

Design and Access Statement
Including Photographic Survey

Planning Consent for:

23a Hampstead Lane, London, N6 4RT

Prepared by Easton Design Office
November 2023

Revision B – April 2024



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1.0 Introduction:

- 1.1 This statement has been prepared to accompany the full planning application for 23a Hampstead Lane, London, N6 4RT.
- 1.2 The property is not listed but lies within the Highgate Village Conservation Area.
- 1.3 The application seeks to partially demolish the existing basement wall to extend the rear ground floor in order to accommodate a larger dining/living area.
- 1.4 It also seeks to partially remove the existing retaining garden wall.

2.0 Site Location and Surrounding Context

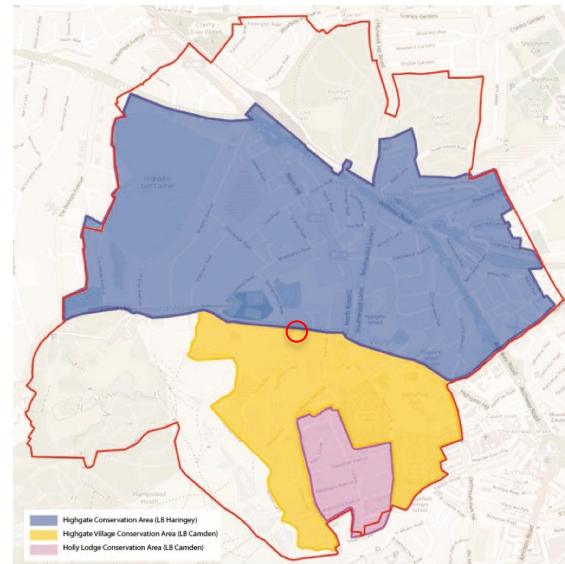
- 2.1 23a Hampstead Lane is part of a Victorian villa terrace.
- 2.2 The property is a self-contained flat at basement level, consisting of a kitchen, living, bathroom and two bedrooms.
- 2.3 The rear patio area is owned by the applicant. The garden is also partial shared, the applicant also owns the nearest half of the rear garden. Access to both the patio and garden can be achieved from rear doors at basement level. The garden is large and contained by fences.
- 2.4 Hampstead Lane is a two-way, residential street with some parking on both sides.



