

41 Bedford Square, London (2020/5947/P)



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41 BEDFORD SQUARE (ref 2020/5947/P)

PHOTOS AND PLANS

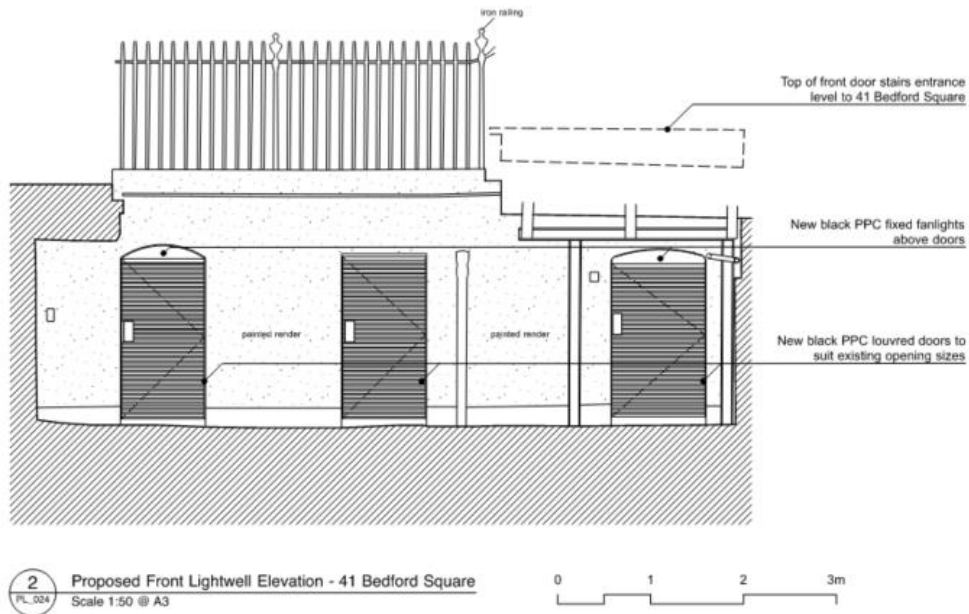
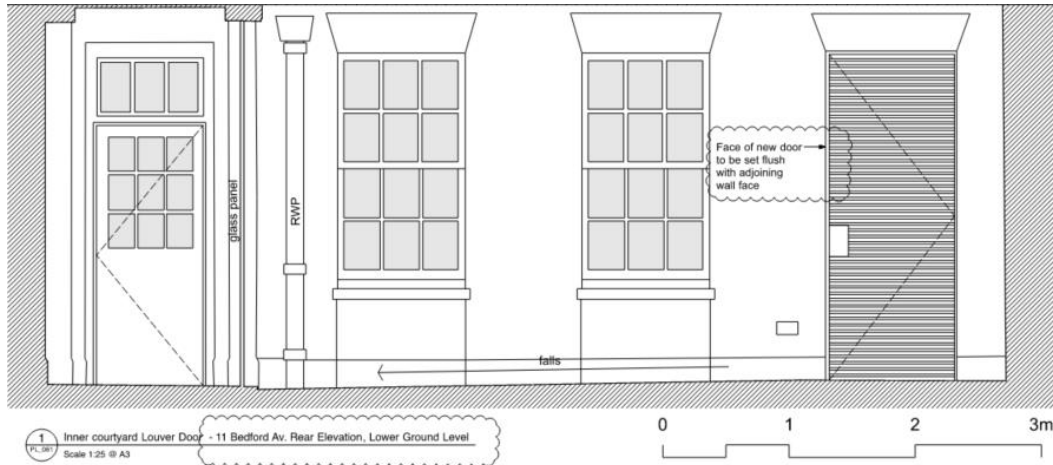


Figure 1 (above): As approved front lightwell elevation showing louvred doors under planning permission ref 2019/3676/P dated 28/11/2019



Louver - As Existing

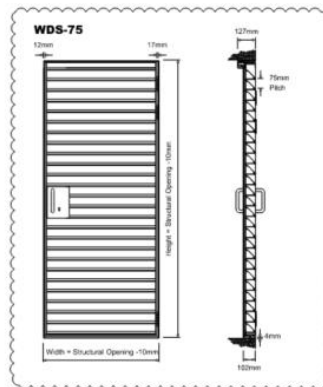


Figure 2 (above): As proposed louvred doors in the front lightwell

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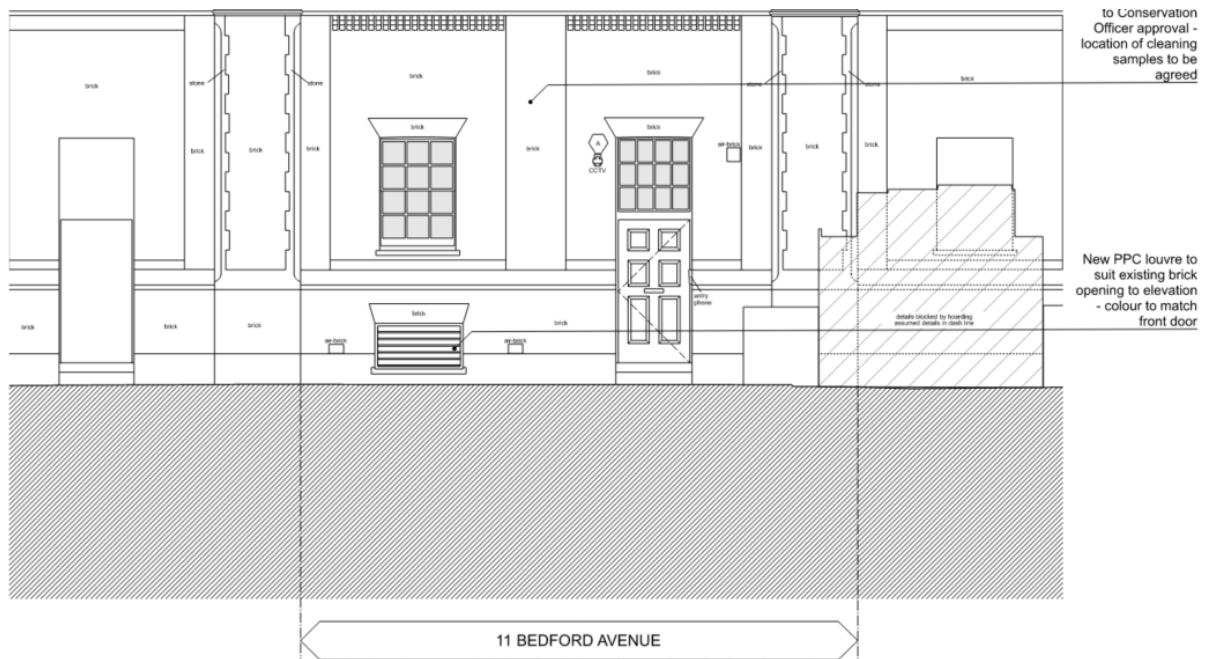


Figure 3 (above): As approved ventilation louvre at lower ground floor level on the mews building at 11 Bedford Avenue under planning permission ref 2019/3676/P dated 28/11/2019

