirmed that the distance propagation and screening attenuation effects have been incorporated into the calculations and was used to predict the resultant plant noise level at the identified critical residential receptors. The design criteria was based on the background noise levels and the statement concluded that the new plant would be in compliance with the plant noise emissions. The Council's Environmental Health officer has reviewed the submitted information which includes the noise levels from the mechanical plant. It has been confirmed that appropriate noise guidelines have been followed within the report and is satisfied that the submitted acoustic information with specified noise mitigation at the nearest and potentially most affected noise sensitive residential receptors meets the requirements of the Local Plan subject to standard noise conditions being attached. The standard noise conditions would ensure that the proposal meets the requirements of policy A1 and A4.

Lighting

6.16 The proposal would include lighting to the front facades of the building at ground floor level as well lighting for the roof terraces and planters. There are no details of locations, types of lighting particularly within the roof terraces or lux levels of the lighting. A condition would be attached requiring details to be submitted.

Smoking

6.17 There are also concerns about people smoking on the pavement on Scala Street. Given that the building is currently in office use, unlike with restaurant/theatre or pub use, it is considered unlikely that area outside the new entrance on Scala Street would be used as a non-designated smoking area that would attract smokers. The OMP confirms that smoking would be prohibited on the roof terraces. Compliance would be monitored by the building management team.

7.0 TRANSPORT

Cycle parking

7.1 As there would be a modest uplift in floorspace of approximately 5 sq. m the London Plan cycle parking standards would not apply. The proposal would include the creation of cycle parking for 17 cycle spaces. They would be located in the ground floor rear court yard in two tier semi-vertical racks. The provision of the cycle parking would be secured by condition. Showers, lockers and changing rooms would be provided in the basement of the building.

Works affecting the highway

7.2 Railings and planters were proposed as part of the original scheme on Scala Street and the northern part of Charlotte Street; however, these elements of the scheme were removed from the plans as they would reduce the effective footway width below the minimum acceptable level.

7.3 The proposed ramp to the new office entrance would be installed on the corner of Charlotte Street and Scala Street on the private forecourt and would appear not extend into the public footway. It would need to be carefully designed to ensure that it ties into the adjacent footway and would not

present a trip hazard at this location. The entrance to the offices would be set back within the building to enable the ramp to be constructed.

7.4 Permission is also sought to carry out improvements at street level around the site including removal of pavement concrete finishes and installation of new Yorkstone paving and steps along Charlotte Street and Scale Street. The applicant has agreed to enter into a direct payment agreement with the Council's Engineering Implementation Team in respect of the repaving.

Construction management plan (CMP)

7.5 Given the limited external works proposed, it is considered that the development can take place without the need for a Construction Management Plan and associated contribution and bond. A scaffolding licence would be required in order to undertake the window replacement works and brick work restoration and this can be applied for in the usual manner. The adjacent parking bays can be suspended in order for deliveries to take place or for the storage of skips.

8.0 SUSTAINABILITY

8.1 Policy CC2 requires development to be resilient to climate change and should adopt appropriate climate change adaptation measures. This includes the expectation that non-domestic developments over 500 sq. m should achieve "excellent" in BREEAM assessments. It also includes reducing surface water run-off, and reducing the impact of urban overheating.

8.2 It is proposed to install green roofs surrounding the 5th floor roof terrace. No details of the green roof has been provided. A condition would be attached requiring these details to be submitted.

8.3 A sustainability statement has been submitted in support of the proposal. The applicant has confirmed that the building is being taken on a short-term lease and is seeking light-touch works to bring the vacant property back into use as soon as possible. The sustainability statement confirms that only elements which are at the end of their functioning life would be proposed to be replaced. In terms of general improvements, double glazed windows and LED lighting are proposed. The existing heating system (heat pumps) are in good working order and do not need to be replaced, and it will continue to be an all-electric building. Water use would be reduced by the provision of water efficient toilets and restrictors on showers. The building currently has an Energy Performance Certificate (EPC) rating of C and the proposed refurbishment works are targeted to achieve a B rating. All the improvements help further the objectives of policy CC2 which requires all developments to adopt appropriate climate change mitigation measures.

9.0 RECOMMENDATION

9.1 Grant conditional planning permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 6th May 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/4727/P
Contact: Elaine Quigley
Tel: 020 7974 5101
Email: Elaine.Quigley@camden.gov.uk
Date: 16 April 2024

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk

www.camden.gov.uk

Gerald Eve LLP
One Fitzroy
6 Mortimer
London
W1T 3JJ

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

48 Charlotte Street
London
W1T 2NS

Proposal:

External alterations including: creation of roof terraces at first floor, third floor and main roof level; extension of stairwell and lift overrun; replacement windows; alterations to doors and windows at basement and ground floor levels; relocation of air handling unit; and associated external alterations including installation of 3 pergolas on the main roof at 5th floor level.