Map of area



Aerial View of street



Extract from The Camden, Haringey and Holly Lodge Conservation Areas

<p>3.0 Heritage Report.</p> <p>3.1 The following are relevant extracts from Highgate Conservation Area Appraisal and Management proposal.</p> <p>3.2 Hampstead Lane runs west from the High Street towards Kenwood House and Hampstead. The road slopes downhill towards the west and forms the borough boundary with Haringey. As such, only the south side of the road is in the Conservation Area. There is a range of mid to late 19th century houses, and some 20th century infill. Although there is variety in the detail and materials, the overall character is determined by the scale and relationship of the buildings to each other and to the road.</p> <p>3.3 “Nos 23, 25, 27 & 29 form a short, symmetrical terrace of four villas, their rendered finish mainly painted white. The end properties, Nos 23 and 29, project forward, with moulded cornices and string courses, three round headed windows in the upper storeys and projecting square headed porticoed entrance doors”.</p> <p>4.0 Relevant Planning Policies</p> <p>4.1 This section sets out planning policy relevant to the proposals and provides an assessment of material planning considerations relevant to the scheme.</p> <p>4.2 National Planning Policy Framework 2023</p> <p>4.3 The London Plan 2021 Design Policy D3 Optimizing site capacity through the design-led approach Policy D4 Delivering good design Policy D6 Housing quality and standards Housing Policy H9 Ensuring the best use of stock</p> <p>4.4 Camden Local Plan 2017 A1 Managing the impact of development A2 Open space D1 Design D2 Heritage</p> <p>4.5 Highgate Neighbourhood Plan 2017 DH1 Design DH2 Conservation areas DH4 Side Extensions OS1 Major Open Spaces</p> <p>4.6 Camden Planning Guidance CPG Design CPG Amenity</p> <p>4.7 Highgate Neighbourhood Plan: A Plan for Highgate Adopted 2017 Core Objective 5: Development and Heritage: <i>To preserve and enhance Highgate’s unique character.</i> Policy DH2: Development Proposals in Highgate’s Conservation Areas Policy DH3: Rear Extensions</p>	<p>4.8 <i>Rear extensions on residential properties should be subordinate in scale to the original dwelling,</i></p> <p>The proposed extension is subordinate in scale at less than a third of the deep of the original main house. The proposals are modest in scale, at 4.2m deep with the inclusion of a courtyard garden to the centre of the plan, referencing the historic use of lightwells to basement developments within the locale, whilst ensuring suitable daylighting and ventilation levels to adjacent accommodation.</p> <p>It should be noted within the delegated report for the neighbouring application at no25 their extension was deemed subordinate in nature and has a much deeper plan.</p> <p>4.9 <i>complement its character in terms of design, proportion, materials and detail,</i></p> <p>The proposals use lightweight materials, such as glazing, with slim frames to minimise sightlines, such as aluminium, which maximises transparency of the original host property and differentiates between the original and the modern. These materials are high quality and are the same as that of neighbouring approved development.</p> <p>4.10 <i>should not harm the amenity of adjacent properties,</i></p> <p>The extension is at a subterranean level and the adjoining rear garden is under the sole ownership of the applicant. The proposal is enclosed to three sides by either the existing property or with an existing boundary wall present to no25, which is noticeably higher than the proposed extension.</p> <p>The proposal does not affect the access for the upper floor flats to their respective garden to the very rear of the plot.</p> <p>The proposed roof will have blinds fitted to ensure the client can close these when privacy to their property is required.</p> <p>4.11 <i>and should retain a significant area of garden or amenity space which is proportionate to that of neighbouring properties in the surrounding area.</i></p> <p>The proposed extension falls well below 50% of the applicants amenity space. It also includes a courtyard garden to the centre and patio to the rear which when included in the development still falls below 50% of the garden depth.</p> <p>When including the size of the historic rear garden plot, prior to its subdivision, the extension is below one third of its depth.</p> <p>4.12 <i>Development should respect and preserve existing architectural features where these contribute to local character and appearance, for example projecting bays and decorative balconies.</i></p> <p>Unfortunately, over time and under previous ownership the property has been stripped of some of its original features. For example the single rear access door and French doors to the rear are modern in nature. The majority of the original external walls are retained as nib walls to reference this historic plan form and all original windows are retained. The enclosing boundary walls will be retained and built within.</p> <p>Within the delegated report for the neighbouring application at no25, it was noted their full width extension of greater depth <i>will not obstruct any original architectural features of the building.</i> Therefore the same application should be given to the enclosed proposals.</p>
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- 4.13 Policy DH10: Garden land and Backland Development.
1. *There will be a presumption against the loss of garden land in line with higher level policies.*
 2. *Backland development will be subject to the following conditions:*

4.14 *I Existing mature trees and landscaping shall be retained wherever possible. Development proposals should allow sufficient space above and below ground to prevent damage to root systems and to facilitate future growth;*

Proposals conform with the above as no trees will be removed and the existing site is predominantly impermeable hardstanding

4.15 *ii Proposals, including conversions that are likely to significantly increase the proportion of hard surfacing on front gardens, should be accompanied by satisfactory mitigation measures such as landscaping proposals which address drainage;*

The existing site already contains approx. 22 sqm of impermeable hardstanding. The proposed extension is approx. 17 sqm. The rainwater runoff from the extension roof will be collected within the gutters are redirected to the rear garden flower beds at least 3m distance from the property walls via a perforated attenuation pipe. The courtyard garden approx. 7 sqm in size will be constructed with a permeable block paver or loose lay gravel on mat/ grid. Therefore there will be an overall improvement in the level of surface water attenuation achieved.