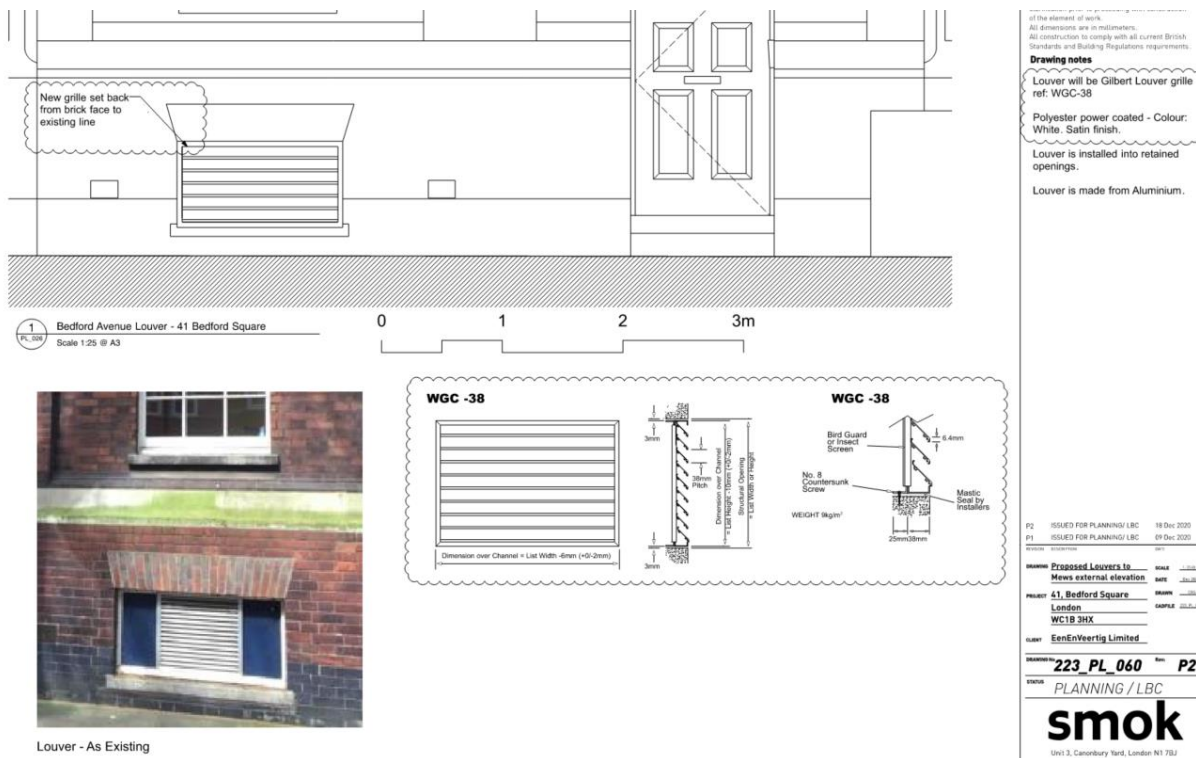


Figure 4 (above): As proposed ventilation louvre at lower ground floor level on the mews building at 11 Bedford Avenue



11 Bedford Avenue

As-built



Louwer - As Existing

Figure 5 (above): Photos showing the original ventilation grill and the 'as built' ventilation grill at lower ground floor level on the front elevation of the mews building at 11 Bedford Avenue (provided by the Bloomsbury Association)

Delegated Report		Analysis sheet		Expiry Date:		16/02/2021	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		20/06/2021	
Officer				Application Number(s)			
Elaine Quigley				2020/5947/P			
Application Address				Drawing Numbers			
41 Bedford Square London WC1B 3HX				See draft decision notice			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Details of ventilation grills and louvre doors (Condition 7) as part of planning permission ref 2019/3676/P dated 28/11/2019 for partial demolition of existing link structure between 11 Bedford Avenue and 41 Bedford Square, installation of new canopy and balustrades, new walk-on rooflight to rear terrace at ground floor level, new plant to front vaults and rear lower ground floor level, removal of internal partitions and ceiling at 11 Bedford Avenue, partitions removal at basement level at 41 Bedford Square, and other internal alterations (RETROSPECTIVE).							
Recommendation(s):		Approval of Details					
Application Type:		Approval of Details					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	No consultation is required for approval of details applications however a site notice was displayed outside the site from 26/05/2021 to 19/06/2021 and a press notice was advertised from 27/05/2021 to 20/06/2021. No responses were received.					
Bloomsbury Association comments:	<p>Bloomsbury Association submitted an objection, outlining the following concerns:</p> <ul style="list-style-type: none"> • Discrepancies in the plans <ol style="list-style-type: none"> 1. The louvred grill proposed in 223_PL_060 rev 2 differs from what has been built. <i>Officer's response: See paragraph 4.1 to 4.2 of the report</i> 2. The louvre grill proposed for Bedford Avenue doesn't comply with condition 3 of 2019/3676/P namely "new PPC louvre to suit existing brick opening to elevation – colour to match front door". The PPC louvre doesn't match the colour of the front door. <i>Officer's response: See paragraph 4.1 to 4.2 of the report</i> 3. Louvre doors on drawing no 223_PL_062 rev P2 are not in accordance with the Plant Noise Report and Technical Specification for air condenser plant. The report states "this would typically only be achieved using a 270-300mm deep acoustic louvre". No acoustic specification was given for the plant room doors on the approved scheme or this one. The doors shown are neither of appropriate dimensions nor appropriate design to achieve the require acoustic performance to mitigate against harmful noise emissions. <i>Officer's response: See paragraph 3.2 to 3.3 of the report</i> 4. Concerned that unauthorised construction is taking place affecting a grade 1 listed building and that applications are being made retrospectively. <i>Officer's response: This approval of details application has been submitted retrospectively</i> 					

Site Description

The application site is located to the south of Bedford Square and comprises a three-storey building with lower ground floor and attic roof accommodation at the front of the site and a two storey mews building to the rear which fronts onto Bedford Avenue. The building is occupied as a single family dwelling.

The building is Grade I listed and forms part of a terrace of 15 Grade I listed buildings that form the south side of the central square. The site lies within the Bloomsbury Conservation Area. It is also located within the Fitzrovia Area Action Plan and the Central London area.

Relevant History

Planning permission was **granted** on 28/11/2019 (ref 2019/3676/P) for partial demolition of existing link structure between 11 Bedford Avenue and 41 Bedford Square, installation of new canopy and balustrades, new walk-on rooflight to rear terrace at ground floor level, new plant to front vaults and rear lower ground floor level, removal of internal partitions and ceiling at 11 Bedford Avenue, partitions removal at basement level at 41 Bedford Square, and other internal alterations.

Conditions attached to 2019/3676/P

Approval of details was **granted** on 07/08/2020 (ref 2020/0881/P) for details and materials of link building required by Condition 4 of planning permission 2019/3676/P dated 28/11/2019 for partial demolition of existing link structure between 11 Bedford Avenue and 41 Bedford Square, installation of new canopy and balustrades, new walk-on rooflight to rear terrace at ground floor level, new plant to front vaults and rear lower ground floor level, removal of internal partitions and ceiling at 11 Bedford Avenue, partitions removal at basement level at 41 Bedford Square, and other internal alterations.

Approval of details was **granted** on 07/08/2020 (ref 2020/0883/P) for details of living green wall required by condition 5 of planning permission 2019/3676/P dated 28/11/2019 for partial demolition of existing link structure between 11 Bedford Avenue and 41 Bedford Square, installation of new canopy and balustrades, new walk-on rooflight to rear terrace at ground floor level, new plant to front vaults and rear lower ground floor level, removal of internal partitions and ceiling at 11 Bedford Avenue, partitions removal at basement level at 41 Bedford Square, and other internal alterations.

Relevant policies

National Planning Policy Framework (NPPF) (2023)

The London Plan 2021

Camden Local Plan 2017

A1 Managing the impact of development

A4 Noise and vibration

D1 Design

D2 Heritage

Camden Supplementary Planning Guidance

CPG Amenity (2021)

CPG Design (2021)

Bloomsbury Conservation Area Appraisal and Management Plan (2011)

Draft Camden Local Plan

The Council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications which has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1.0 PROPOSAL

1.1 Permission was granted on 28/11/2019 for alterations to the front elevation of the mews building fronting Bedford Avenue (ref 2019/3676/P). This included a replacement louvre grille in the front elevation of the Bedford Place mews building. A condition was attached requiring details of ventilation grilles and louvre doors (Condition 7) as part of this planning permission.

