

24 April 2024

Planning – Development Control
London Borough of Camden
Camden Town Hall
London
WC1H 8ND

Dear Sir/Madam

**TOWN AND COUNTRY PLANNING ACT 1990:
APPLICATION FOR PLANNING PERMISSION
AT: 22 HANDYSIDE STREET, LONDON N1C 4DN**

On behalf of Google UK Ltd, I hereby submit an application for planning permission for the following works:

Installation of supplementary roof plant in new enclosure

at: *Google X1, 22 Handyside Street, London N1C 4DN*

The application is made online and is accompanied by this cover letter and the following documents:

- site location plan
- existing and proposed drawings (see schedule below)
- Design note: new roof plant (Chapmanbdsp, 25 March 2024)
- Noise Impact Assessment (Sandy Brown, 4 April 2024)

The site

The site comprises Plot Q1 of the Kings Cross Central redevelopment, with York Way to the east, Harrier Street to the west, and fronting Handyside Street to the south. The site is occupied by a three-storey building for office use with some separate commercial uses at ground floor. To the north is Kings Cross construction skills centre. Building R7 to the west is G+11-storey office building, with Building R8, a mixed office/residential building to the north of that. To the south, 7 Handyside Street is a low-rise commercial building with an adjoining service yard, a pocket park and Arthouse, a G+6-storey housing scheme. The area to the east of York Way is predominantly residential.

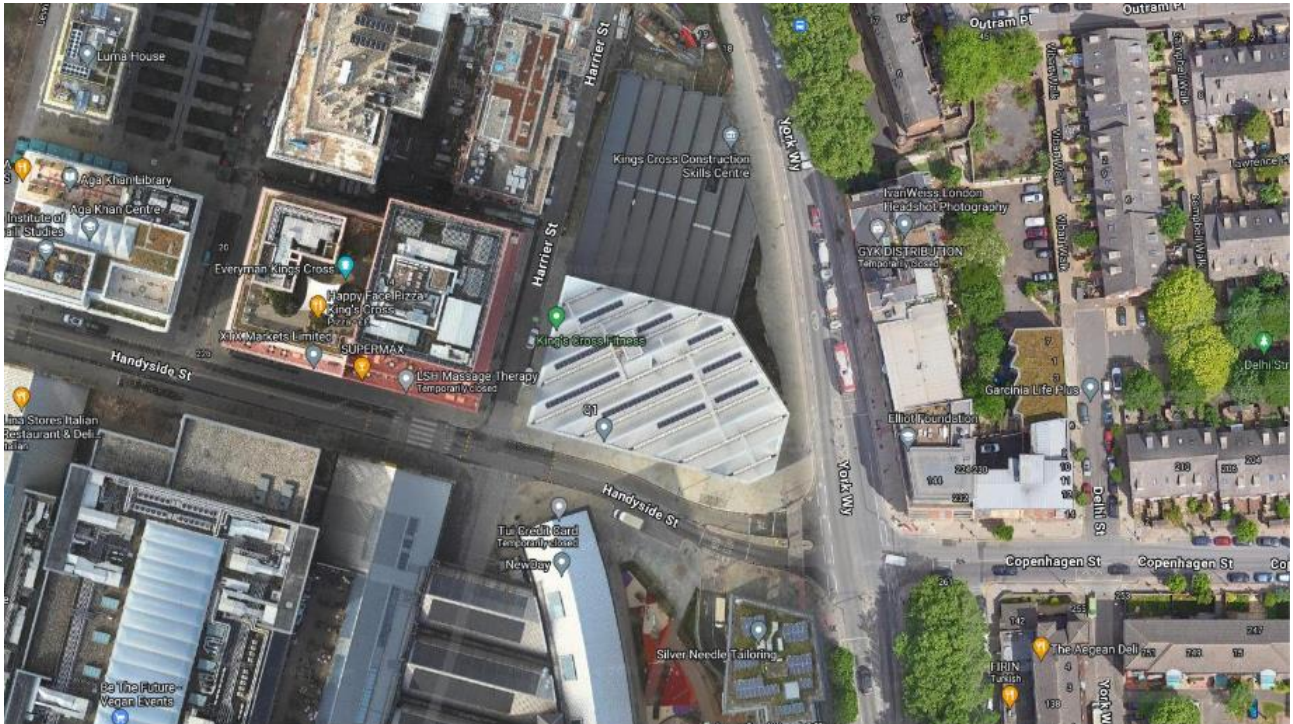


Fig 1: Aerial view of building Q1 and context (source Google Maps)



Fig 2: View of building Q1 from the pocket park to the south (source Streetview)

Planning history

Outline planning permission for the King's Cross Central redevelopment was granted in December 2006 (LB Camden ref: 2004/2307/P), with reserved matters for Building Q1 approved in March 2018 (LBC ref: 2017/7040/P). Conditions were subsequently discharged, including external materials (2019/5791/P, February 2020).

Current proposal

As shown on the aerial view in Fig 1 above, the roof of the building is formed of a skewed pitched roof with multiple gable ends on each elevation. PV panels occupy most of the southerly-orientated roof pitches, and one of the roof valleys in between contains the existing plant enclosure.

To meet Google's operating requirements for some cellular offices and meeting rooms at 1F and 2F level, additional VRF plant is required to supplement existing air conditioning services. This is to be housed in a new plant enclosure adjoining the existing one.