4.16 *lii Alterations and extensions should be carried out in materials that deliver high quality design and reinforce local distinctiveness. Other development should use materials which respect the character and appearance of the immediate area;*

The proposals are subterranean in nature so will not be seen from the street or from neighbouring properties. The design uses lightweight materials, such as glazing, with slim frames to minimise sightlines, such as aluminium, which maximises transparency of the original host property and differentiates between the original and the modern. These materials are high quality and are the same as that of neighbouring approved development.

4.17 *Iv New development will be required to take account of existing front and rear building lines.*

Neighbouring build line are shown in the site plan under section Relevant Planning Applications

The adjoining property to no25 has a 6m deep, full width part single storey part two storey rear extension with a total depth of 11m when including the patio line from the main wall of the house. This extension is enclosed by a boundary wall which is taller in height than the proposed scheme.

The existing property to no21 is set back from the street, creating a rear build line far deeper than the proposed scheme.

4.18 London Borough of Camden Local Development Scheme 2021

4.19 Highgate Conservation Area Appraisal and Management Proposals
Character Appraisal- Sub area 1: Highgate Village
New Development and work to existing buildings within the Conservation Area

4.20 *All new development will be expected to respect, complement and enhance the special character and appearance of Highgate CA*

4.21 Rear Extensions

Within the Highgate Conservation Area there are many interesting examples of historic rear elevations. The original historic pattern of rear elevations within a street or group of buildings is an integral part of the character of the area and as such rear extensions will not be acceptable where they would compromise the special character.

Unfortunately, over time and under previous ownership the property has been stripped of some of its original features. For example the single rear access door and French doors to the rear are modern in nature. The majority of the original external walls are retained as nib walls to reference this historic plan form and all original windows are retained as part of the scheme. The enclosing boundary walls will be retained and built within. This has been carefully considered so as not to devalue the special character of the area.

Within the delegated report for the neighbouring application at no25, it was noted their full width extension of greater depth *will not obstruct any original architectural features of the building.* Therefore the same application should be given to the enclosed proposals.

4.22 *Gardens and front boundary treatment*

The appearance of front gardens and historic boundaries are an important part of the character of the Highgate Conservation Area. A number of areas within the Conservation Area are under particular pressure for off street parking. This has led to the hard surfacing of front gardens either to create new forecourt parking areas or to recover established driveways. The use of inappropriate materials, out of keeping with Conservation Area, such as concrete brick pavements and tarmac detracts from the character and appearance of the Highgate Conservation Area. The loss of historic boundaries, planting and soft landscaping associated with the introduction of hard standing will be resisted.

The installation of insensitive and inappropriate boundary treatment including excessively high entrance gates, impermeable designs, non-authentic detailing, security grilles, barbed wire, broken glass, excessive security measures all help to create a hostile and visually negative environment which harms the character or appearance of the Highgate Conservation Area will be resisted by the Council.

No Change is proposed to the front elevation of the property.

To the rear the enclosing boundary walls will be retained and built within. This has been carefully considered so as to retain their historic value.

Within the delegated report for the neighbouring application at no25, it was noted their full width extension of greater depth *will not obstruct any original architectural features of the building.* Therefore the same application should be given to the enclosed proposals.

4.23 Assessment

Material consideration which have been considered:
Design and impact on heritage assets
Impact on amenity

4.24 We have demonstrated throughout section 4 the above considerations have been met and conform to both policy and within the local context of their neighbours.

4.0 Applicant Site Planning History

- 4.25 Flat A 23 Hampstead Lane London N6 4RT
Ref 2023/5407/P – Live
Erection of outbuilding
- 4.26 Flat A 23 Hampstead Lane London N6 4RT
Ref 2016/2990/NEW - Withdrawn
Variation or Removal of Condition(s)
- 4.27 **Flat A 23 Hampstead Lane London N6 4RT**
Ref 2016/0064/P – Approved
Single storey rear extension to include green roof, 4x roof lights and lightwell with associated landscaping at rear garden to lower ground floor flat
- 4.28 Flat A 23 Hampstead Lane London N6 4RT
Ref 2010/4066/P – Approved
Installation of replacement window on front elevation for basement level flat (Class C3)

4.29 Relevant Planning Applications

- 4.30 **25 Hampstead Lane London N6 4RT (adjoining neighbour)**
2013/7811/P- Approved
Erection of a full width lower ground, rear extension and a part width upper ground floor. The lower ground floor extension is to be 11m deep, 10.5m wide and 5.5m high (115.5m2). The part width extension is to be 4.6m wide, 9m deep and 5m high (41.4m2).

Importantly, the main considerations noted within the delegated report are referred to below, as these comments equally apply to the applicants proposal, which is for a much smaller scheme.

Design

The extension will not be visible from the street front and will be subservient to the main dwelling. The neighbouring property to the east (23 Hampstead Lane) includes a rear extension and the property to the west (number 27) includes a lower ground floor level rear extension. The proposed extension will not obstruct any original architectural features of the building. The existing lower ground floor elevation includes non-traditional bi-folding doors and the upper ground floor includes non-traditional windows. Therefore, it is considered the proposal is acceptable in terms of design and preservation of the conservation area.

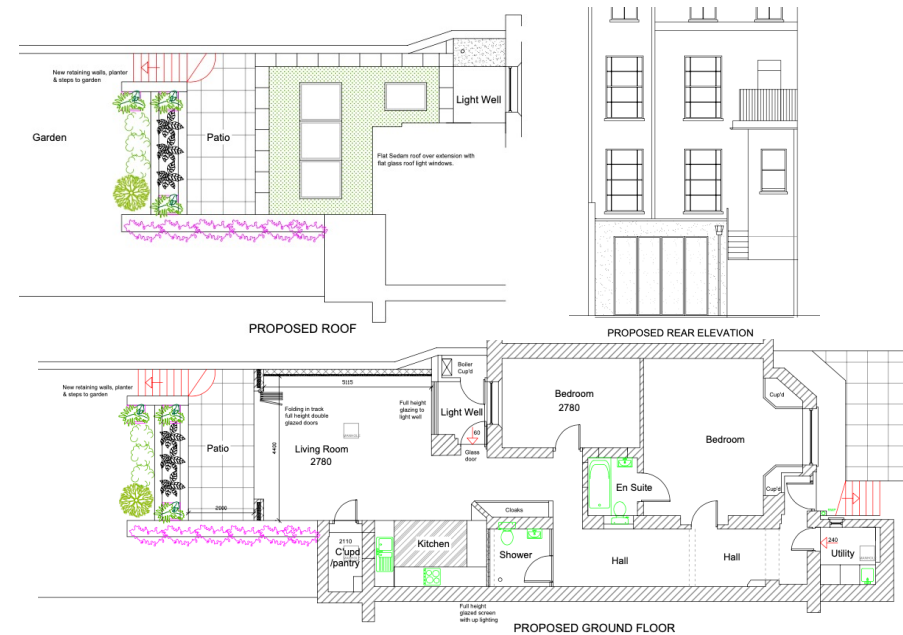
– It should be noted modern materials & design such as aluminum frame glazing, glazed bridge, glazed roof and aluminum coping was proposed as part of this approved scheme

Amenity

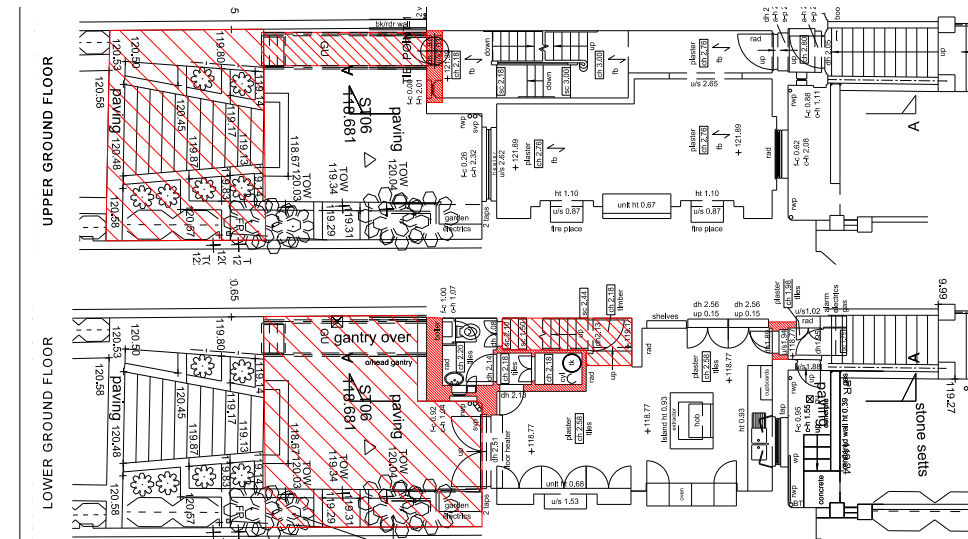
The proposed extension is not considered to result in the loss of privacy or cause overlooking for neighbours. Neither the lower ground floor extension nor the upper ground floor extension include windows which look directly into neighbours properties, both parts include glass on the rear elevation and the upper ground floor extension includes a glazed panel in the side elevation facing east, however there is enough separation distance between the property to the east and the subject site that privacy would not be lost.

Outlook

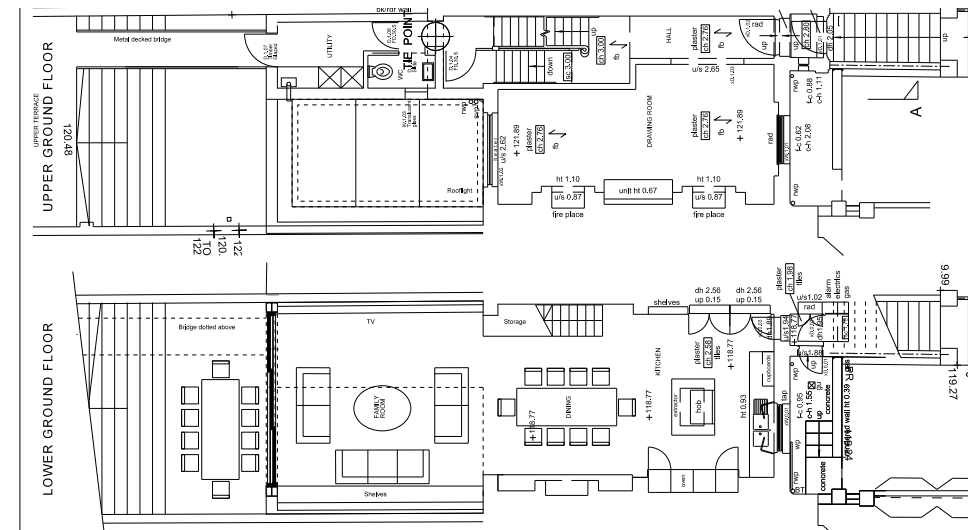
The proposed full width lower ground and part width upper ground floor extension is not considered harmful to neighbours outlook. The lower ground floor extension will not be visible to neighbours and the upper ground floor extension will only exceed the boundary wall slightly. The materials used to construct the extension will match the existing dwelling and are deemed acceptable in terms of neighbours outlook.



Previously approved Scheme for the same application site (2016/0064/P) now lapsed- Single storey rear extension with lightwell



Approved Scheme for the neighboring property no25 (2013/7811/P) – Demolition to existing rear garden patio/ walls



Approved Scheme for the neighboring property no25 (2013/7811/P) - Single storey rear extension with glass roof & large glazed sliding doors to rear

Overall, there are no concerns in relation to amenity.

Recommendation: Grant Planning Permission

Relevant Planning Applications Continued

- 4.31 33 Hampstead Lane Hornsey London N6 4RT
Ref 2020/4436/P – Approved
Installation of glass box extension at lower ground floor with balcony above at upper ground floor, in conjunction with works granted planning permission dated 29.7.20 ref. 2020/2194/P, namely alterations to windows on side and rear elevations, replacement of existing rear bay windows and installation of new garden access staircase