1.2 The condition reads:

Before the relevant part of the work is begun, detailed drawings in respect of the new ventilation grilles and louvers, shall be submitted to and approved in writing by the local planning authority. Details should accord with specifications of Acoustics Plant Noise Report (ref: A1480/R01 17/07/19). The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and amenity of the neighbouring occupiers in accordance with the requirements of policies A1, A4, D1 and D2 of the London Borough of Camden Local Plan 2017.

2.0 ASSESSMENT

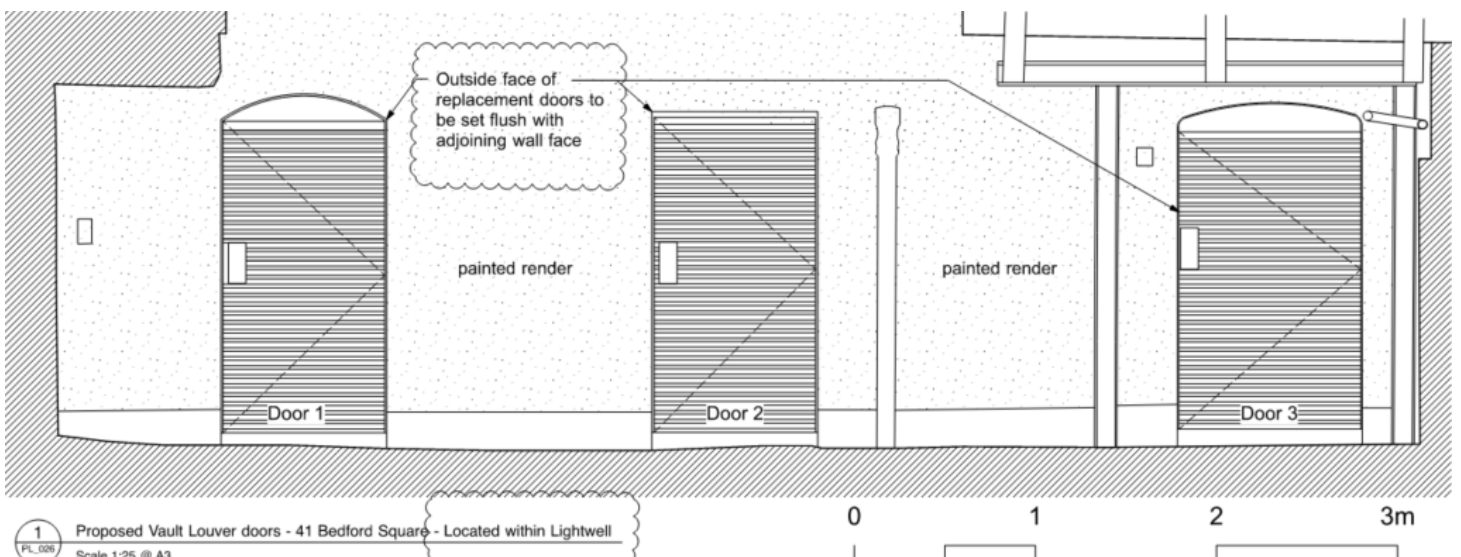
2.1 The main material planning considerations in the determination of this application are considered to be:

- Amenity
- Other issues (design)

3.0 AMENITY

3.1 Local Plan Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact for development is fully considered and by only granting permission for development that would not harm the amenity of the neighbouring residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes as well as impacts caused by the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacted by virtue of noise or vibrations.