Drawing Nos: Existing plans:

(EX)099 rev PL1; (EX)100 rev PL1; (EX)101 rev PL1; (EX)102 rev PL1; (EX)103 rev PL1;
(EX)104 rev PL1; (EX)105 ref PL1; (EX)106 rev PL1; (EX)200 rev PL1; (EX)201 rev PL1;
(EX)202 rev PL1; (EX)203 rev PL1; (EX)204 rev PL1; (EX)205 rev PL1; (EX)300 rev PL1;
(EX)301 rev PL1;

Demolition plans:

(DE)099 rev PL1; (DE)100 rev PL2; (DE)101 rev PL1; (DE)102 rev PL2; (DE)103 rev PL1;
(DE)104 rev PL1; (DE)105 rev PL1; (DE)106 rev PL1; (DE)200 rev PL2; 437(DE)201 rev
PL1; 437(DE)202 rev PL1; 437(DE)203 rev PL1; 437(DE)204 rev PL1; 437(DE)205 rev PL1;
437(DE)300 rev PL1; 437(DE)301 rev PL1;

Proposed plans:

437(SP)001 rev PL1; 437(GA)100 rev PL2; 437(GA)102 rev PL2; 437(GA)103 rev PL4;
437(GA)105 rev PL3; 437(GA)106 ref PL2; 437(GA)200 rev PL2; 437(GA)201 rev PL2;
437(GA)202 rev PL2; 437(GA)203 rev PL3; 437(GA)204 rev PL4; 437(GA)205 rev PL3;
437(GA)206 rev PL2; 437(GA)207 rev PL2; 437(GA)300 rev PL2; 437(GA)301 rev PL4;
437(GA)302 rev PL3;

Supporting documents:

Operational Management Plan dated 19/03/2024; Plan Sound Assessment prepared by Peninsular Acoustics dated November 2023; Sustainability Statement prepared by Gerald Eve.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Existing plans:

(EX)099 rev PL1; (EX)100 rev PL1; (EX)101 rev PL1; (EX)102 rev PL1; (EX)103 rev PL1; (EX)104 rev PL1; (EX)105 ref PL1; (EX)106 rev PL1; (EX)200 rev PL1; (EX)201 rev PL1; (EX)202 rev PL1; (EX)203 rev PL1; (EX)204 rev PL1; (EX)205 rev PL1; (EX)300 rev PL1; (EX)301 rev PL1;

Demolition plans:

(DE)099 rev PL1; (DE)100 rev PL2; (DE)101 rev PL1; (DE)102 rev PL2; (DE)103 rev PL1; (DE)104 rev PL1; (DE)105 rev PL1; (DE)106 rev PL1; (DE)200 rev PL2; 437(DE)201 rev PL1; 437(DE)202 rev PL1; 437(DE)203 rev PL1; 437(DE)204 rev PL1; 437(DE)205 rev PL1; 437(DE)300 rev PL1; 437(DE)301 rev PL1;

Proposed plans:

437(SP)001 rev PL1; 437(GA)100 rev PL2; 437(GA)102 rev PL2; 437(GA)103 rev PL4; 437(GA)105 rev PL3; 437(GA)106 ref PL2; 437(GA)200 rev PL2; 437(GA)201 rev PL2; 437(GA)202 rev PL2; 437(GA)203 rev PL3; 437(GA)204 rev PL4; 437(GA)205 rev PL3; 437(GA)206 rev PL2; 437(GA)207 rev PL2; 437(GA)300 rev PL2; 437(GA)301 rev PL4; 437(GA)302 rev PL3;

Supporting documents:

Operational Management Plan dated 19/03/2024; Plan Sound Assessment prepared by Peninsular Acoustics dated November 2023; Sustainability Statement prepared by Gerald Eve.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The 1.8 metre high screens to be erected on the north and east elevations of the roof terrace hereby approved on the roof of the 3 storey rear extension shall include timber screens and obscure glazed polycarbonate panels.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

- 5 The use of the roof as a terrace at 3rd floor level shall not commence until the screens, as shown on the approved drawings, has been constructed. The screens shall be permanently retained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

- 6 The flat roof of the 3 storey rear extension (not shown as a roof terrace on the plans hereby approved) shall be accessed for maintenance purposes only and shall not be used as a roof terrace.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

- 7 The use of the roof terraces hereby permitted shall not be used outside the following times: 08:00 hours to 19:00 hours on Monday to Friday and shall not be used on weekends and bank holidays.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies D1 and A1 of the London Borough of Camden Local Plan 2017.

- 8 No music shall be played on the roof terraces hereby approved.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies D1 and A1 of the London Borough of Camden Local Plan 2017.

- 9 The areas of the roof terraces hereby approved shown as planter areas and green roofs shall not be used as external seating areas and shall be accessed for maintenance purposes only,.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies D1 and A1 of the London Borough of Camden Local Plan 2017.

- 10 The external noise level emitted from plant, machinery or equipment at the development hereby approved shall be lower than the typical existing background noise level by at least 10dBA, or by 15dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with all machinery operating together at maximum capacity.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 11 Before the use commences, the air handling unit shall be provided with anti-vibration measures in accordance with the scheme approved in writing by the local planning authority. All such measures shall thereafter be retained and maintained in accordance with the manufacturers' recommendations.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies A1, A4, and D1 of the London Borough of Camden Local Plan 2017.

- 12 Prior to the relevant part of the works details of the proposed lighting scheme, to include a lux levels plan shall be submitted to and approved in writing by the Local Planning Authority. The approved lighting scheme and mitigation measures should be implemented in accordance with the approved details prior to occupation and retained and maintained as such thereafter.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

- 13 Prior to the first occupation of the building, the cycle storage area for 17 cycles shall be provided in its entirety in accordance with the details shown on the approved plans. The approved facility shall permanently be retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy T1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer