



Fire Risk Assessments Limited
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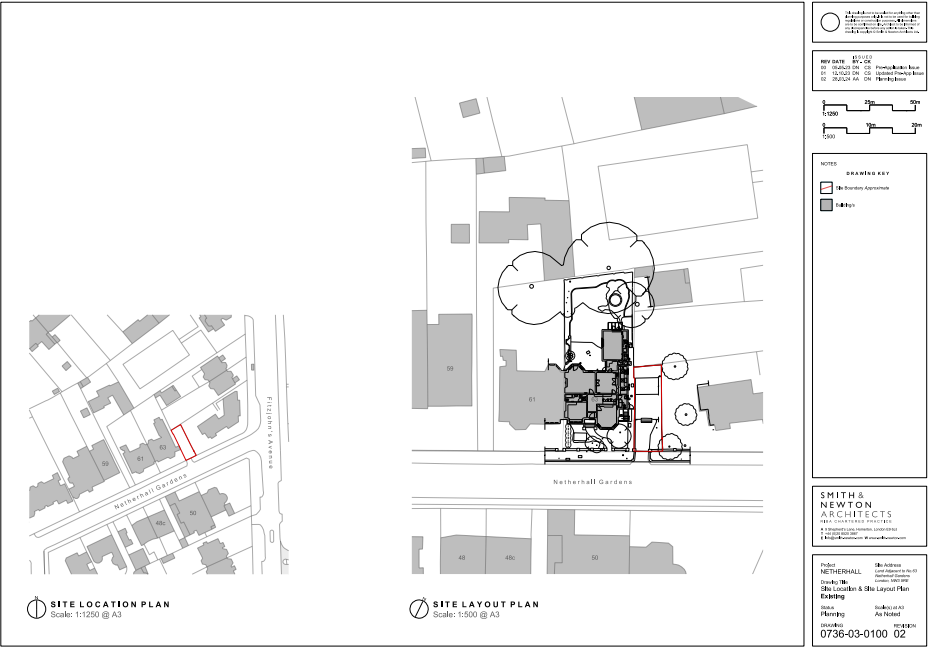
Fire statement form

Application information	
1. Site address line 1	Land Adjacent to 63 Netherhall Gardens
Site address line 2	
Site address line 3	
Town	London
County	
Site postcode (optional)	NW3 5RE
2. Description of proposed development including any change of use (as stated on the application form):	A new build development comprising a single self-contained detached dwellinghouse arranged over basement, ground and 1 st floor levels.
3. Name of person completing the fire statement (as section 15.), relevant qualifications and experience.	Anthony Jones Bsc Fire Safety Engineering. W07 Fire Risk Assessment in complex buildings. 20 + years within the fire safety and protection industry including carrying out fire risk assessments, type 1 – 4, fire strategies, evacuation plans, fire protection design and verifications.

<p>4. State what, if any, consultation has been undertaken on issues relating to the fire safety of the development; and what account has been taken of this.</p>	<p>The statement has been compiled from the drawings and information provided by Alejandro Abreu.</p> <p>There has been no information provided on any consultation that has been undertaken on issues relating to the fire safety of the development.</p>
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5. Site layout plan with block numbering as per building schedule referred to in 6.
(consistent with other plans drawings and information submitted in connection with the application)

Site layout plan



The principles, concepts and approach relating to fire safety that have been applied to the development
Where instructed to do so you must select one of the options in the relevant section of the Table at the end of this Form.

6. Building schedule

Site information				Building information			Resident safety information		
a) block no. as per site layout plan above	b) • block height (m) • number of storeys excluding those below ground level • number of storeys including those below ground level	c) proposed use (one per line). Your answers must be selected from the options in section 6cA) of the Table	d) location of use within block by storey	e) standards relating to fire safety/ approach applied. Your answers must be selected from the options in section 6eA) of the Table	f) balconies Your answer must be selected from the options in section 6fA) of the Table	g) external wall systems Your answer must be selected from the options in section 6gA) of the Table	h) approach to evacuation Your answer must be selected from the options in section 6hA) of the Table	i) automatic suppression Your answer must be selected from the options in section 6iA) of the Table	j) accessible housing provided Your answer must be selected from the options in section 6jA) of the Table
Land adjacent to no 63.	<ul style="list-style-type: none"> • Approx 7m. • 2 • 3 	Residential	Basement – Home office, gym, shower room. Ground floor – Open plan living / dining / kitchen. Commercial. 1 st floor – 2 x bedrooms.	Approved document B – vol 1.	No balconies.	Class A2-s1, d0 or better.	Simultaneous	Yes- residential sprinklers, partial.	None

7. Specific technical complexities

Explain any specific technical complexities in terms of fire safety (for example green walls) and/or departures from information in building schedule above.

There are no technical complexities with the proposed drawings referenced for this statement.

8. Issues which might affect the fire safety of the development

Explain how any issues which might affect the fire safety of the development have been addressed.

Due to open plan design of the ground floor and a lack of protected / enclosed escape route a suppression system in accordance with either BS 9251 2014 (Sprinkler Systems for Residential and Domestic Occupancies – Code Of Practice) or BS 8458:2015 (Fixed fire protection systems. Residential and domestic watermist systems. Code of practice for design and installation) will be required to be installed within the ground floor. If a sprinkler system is installed this will have to be connected to a fire alarm system via a flow switch, watermist systems are stand alone.

Means of escape.

From the ground floor there is one means of escape via the main entrance / exit door terminating onto Netherhall Gardens with an alternative means of escape from the rear of the ground floor leading to the rear garden.

From the upper floor of the there is one means of escape available being via the staircase down to ground floor level and the means of escape available from this level.

From the basement there is one means of escape available being via the staircase up to ground floor level and the means of escape available from this level.

All doors opening on to the escape route are required to be FD30.

Manually openable window is available on the staircase on the 1st floor level. This can be used to vent out smoke in the event of fire.

A full fire strategy will be required to be carried out prior to the commencement of any construction work.

9. Local development document policies relating to fire safety

Explain how any policies relating to fire safety in relevant local development documents have been taken into account.

The author of this statement was not issued with any relevant local development documents to be taken into account within this statement regarding fire safety issues.

Emergency road vehicle access and water supplies for firefighting purposes

10. Fire service site plan

Explanation of fire service site plan(s) provided in 14. including what guidance documents have informed the proposed arrangements for fire service access and facilities?

The fire service plan is required to include the guidance within section 14, this should be followed, confirmed and incorporated by the design team. The fire service will access the residential aspect of the building from the main entrance / exit on Netherhall Gardens and for the commercial aspect from the main entrance on Netherhall Gardens.

Local authority hydrants are available on both Netherhall Gardens and within the 90m requirement.

11. Emergency road vehicle access

Specify emergency road vehicle access to the site entrances indicated on the site plan.

Access to the premises will be from Netherhall Gardens.

Is the emergency vehicle tracking route within the site to the siting points for appliances clear and unobstructed?

Yes

12. Siting of fire appliances

A fire alarm system in accordance with BS5839-6 category L1 is required to be installed within the dwelling with smoke detection to be installed in the all habitable rooms and circulation spaces. Heat alarm to be installed in kitchen area. The smoke and/or heat alarms should be mains-operated and conform to BS 5839-6:2019+A1:2020, Fire detection and fire alarm devices for dwelling houses, Part 2 specification for heat alarms, respectively.

The Smoke alarm unit is to be fitted a minimum of 300mm away from light fittings and walls, as well as the sensor within in ceiling-mounted devices being between 25mm and 600mm below the ceiling (25mm – 150mm in the case of heat detectors or heat alarms).

Alarms must be connected to a separately fused mains electricity supply with a transformer (if needed) and where more than one unit is fitted within a dwelling they must be interconnected. The installation must comply with the current IEE regulations.

A full fire strategy will be required to be carried out prior to the commencement of any construction works.

13. Suitability of water supply for the scale of development proposed

There was no information provided on the suitability of the water supply for scale of the development this should be confirmed by the design team.

Nature of water supply:

Hydrant- public

Does the proposed development rely on existing hydrants and if so are they currently usable / operable?

yes

no

don't know

14. Fire service site plan

Fire service site plan is:

The nearest Fire Station is West Hampstead Fire Station, 327B W End Ln, London NW6 1RS. Assuming the simple example that an initial response would be from that fire station, then fire vehicles will be able to approach the site via Netherhall Gardens.

Fire personnel can access the premises from the main entrances on Netherhall Gardens.

The vehicles can park on Netherhall Gardens.

The existing road route to the building is unchanged by this building project.

No height, width or speed limiting road features are known to the immediate approach roads or to Netherhall Gardens. These should be minded and considered by the design team and detailed as applicable in subsequent fire strategy reports.

Parking and any turning facility will be planned for within LFB Guidance Note 29 (October 2019 edition). Vehicle tracking plan to be provided as part of subsequent fire strategy reports.

Pump appliance access should be provided to within 18m of each fire main inlet connection point on the face of the building and be visible from the appliance in accordance with BS 9990.

Fire appliances should not be required to reverse more than 20m in accordance with Approved Document B.

Fire hydrants should be identified within 90m distance from the entrance to the premises.

Reference to the National Guidance on the Provision of Water for Firefighting (3rd Edition 2007) should be made in subsequent fire strategy reports. The pressure and flow in the existing water main are sufficient for expected Fire Service operations is to be confirmed.

*A full fire strategy for the premises will be required to be carried out detailing all relevant information. This should be completed on acceptance from planning and prior to any construction works taking place.



Fire statement completed by	
15. Signature	<div></div> <div>Fire Risk Assessments Limited Saxon House - Stephenson Way Crawley - West Sussex - RH10 1TN T: 020 3668 0514 E: enquiries@firera.co.uk W: www.firera.co.uk</div>
16. Date	09.04.24

Table for completion of Box 6.

6cA. proposed use		
Choose one of the following per line in Box 6		
residential flats, maisonettes, studios	hotel	hospital
residential houses	shop	school
residential bedsits, cluster flats	restaurant, café, hot food take-away, drinking establishment	community use, childcare (not school)
supported accommodation	office, research and development	prison, detention centre
student accommodation	industrial, storage or distribution	car parking
serviced apartments	care home	service area
other residential accommodation	health care	flexible use
6eA. standards relating to fire safety/ approach applied (including to external wall systems)		
Choose one of the following		
approved document B vol 1	BS9999	HTM0502
BS9991	fire engineered approach	BS7974
approved document B vol 2	BB100	
6fA. balconies		
Choose one of the following		
no balconies	class A2- s1, d0 or better	worse than class A2-s1,d0
6gA. external wall systems		
Choose one of the following		
class A2-s1, d0 or better	worse than class A2-s1,d0	
6hA. approach to evacuation		

Choose one of the following		
simultaneous	staged	progressive horizontal
phased	stay put	delayed
6iA. automatic suppression		
Choose one of the following		
yes- residential sprinklers, units 2 & 4.	yes- commercial sprinklers, full	yes- other
yes- residential sprinklers, partial	yes- commercial sprinklers, partial	No – not required
6jA. accessible housing provided		
Choose one of the following		
none	M4(2) & M4(3)	N/A non resi
M4(2)	M4(3)	