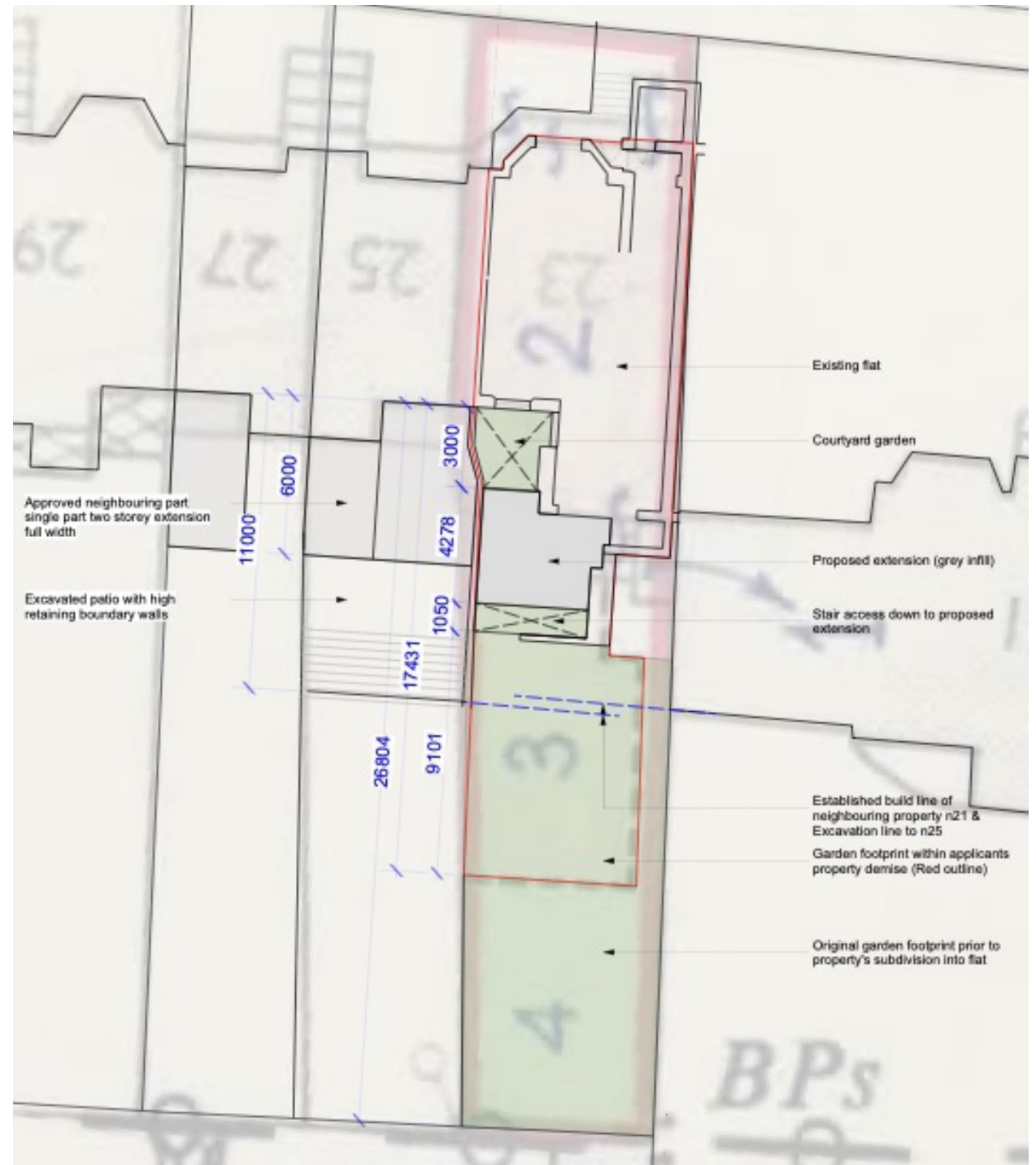
- 4.32 31 Highwood Lodge Hampstead Lane London N6 4RT
Ref 2017/6416/P– Approved
Erection of a single storey rear extension on the existing terrace, new infill extension, installation of privacy screens for an enlarged roof terrace to the rear elevation all at first floor level and extension of the pitched roof all associated with the use a residential dwelling

- 4.33 18 Hampstead Lane N6 4SB
Ref 2017/3850/P – Approved
Request for observations to increase in the depth of the currently approved rear extension under HGY/2014/0839 from 4m to 6.265m, and for this to extend full width to both boundaries.