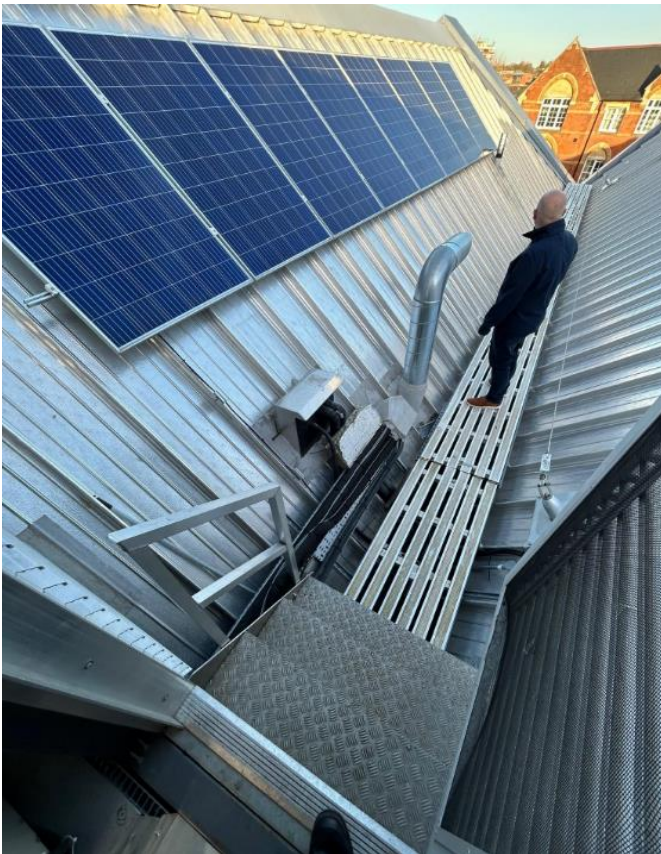


Fig 3: view of proposed new plant enclosure location, from existing enclosure

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The PV panels displaced for the new plant enclosure will be re-located to another part of the roof, as indicated on the submitted drawings.

Planning merits – design

The proposed plant enclosure will replicate the existing one in terms of size and external materials (metal grill).

Given the roof configuration described above, the existing plant enclosure is not visible in the street scene – either from Handyside Street or from further up York Way where the building is afforded slightly longer-distant views – see Figure 4.



Figure 4: View from York Way

The proposed additional plant enclosure will not be visible either.

The relocated PVs appear in the southern elevation but would not be visible from the public realm – see Figure 2 above.

Planning merits – noise

The application is accompanied by a Noise Impact Assessment prepared by Sandy Brown (April 2024). This describes the environmental noise survey that was undertaken to establish existing background sound levels in the vicinity of nearby noise-sensitive premises – namely Building R8 to the north west. Arthouse to the south is some 65m from the plant location and not included in the assessment.

Camden Local Plan (2017) Policy A4 requires development to meet certain noise and vibration thresholds set out in Appendix 3 to the plan, and will only grant permission for noise generating development, including plant and machinery, if it can be operated without causing harm to amenity. This equates to a LOAEL (Lowest Observed Adverse Effect Level) and is defined as being 10dB below background levels, with no events exceeding 57dB_{L_{Amax}}.

The measured noise levels were found to be 51dB _{L_{A90,15min}} during the day and 47dB _{L_{A90,15min}} at night. This results in plant specification to achieve 41dB and 37dB at the worst affected windows in Building R8 accordingly.

The Sandy Brown assessment shows that the proposed plant will comply with these noise limits without attenuation – and the requirements of CLP Policy A4 are met.

Planning merits – energy

The application is accompanied by a design note from Chapmanbdsp which describes the new supplementary roof plant. It is noted that the new enclosure will require relocating some of the existing PV panels, but there will be no change in the number of panels and their contribution to the building's energy strategy will remain the same. The location of the relocated panels is shown on the submitted drawings.

Drawings

The following drawings are submitted with the application:

<i>Drawing description</i>	<i>Drawing no</i>
<i>Extant drawings (for information)</i>	
Roof plan (approved under 2017/7040/P)	KXC-Q1-001-P-1046-20-103
South elevation	KXC-Q1-001-P-1046-20-301
East elevation	KXC-Q1-001-P-1046-20-302

North elevation	KXC-Q1-001-P-1046-20-303
West elevation	KXC-Q1-001-P-1046-20-304
Section AA	KXC-Q1-001-P-1046-20-201
Roof Plant Enclosure (details approved under 2019/5791/P)	KXC-Q1-03-001-A-STL-31-44000 P34
<i>Proposed drawings (for approval)</i>	
Roof plan	UKLONX1P2-TPB-XX-R1-DR-I-04101-S2-P01
Roof and plant section	UKLONX1P2-TPB-XX-ZZ-DR-I-04201-S2-P01
Elevations Sheet 1/2	UKLONX1P2-TPB-XX-ZZ-DR-I-04301-S2-P01
Elevations Sheet 2/2	UKLONX1P2-TPB-XX-ZZ-DR-I-04302-S2-P01

The following drawings are provided for information:

- Indicative plant enclosure layout (61968-CBD-RF-XX-DR-M-1000)
- New plant enclosure sketch (Sketch 01, undated)

Conclusion

The application proposes supplementary plant to meet the requirements of the office occupier to be housed in a new enclosure adjoining the existing one. The new enclosure will match the existing one in terms of design, and, given the roof configuration, will be invisible from the streetscene. There will be no noise impacts and there is no impact on the building's energy performance.

On this basis I consider that the grant of planning permission to be uncontroversial and look forward to receiving confirmation of validation of the application in due course.

Yours faithfully,

Mike Ibbott
Consultant
for **tp bennett**