3.2 The original permission included replacement of plant equipment and louvres to the front vaults. A noise report was submitted in support of the original permission. In paragraph 7.1 of the plant noise report and technical specification for air-condenser plant the report states "*The sound reduction index requirements for the louvre are set out in Table 5 installed. This would typically only be achieved using a 270-300mm deep acoustic louvre (for example 270mm louvre by EEC Ltd. Is used in the calculations*". The proposed plans include a section of the louvre doors which shows acoustic louvre door of 102mm in width. This would not meet the requirements detailed by the acoustic consultant in the plant noise report. The Bloomsbury Society has raised this in their objection to the application.



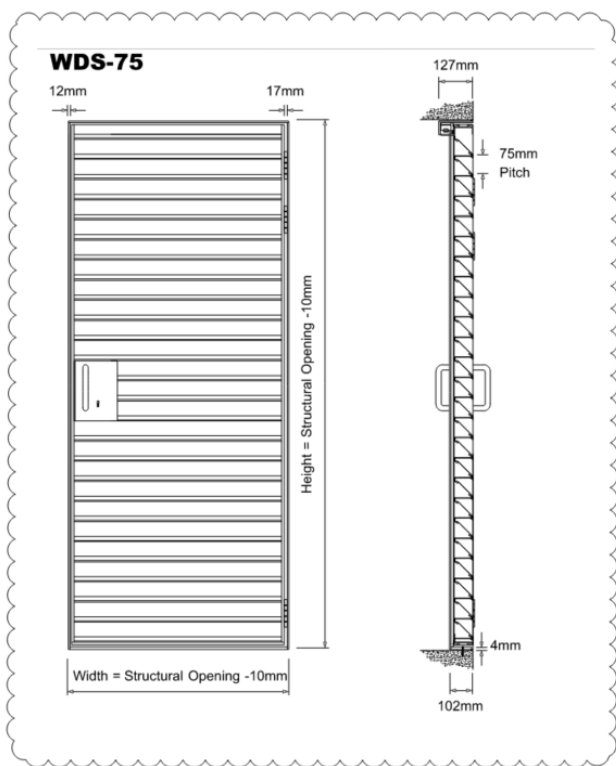


Figure 4 (as above): Proposed elevation and section of the lower ground floor vault louvre door

3.3 The proposal has been reviewed by the Council's Environmental Health officer who has confirmed that the mitigation measures comply to the design criteria set out within the acoustics plant noise report (ref: A1480/R01 17/07/19). It has also been confirmed that there have been no noise complaints logged with the Council since the installation of the units. A condition has been attached to the original permission to control the noise levels of the external building services and fixed plant to ensure that it meets the Council's minimum noise standards (condition 6). Should noise from the plant exceed the Council's minimum noise standards there would be a breach of this condition which could then be investigated by the Council's Enforcement Team. In light of the above, the information is considered satisfactory, and the condition can be discharged.

4.0 OTHER ISSUES:

4.1 It is noted that there are discrepancies between the approved, and proposed plans and what has been installed on site. This relates to the ventilation grill at lower ground floor level on the front elevation of the mews building.