- 4.34 14 & 16 Hampstead Lane London N6 4SB – photos included below
Ref 2015/4121/P – Approved
Construction of single storey modern rear extension at lower ground floor, (demolishing existing rear extension), a completely subterranean basement swimming pool beneath the back garden, with a small lightwell at the rear of the garden, some general landscaping works including a new garden store room and rebuilding a number of the boundary walls.

- 4.35 42 Hampstead Lane London N6 4NT
Ref 2014/4640/P – Approved
Partial demolition, extension and renovation of the existing dwelling house.

- 4.36 7 Hampstead Lane London N6 4RT
Ref 2013/1696/P - Approved
Installation of a raised skylight at ground level to provide additional habitable space for existing residential flat at basement level



The proposed scheme in relation to neighboring development
- The 11m deep extension including patio was approved & built to neighboring property no25 .
- The existing property at no21 is set back creating a rear build line far deeper than the proposals



Modern materials: Aluminium frames & coping

Boundary wall is higher than proposed neighbouring development

Extensive glazing



Glazed roof

Full width modern extension to neighboring property n25: lower ground & half width upper ground floor extensions with excavated patio (Sales photos taken January 2020)



Large modern extensions built to 14 & 16 Hampstead Lane N6 4SB which rebuilt boundary walls

5.0 Existing Property

- 5.1 The garden is self-contained and accessed via rear patio doors. The height of the boundary wall and fencing gives a high level of privacy and is only overlooked by neighbouring properties.
- 5.2 The garden itself is mature. The patio is sunken and at basement level. Steps connect the lower patio area to the garden.
- 5.3 The main house is facing brickwork with a white render.
- 5.4 Windows are a mixture of sash, white PVC framed.
- 5.5 There is an existing white, French door at basement level.

6.0 Access Statement

- 6.1 The property is currently accessible from the public footpath via the basement floor entrance. No changes are proposed.
- 6.2 The property has a private rear patio and partial garden area which is only accessible via the property.
- 6.3 The proposal does not impact the current access into or out of the property.



Aerial view of site



Aerial view to the street elevation



Aerial view to the rear elevation



Aerial view to the side rear elevation

7.0 Design Proposals

- 7.1 Refer to section 4.0 Relevant Planning Policies for the design in the context of location and national planning policy
- 7.2 The proposals consist of a rear basement extension.
- 7.3 There are no proposed alterations to the front elevation or the rear elevation beyond the proposed extension.
- 7.4 The scale, design and use of the materials will not impact on the visual amenity of the street scene and are in keeping with the character and high architectural quality of the house and surrounding properties in the Conservation Area. It will also add to the potential of the house make an invaluable contribution to the local housing stock.
- 7.5 The external materials of the extension will be brickwork with white render to match the existing, a glass pitched rooflight, glass French doors, glass single door and full-length glass casement windows.
- 7.6 The proposal does not exceed 50% of the curtilage.
- 7.7 The proposal does not harm the existing building and its character.

The extension is sheltered from adjoining properties by natural foliage and brick walls.

Although a modern design the materials will complement the original house. These materials have been approved in neighbouring applications as illustrated in the above section.

- 7.8 The Proposal also seeks to comply with the London Plan through designing a rear extension which:
 - Contributes positively to the existing street scene.
 - Provides an extension which is built to the highest quality and materials which complements the local architectural character.
 - Be designed to be appropriate to its context and be of a proportion, composition and scale that helps maintain and enhance the character of the conservation area.
- 7.9 Will not cause unacceptable harm through over shadowing or overlooking neighbouring buildings
- 7.10 The proposal also seeks to comply with the London Plan by Identifying the architecturally significant assets of the property and taking into account the effect on these assets and seeks to provide a development which is sympathetic to their form, scale, materials and architectural detailing.

9.0 Site Photos



9.0 Site Photos