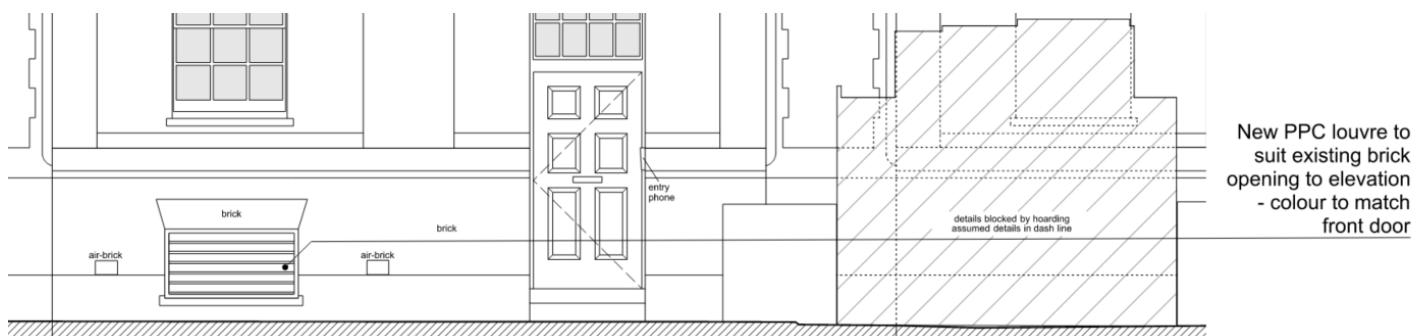


Figure 1 (as above): Front elevation of Bedford Avenue showing the ventilation grill as approved in 2019/3676/P.

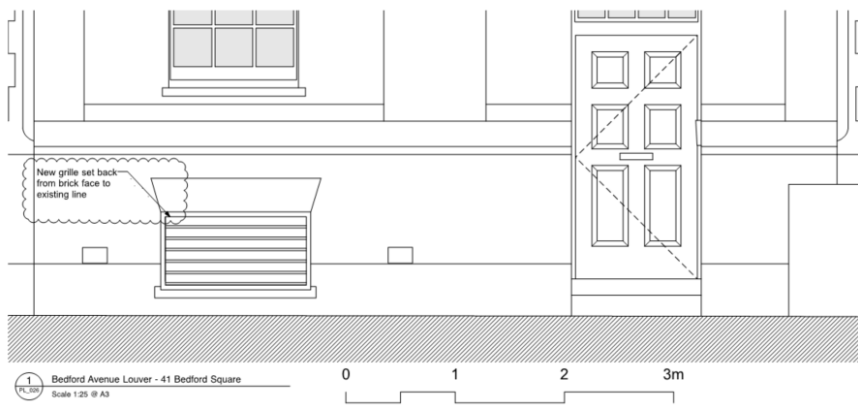


Figure 2 (as above): Proposed plan



11 Bedford Avenue

Figure 3 (as above): Photo of the ventilation grill as installed

4.2 The Bloomsbury Association is concerned that the ventilation grill would not match the design illustrated in the approved plans and does not match the colour of the front door which was annotated on the approved plan and therefore doesn't comply with Condition 3 of planning permission 2019/3676/P that all materials should match the existing. The proposed plan does not reflect what has been installed on site as the louvre includes more grills has been installed. In terms of the design there is no objection to the louvres which appear to be broadly in keeping with the approved plans. Although black would have been preferable in terms of colour it must be noted that the previous louvre that was in place was white in colour and the installed louvre is also white as well as the fenestration above. The Council's conservation officer has reviewed the information and is satisfied with the details.

5.0 RECOMMENDATION

5.1 Approve the details and discharge condition 7

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 6th May 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2020/5947/P
Contact: Elaine Quigley
Tel: 020 7974 5101
Email: Elaine.Quigley@camden.gov.uk
Date: 26 April 2024

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Assembly Associates Ltd
5 Blenheim Street
London
W1S 1LD

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Approval of Details Granted

Address:
41 Bedford Square
London
WC1B 3HX

DECISION

Proposal:

Details of ventilation grilles and louvre doors (Condition 7) as part of planning permission ref 2019/3676/P dated 28/11/2019 for partial demolition of existing link structure between 11 Bedford Avenue and 41 Bedford Square, installation of new canopy and balustrades, new walk-on rooflight to rear terrace at ground floor level, new plant to front vaults and rear lower ground floor level, removal of internal partitions and ceiling at 11 Bedford Avenue, partitions removal at basement level at 41 Bedford Square, and other internal alterations.
Drawing Nos: 223_PL_060 rev P2; 223_PL_061 rev P2; 223_PL_062 rev P2.

The Council has considered your application and decided to grant permission.

Informative(s):

- 1 You are advised that all conditions relating to planning permission granted on 28/11/2019 (ref 2019/3676/P) which need details to be submitted, have been approved.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DRAFT

DECISION